

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

9 April 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

Attachment A - Plans

DA2018/00948 - 25 Marshall Street New Lambton Heights

Demolition of dwelling, erection of four two storey dwellings

DISTRIBUTED UNDER SEPARATE COVER

DEVELOPMENT APPLICATION

MULTI DWELLING HOUSING

25 MARSHALL STREET, NEW LAMBTON HEIGHTS

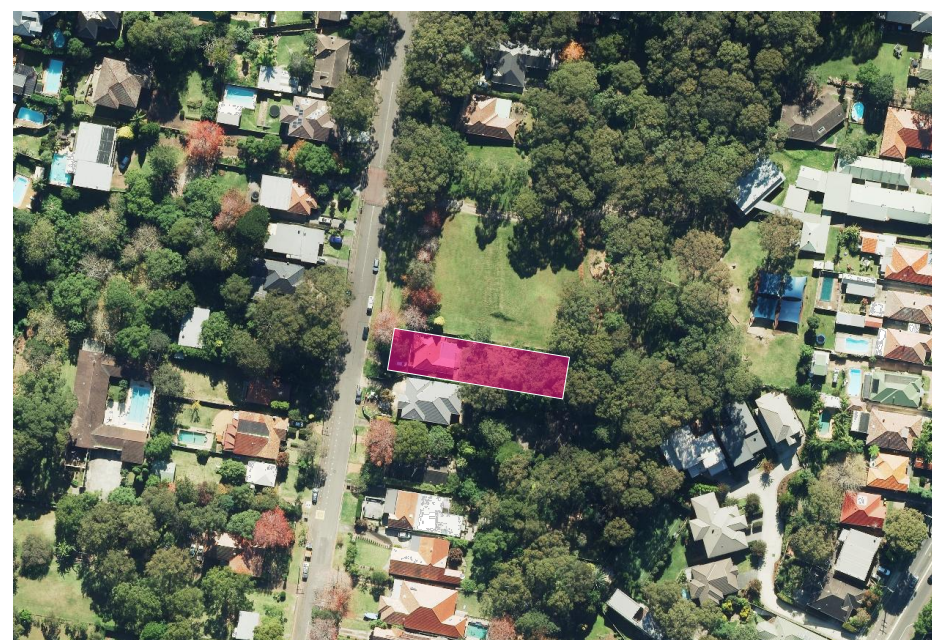


VIEW FROM MARSHALL STREET

Schedule of Drawings

Architecturals

DA000	COVER PAGE
DA001	PERSPECTIVES
DA002	SITE ANALYSIS PLAN
DA003	SITE PLAN
DA004	SITE COVERAGE PLAN
DA005	SHADOW DIAGRAMS
DA006	DEMOLITION PLAN
DA008	NEIGHBOUR SHADOW ANALYSIS
DA009	POSSIBLE SUBDIVISION
DA010	BUSHFIRE BAL OVERLAY PLAN
DA100	OVERALL PLANS
DA101	GROUND FLOOR - UNITS 1-2
DA102	GROUND FLOOR - UNITS 3-4
DA103	FIRST FLOOR - UNITS 1-2
DA104	FIRST FLOOR - UNITS 3-4
DA105	ROOF PLAN
DA300	ELEVATIONS
DA301	ELEVATIONS
DA303	ELEVATIONS FOR BASIX
DA304	ELEVATIONS FOR BASIX
DA350	EXTERNAL FINISHES
DA400	SECTIONS
DA401	SECTIONS
DA900	SEDIMENT CONTROL



SITE LOCATION



SUBJECT SITE

Survey By A. McLeod
Reference: 4381A
13/11/2017

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PO Box 801 Kotara
NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

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VIEW FROM MARSHALL STREET



AERIAL VIEW FROM MARSHALL STREET



VIEW FROM NORTH BOUNDARY



VIEW OF UNIT 3 FROM NORTH BOUNDARY



VIEW FROM NORTH



AERIAL VIEW UP DRIVEWAY



VIEW FROM SOUTH WEST CORNER



AERIAL VIEW OF UNIT 1 FRONT FACADE



VIEW OF UNIT 4 REAR YARD

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Issue	Description	Date
P1	Consultant Coordination	17-04-18
P2	Hunter Water + Mines Issue	30-07-18
P3	Coordination	02-08-18
P4	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
 Location
25 Marhsall Road
New Lambton Heights
 Client
BINNIE

Drawing
PERSPECTIVES
 Scale
 As Shown @ A2
 Date
 12/02/2019
 QA CHECKED
SV
 DRAWN
CT

Drawing Number
DA001
 Issue
B
 Project Number
17129





MAJOR ROADS



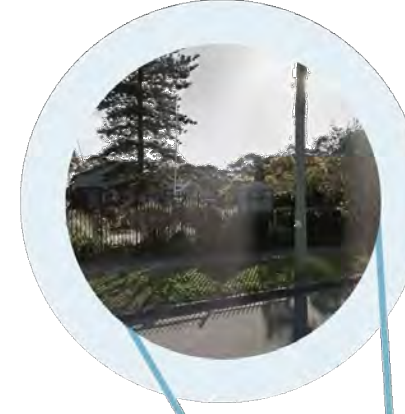
DENSE VEGETATION



WIND



SUN PATH



NEW LAMBTON HEIGHTS INFANTS SCHOOL



BLACKBUTT RESERVE



THE SITE WITH WEST VIEWS



POINTS OF INTEREST

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Project
Multi Dwelling Housing

Location
**25 Marshall Road
New Lambton Heights**

Client
BINNIE

Drawing
SITE ANALYSIS PLAN

Scale
As Shown @ A2

Date
12/02/2019

DRAWN
CT

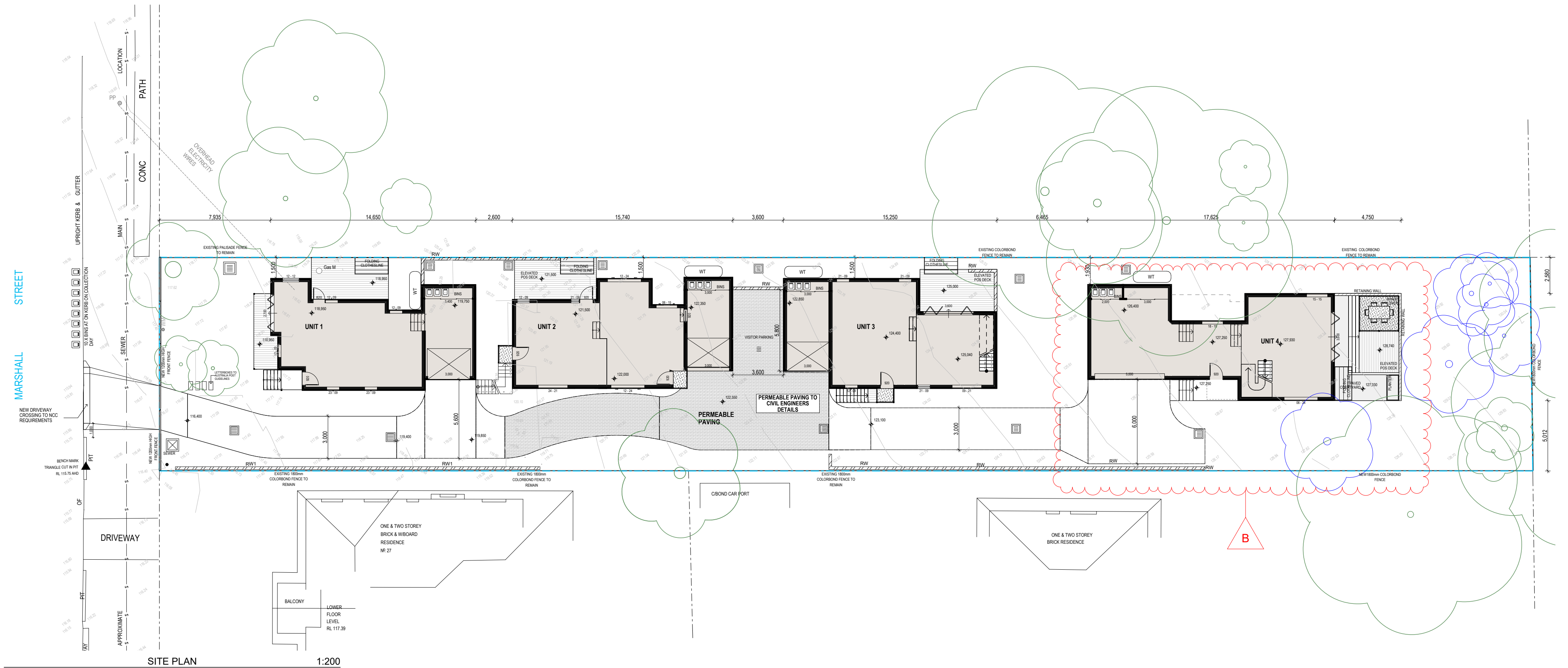
QA CHECKED
SV

Drawing Number
DA002

Issue
B

Project Number
17129





SITE PLAN 1:200

AREA CALCULATION (m ²)	
02. LANDSCAPING	603
03. DEEP SOIL	332
UNIT 01	
FIRST FLOOR	61
GROUND FLOOR	61
UNIT 02	
FIRST FLOOR	66
GARAGE	18
GROUND FLOOR	73
UNIT 03	
FIRST FLOOR	71
GARAGE	18
GROUND FLOOR	134
UNIT 04	
FIRST FLOOR	69
GARAGE	34

AREAS	
SITE AREA	1492m ²
FLOOR SPACE RATIO (MAX 0.6)	0.46
TOTAL GFA	687m ²
LANDSCAPE (min 30%)	603m ²
DEEP SOIL	332m ²

LEGEND	
	4,000 LITRE ABOVE GROUND WATER STORAGE TANK TO ENGINEERS AND BASIX DETAILS
	RETAINING WALLS TO ENGINEERS SPECIFICATIONS & DETAILS
	EXISTING TREE TO BE DEMOLISHED
	EXISTING TREE TO BE RETAINED
	BUILDING FOOTPRINT

NOTES

PLEASE REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS

FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION

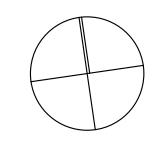
VERTICAL CONTROL JOINTS INDICATIVE ONLY LOCATED IN ALL EXTERNAL WALLS 5000-6000mm CTS MAX AS PER ENGINEERS SPECIFICATIONS TO AS/NZS 4773.2 & TN 61 (BUILDER TO CONFIRM LOCATIONS)

DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.

FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

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B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing

Location
**25 Marshall Road
New Lambton Heights**

Client
BINNIE

Drawing
SITE PLAN

Scale
As Shown @ A2

DATE
12/02/2019

QA CHECKED
SV

Drawing Number
DA003

Issue
B

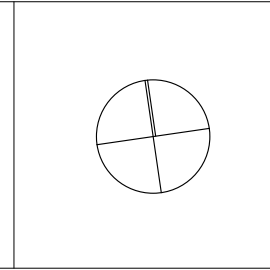
Project Number
17129





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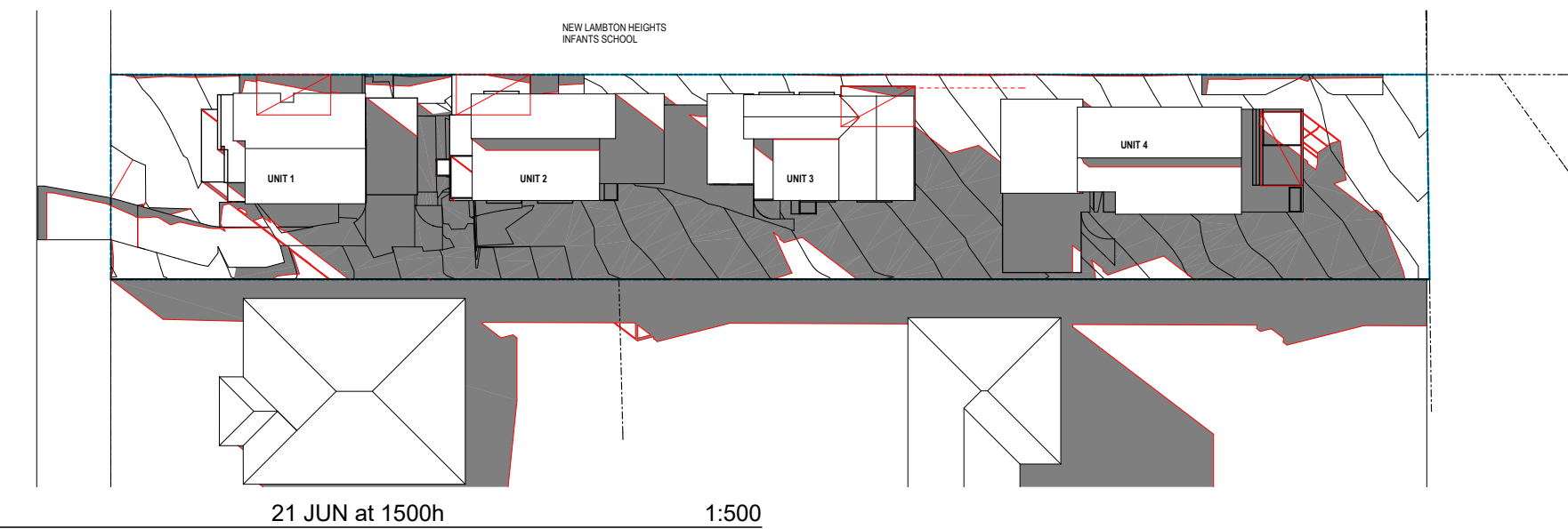
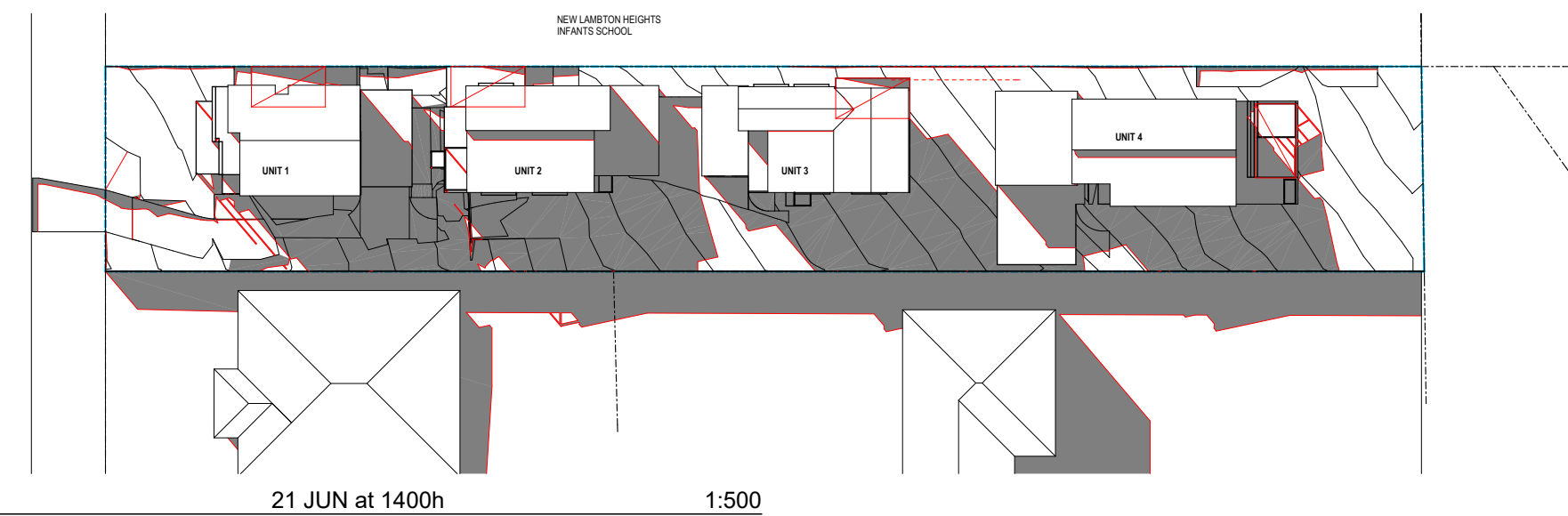
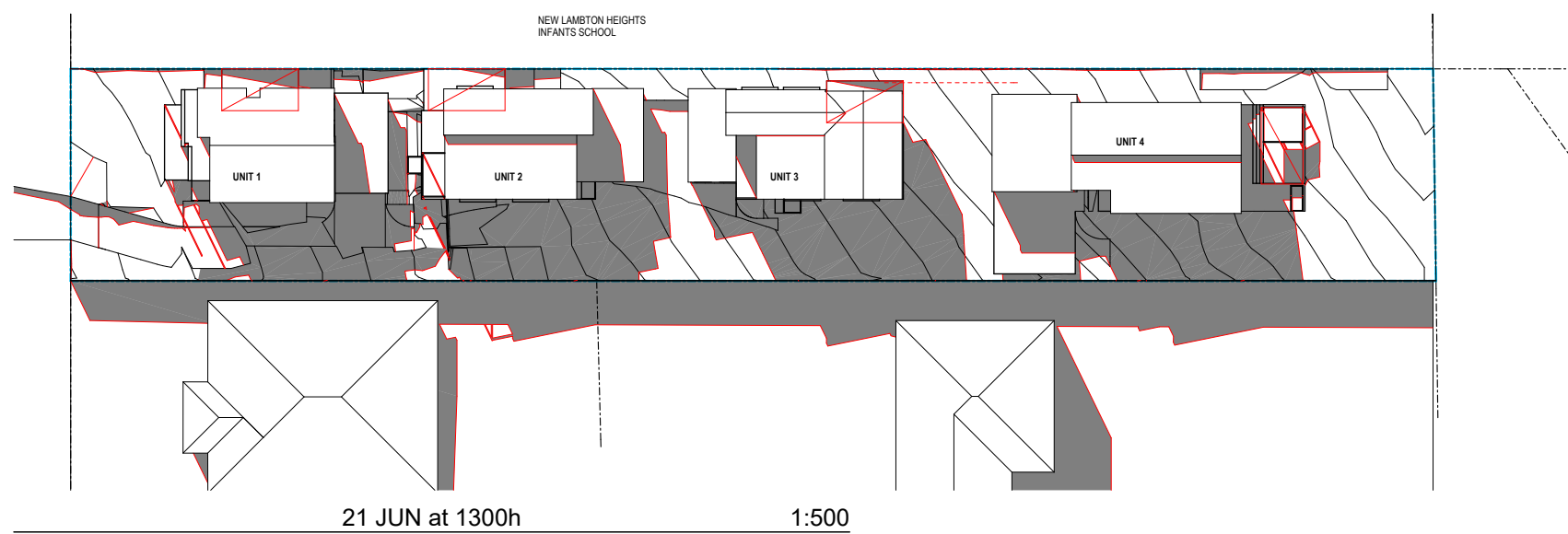
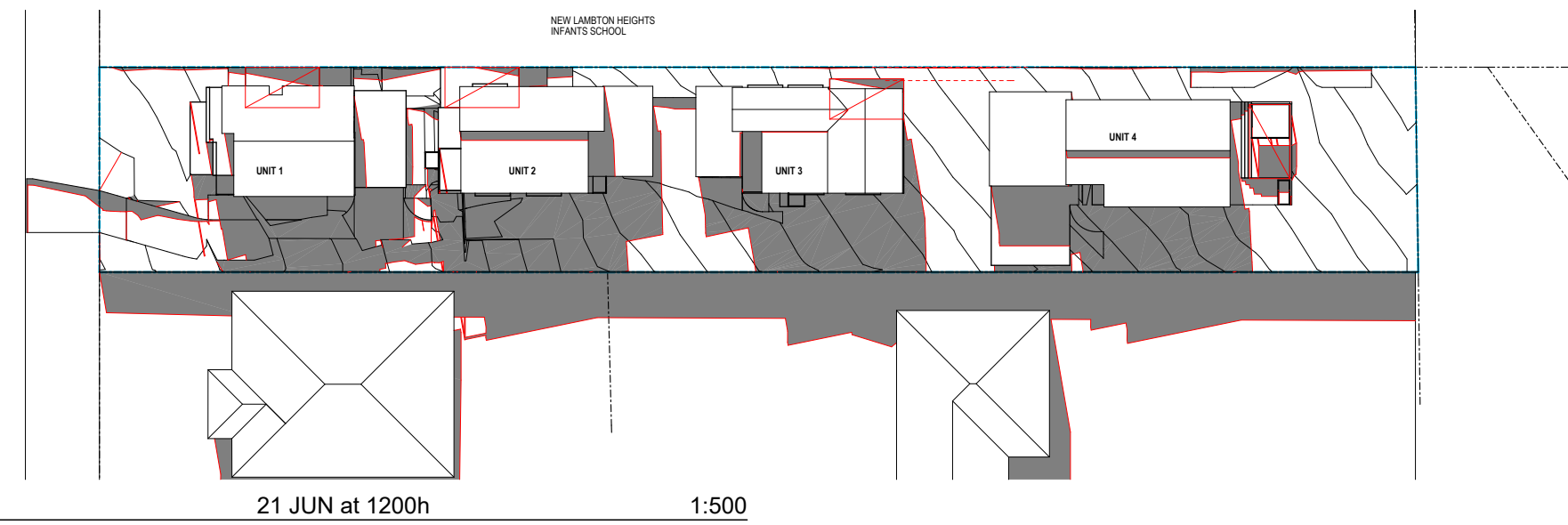
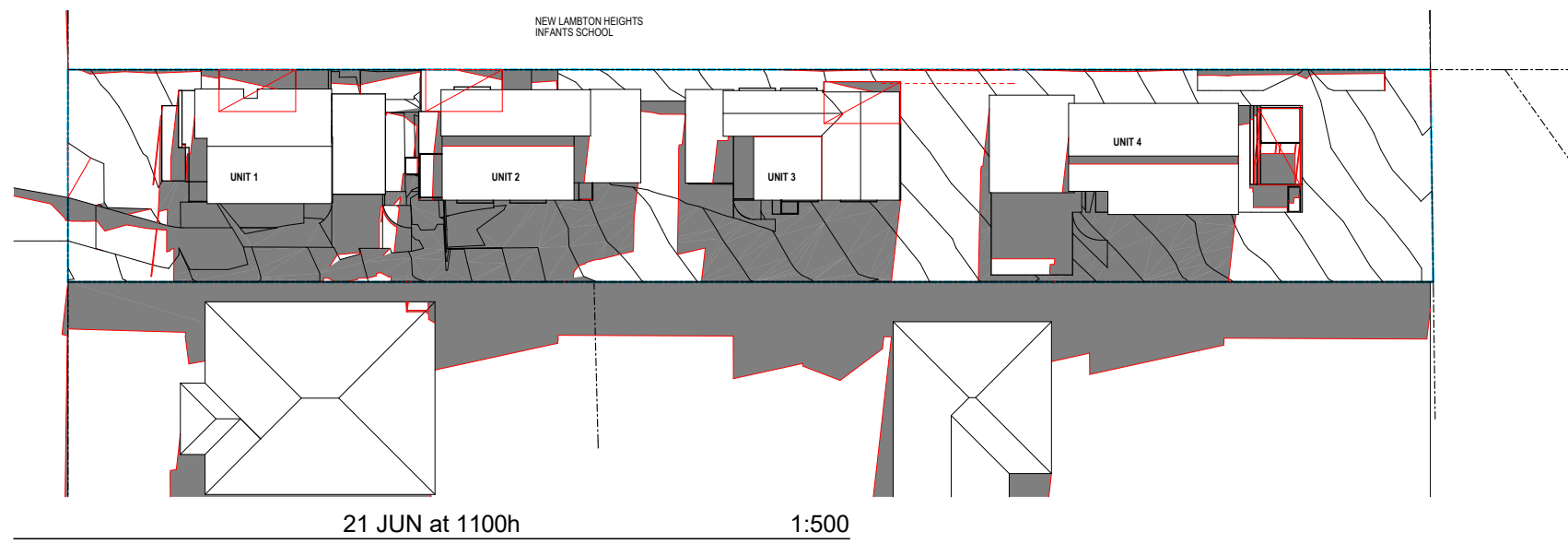
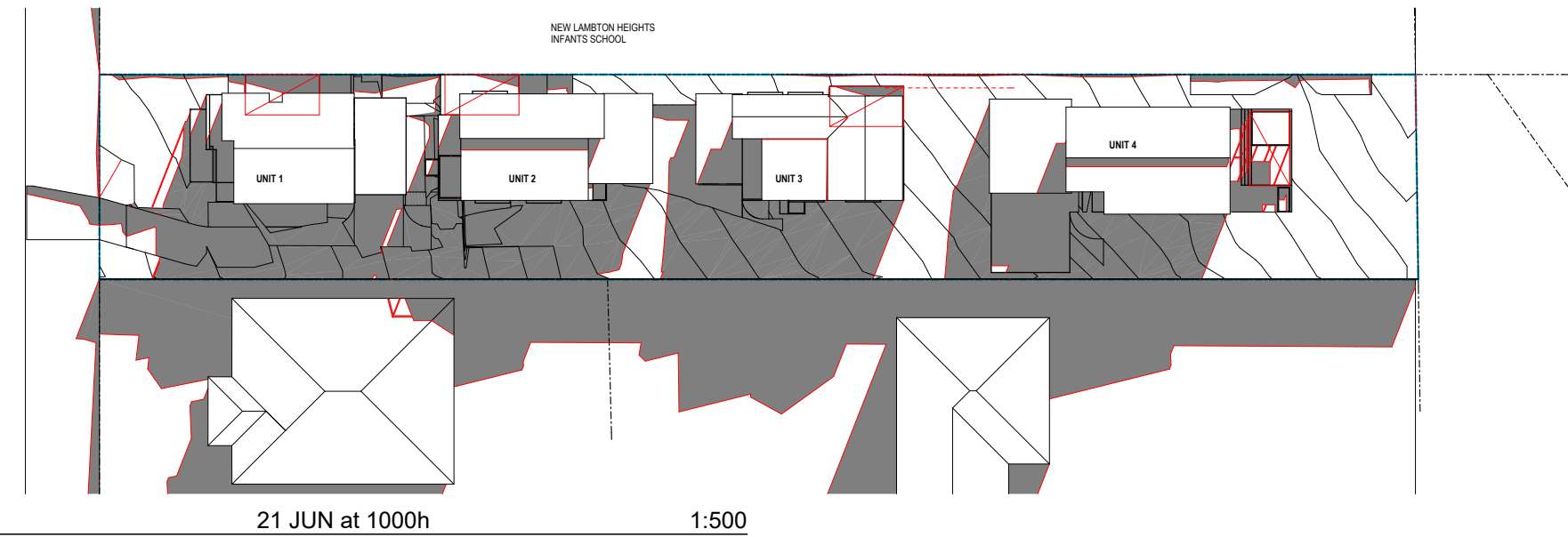
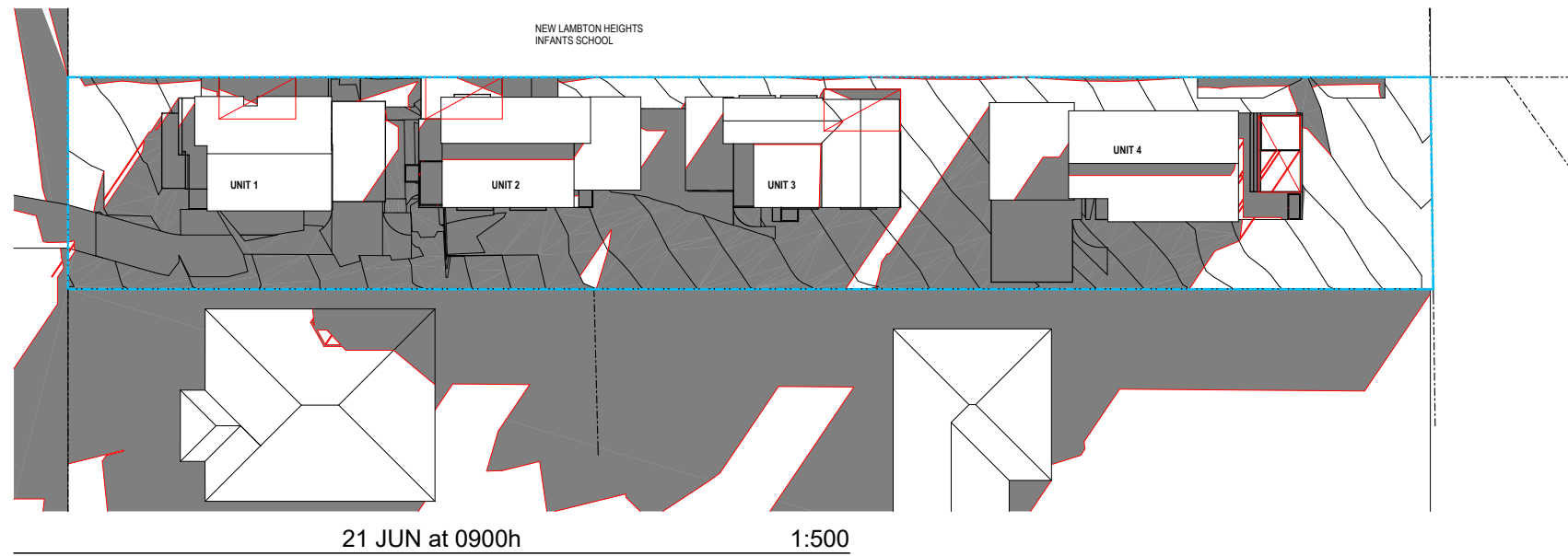
Issue	Description	Date
P3	Hunter Water + Mines Issue	30-07-18
P4	Coordination	02-08-18
P5	Coordination	20-08-18
P6	Coordination	23-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
 Multi Dwelling Housing
 Location
 25 Marshall Road
 New Lambton Heights
 Client
 BINNIE

Drawing
 SITE COVERAGE PLAN
 Scale
 As Shown @ A2
 Date
 12/02/2019
 DRAWN
 CT
 QA CHECKED
 SV

Drawing Number
 DA004
 Issue
 B
 Project Number
 17129

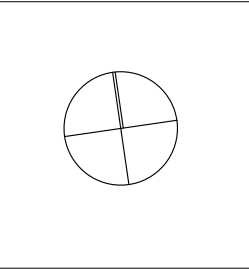




B SHADOWS AMENDED TO SUIT REDUCED UNITS

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Project
Multi Dwelling Housing

Location
**25 Marhsall Road
New Lambton Heights**

Client
BINNIE

Drawing
SHADOW DIAGRAMS

Scale
As Shown @ A2

Date
12/02/2019

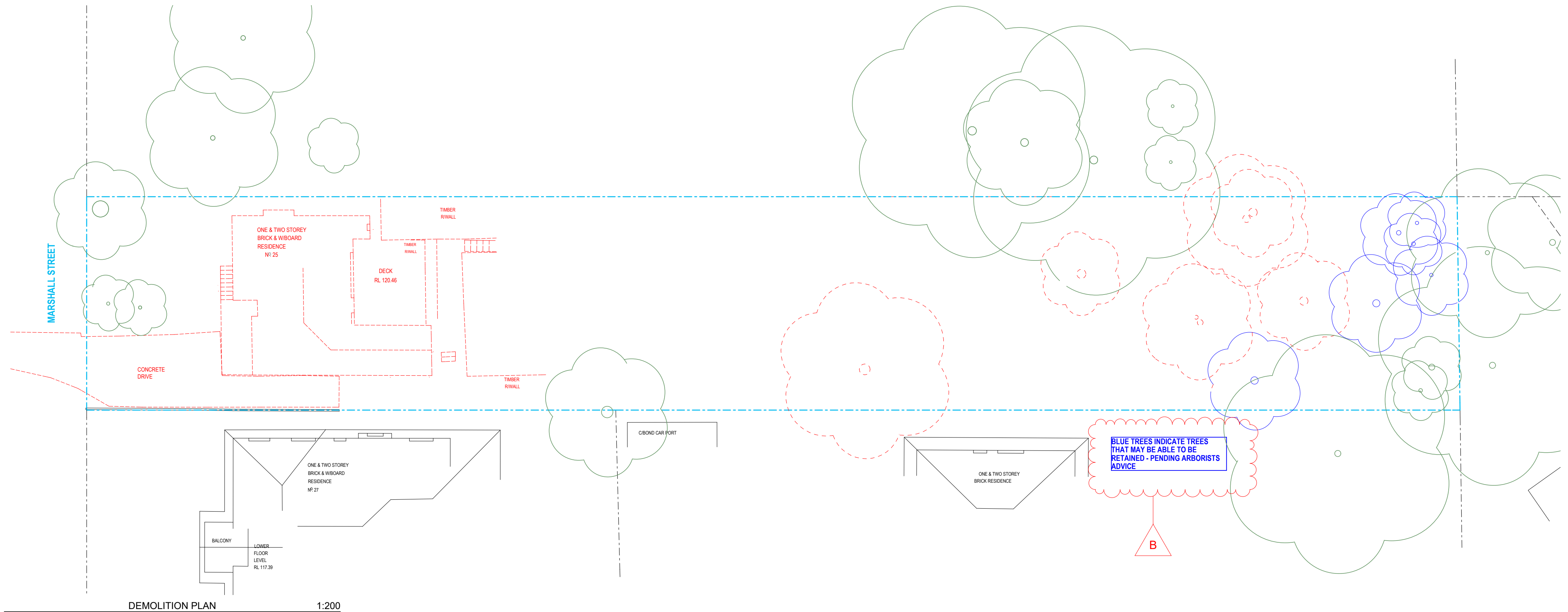
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Drawing Number
DA005

Issue
B





Project Number
17129





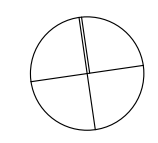
DEMOLITION PLAN 1:200

LEGEND

-  EXISTING TREE TO BE DEMOLISHED
-  EXISTING TREE TO BE RETAINED
-  TO BE DEMOLISHED
-  BUILDING FOOTPRINT

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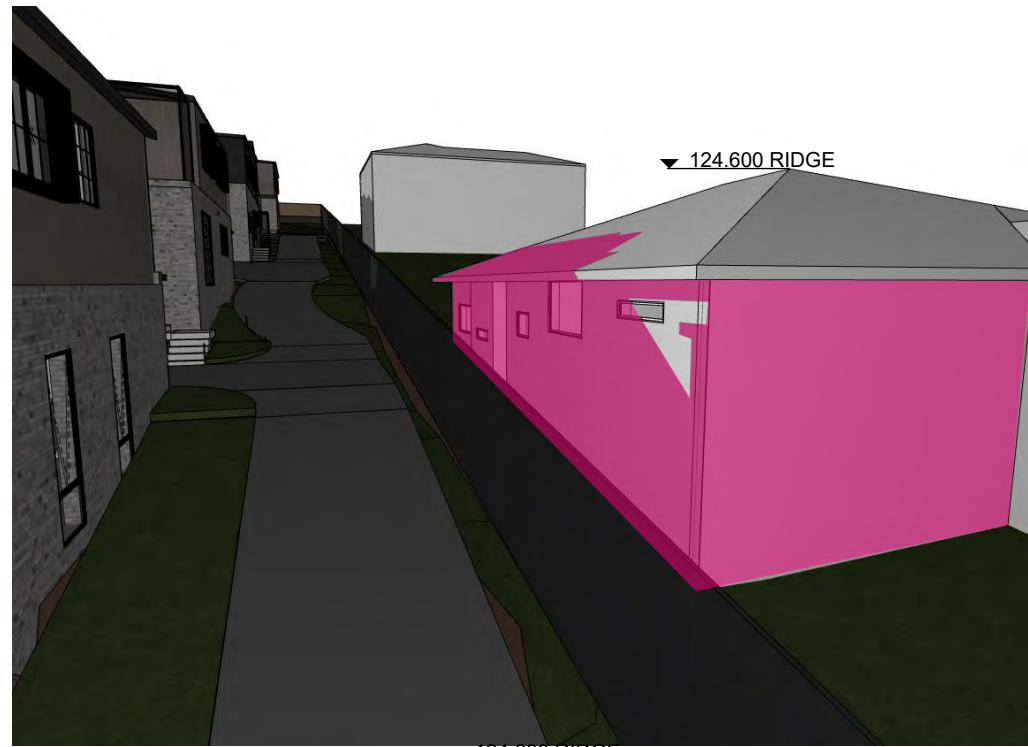
Issue	Description	Date
P1	Hunter Water + Mines Issue	30-07-18
P2	Coordination	02-08-18
P3	Coordination	20-08-18
A	Development Application	27-08-18
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Project
Multi Dwelling Housing
 Location
25 Marshall Road
New Lambton Heights
 Client
BINNIE

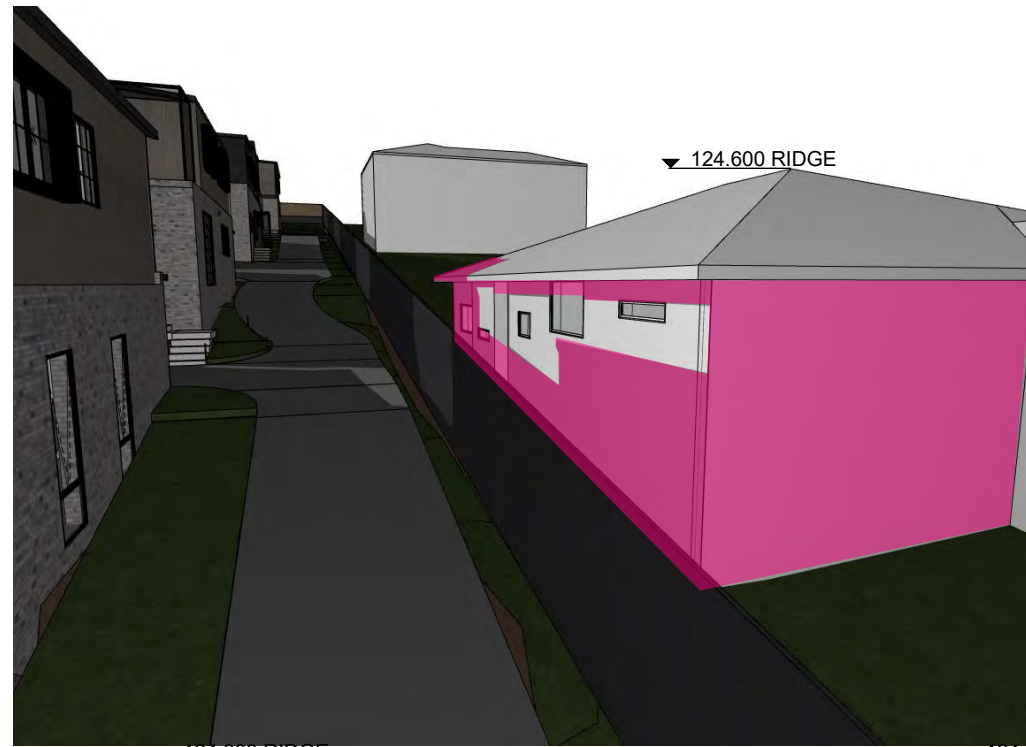
Drawing
DEMOLITION PLAN
 Scale
 As Shown @ A2
 Date
 12/02/2019
 DRAWN
 CT
 QA CHECKED
 SV

Drawing Number
DA006
 Issue
B
 Project Number
17129

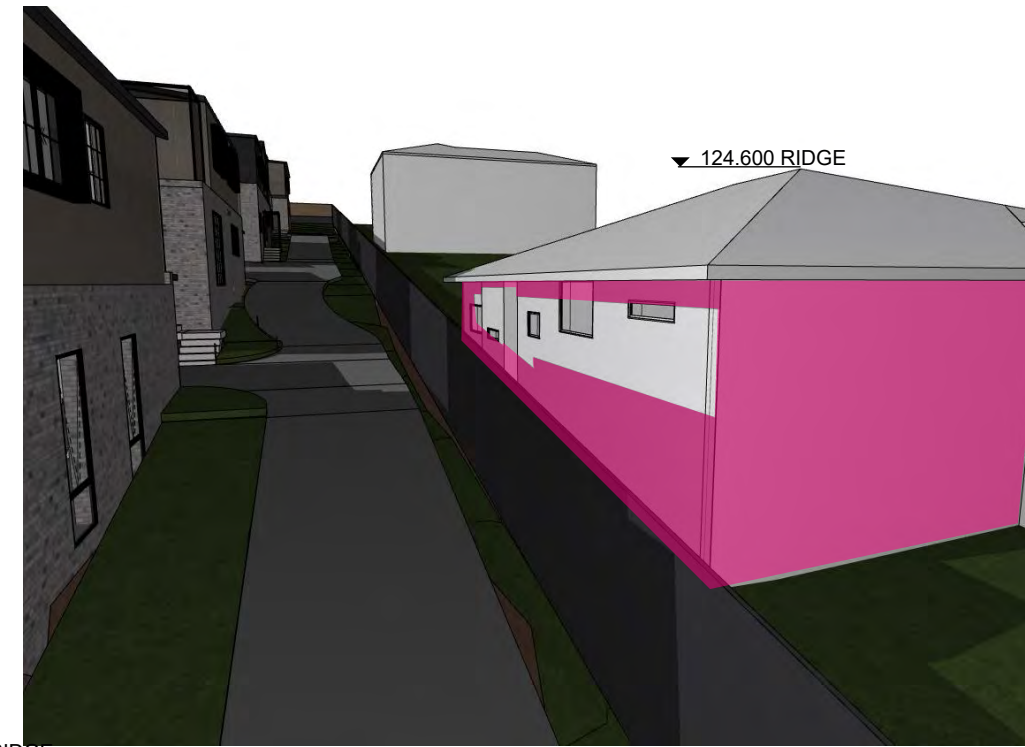




NEIGHBOUR SHADOWS 9AM



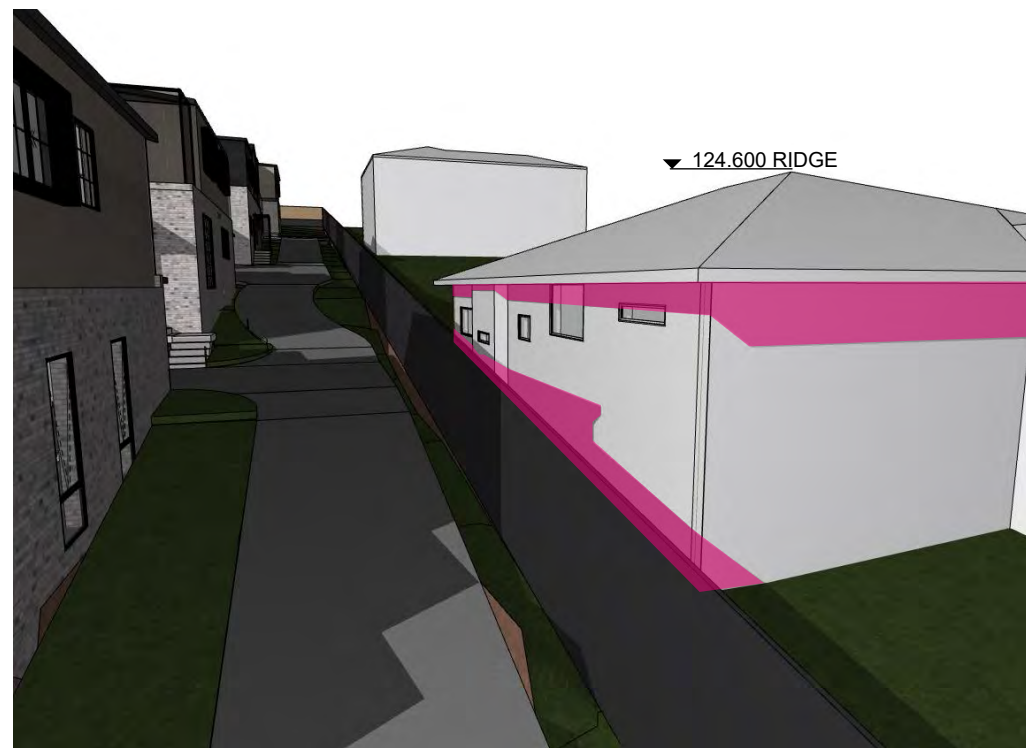
NEIGHBOUR SHADOWS 10AM



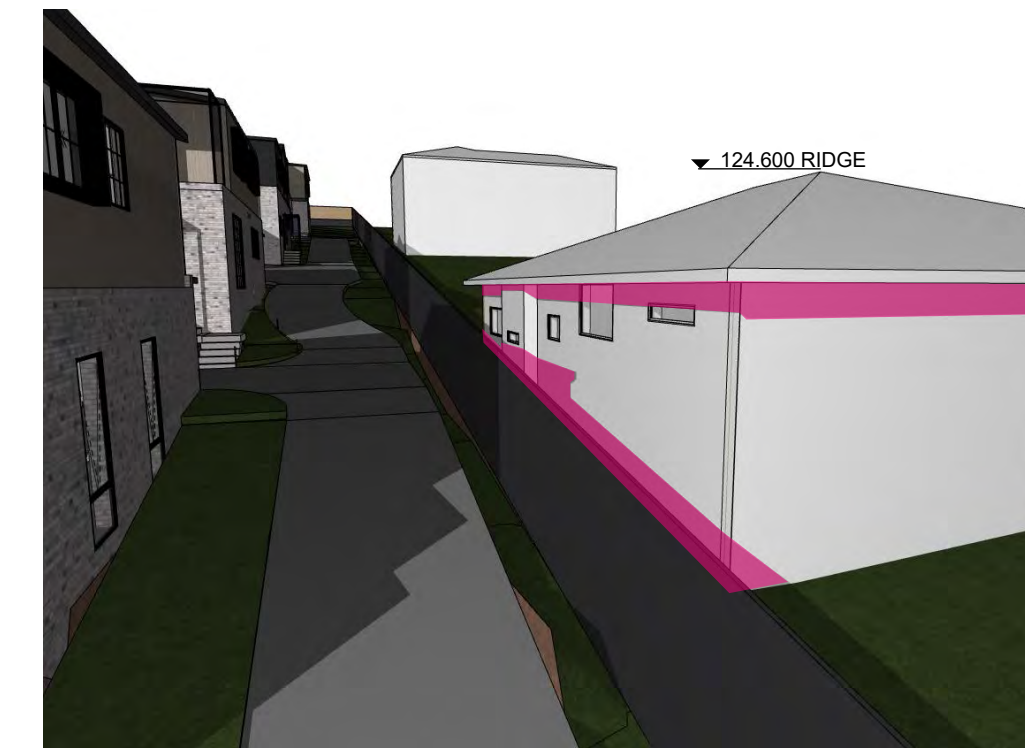
NEIGHBOUR SHADOWS 11AM



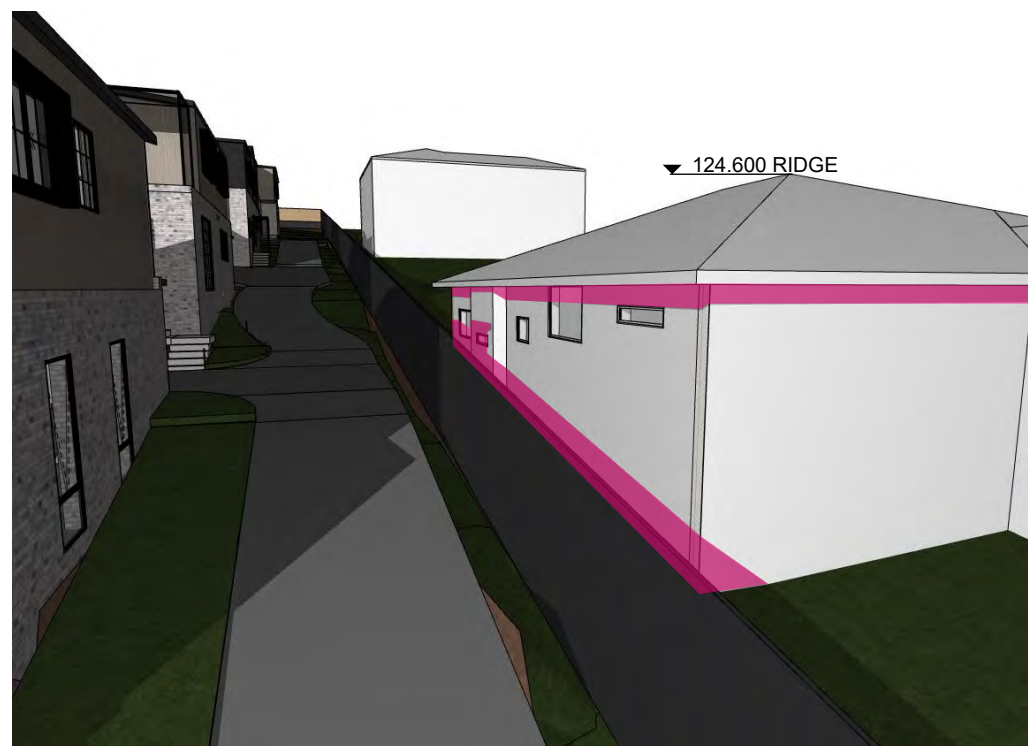
NEIGHBOUR SHADOWS 12PM



NEIGHBOUR SHADOWS 1PM



NEIGHBOUR SHADOWS 2PM



NEIGHBOUR SHADOWS 3PM

EXTENT OF SHADOWS

SUMMARY: PROPOSED DEVELOPMENT AT 25 MARSHALL STREET IMPACTS ON NEIGHBOUR'S WINDOW SOLAR ACCES AT 9AM ONLY.

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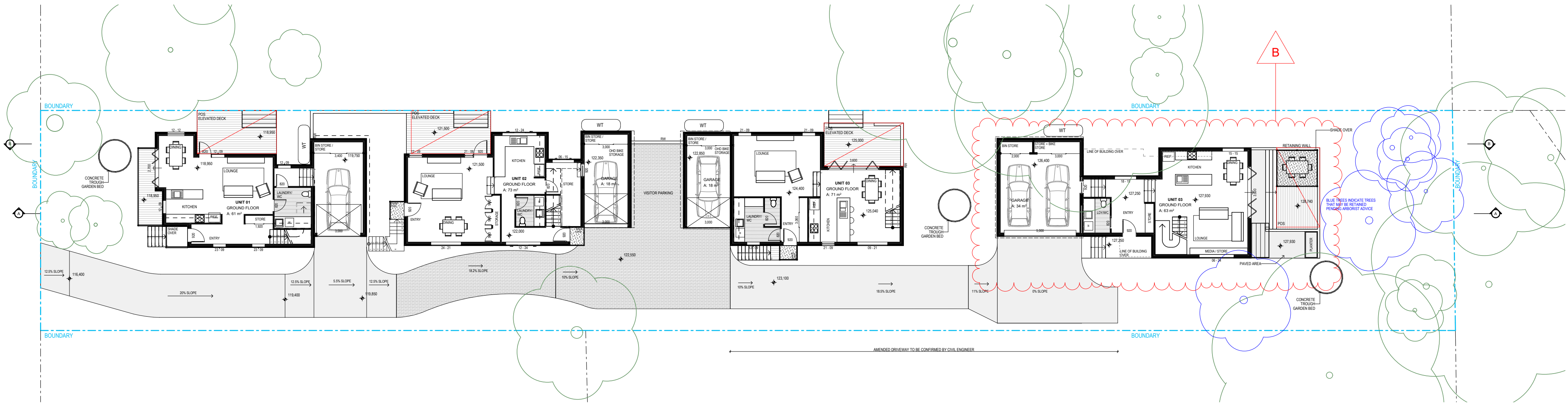
Issue	Description	Date
P1	Town Planner Review	19-11-18
A	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
Location
**25 Marhsall Road
New Lambton Heights**
Client
BINNIE

Drawing
NEIGHBOUR SHADOW ANALYSIS
Scale
As Shown @ A2
Date
12/02/2019
QA CHECKED
-

Drawing Number
DA008
Issue
A
Project Number
17129





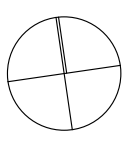
GROUND FLOOR 1:200



FIRST FLOOR 1:200

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Issue	Description	Date
P7	Coordination	02-08-18
P8	Coordination	20-08-18
A	Development Application	27-08-18
P9	Remove Unit 5	10-01-19
B	RFI Amendments	12-02-19

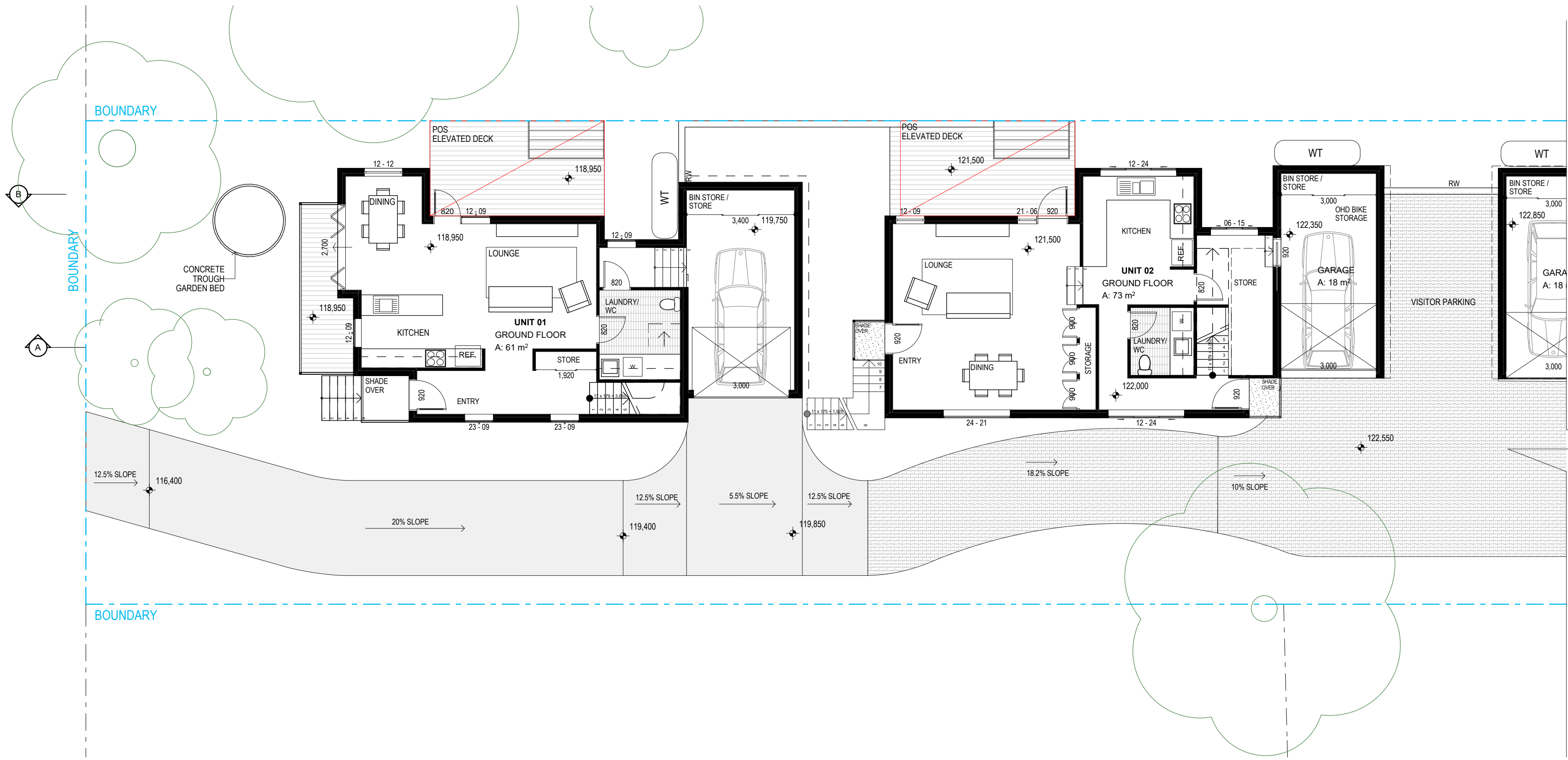
Project
Multi Dwelling Housing
Location
25 Marhsall Road
New Lambton Heights
Client
BINNIE

Drawing
OVERALL PLANS
Scale
As Shown @ A2
DRAWN
CT

Date
12/02/2019
QA CHECKED
SV

Drawing Number
DA100
Issue
B
Project Number
17129



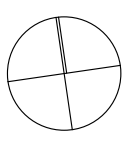


DRAWING CONTINUES ON DRAWING DA102

GROUND FLOOR 1:100

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P8	Coordination	20-08-18
A	Development Application	27-08-18
P9	Town Planner Review	19-11-18
P10	Remove Unit 5	10-01-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
25 Marhsall Road
New Lambton Heights

Client
BINNIE

Drawing
GROUND FLOOR - UNITS 1-2

Scale: As Shown @ A2
Date: 12/02/2019

DRAWN
CT

QA CHECKED
SV

Drawing Number
DA101

Issue
B

Project Number
17129



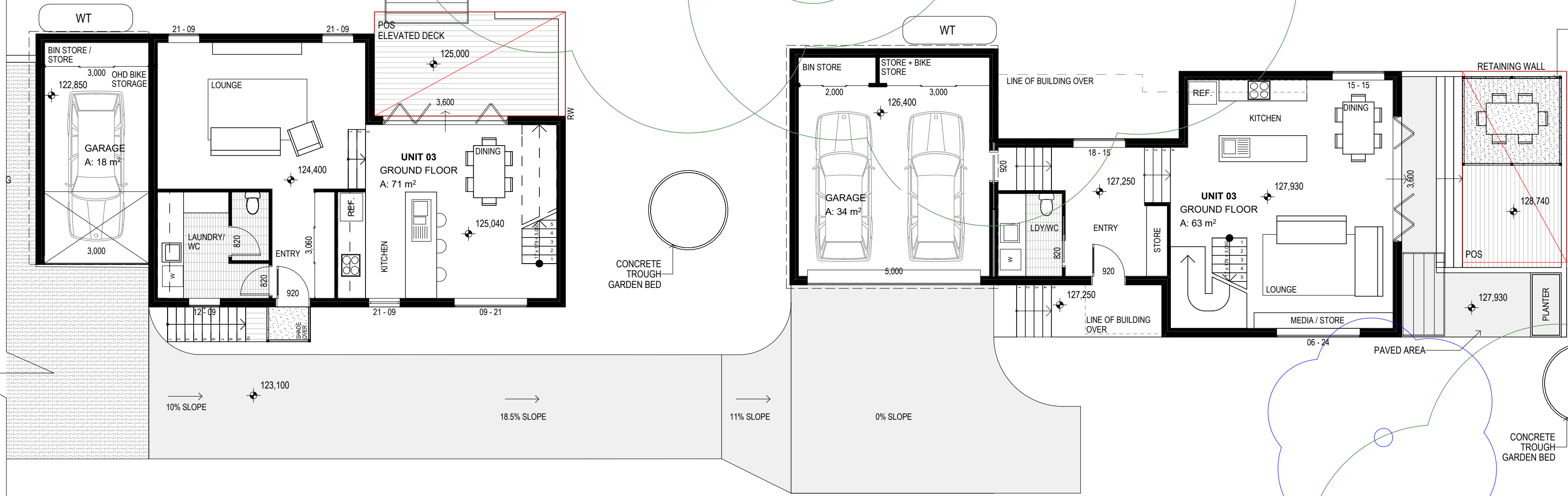
DRAWING CONTINUES ON
DRAWING DA101

BOUNDARY

BOUNDARY

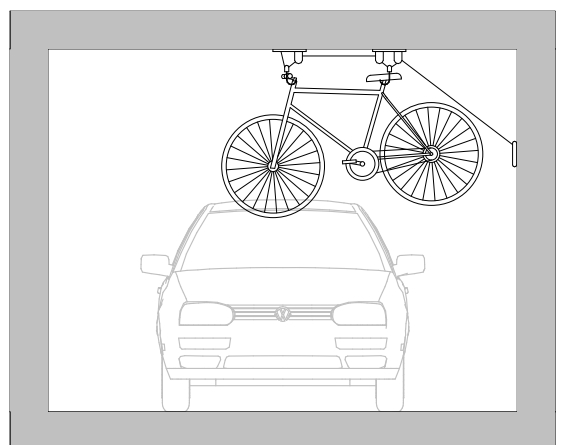
BOUNDARY

BLUE TREES INDICATE TREES
THAT MAY BE RETAINED
PENDING ARBORIST ADVICE



GROUND FLOOR 1:100

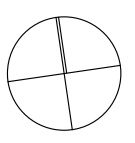
AMENDED DRIVEWAY TO BE CONFIRMED BY CIVIL ENGINEER



OVERHEAD BIKE STORAGE SECTION

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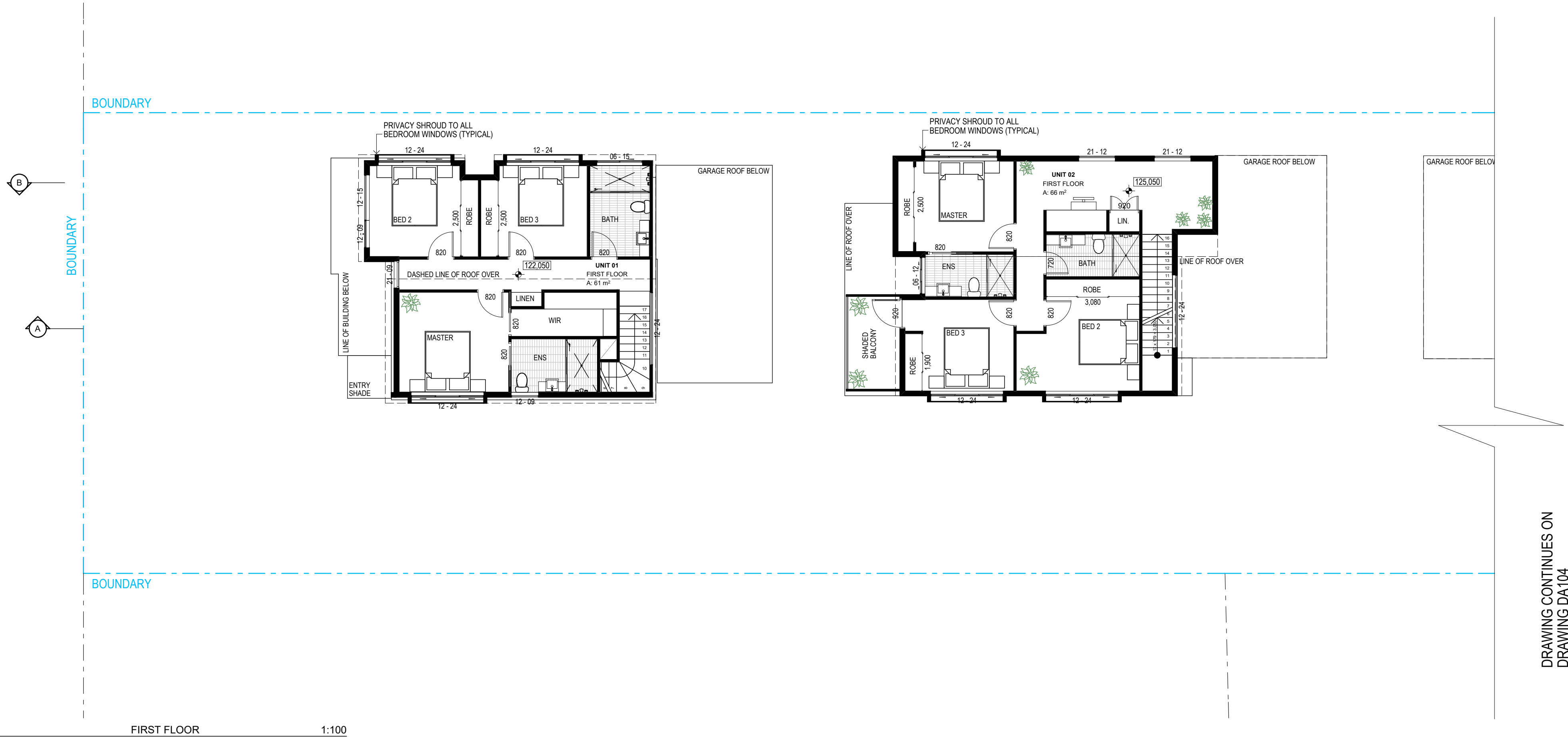
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Project
Multi Dwelling Housing
Location
**25 Marshall Road
New Lambton Heights**
Client
BINNIE

Drawing
GROUND FLOOR - UNITS 3-4
Scale
As Shown @ A2
Date
12/02/2019
QA CHECKED
SV

Drawing Number
DA102
Issue
B
Project Number
17129



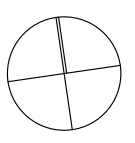


FIRST FLOOR 1:100

DRAWING CONTINUES ON DRAWING DA104

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P9	Remove Unit 5	10-01-19
B	RFI Amendments	12-02-19

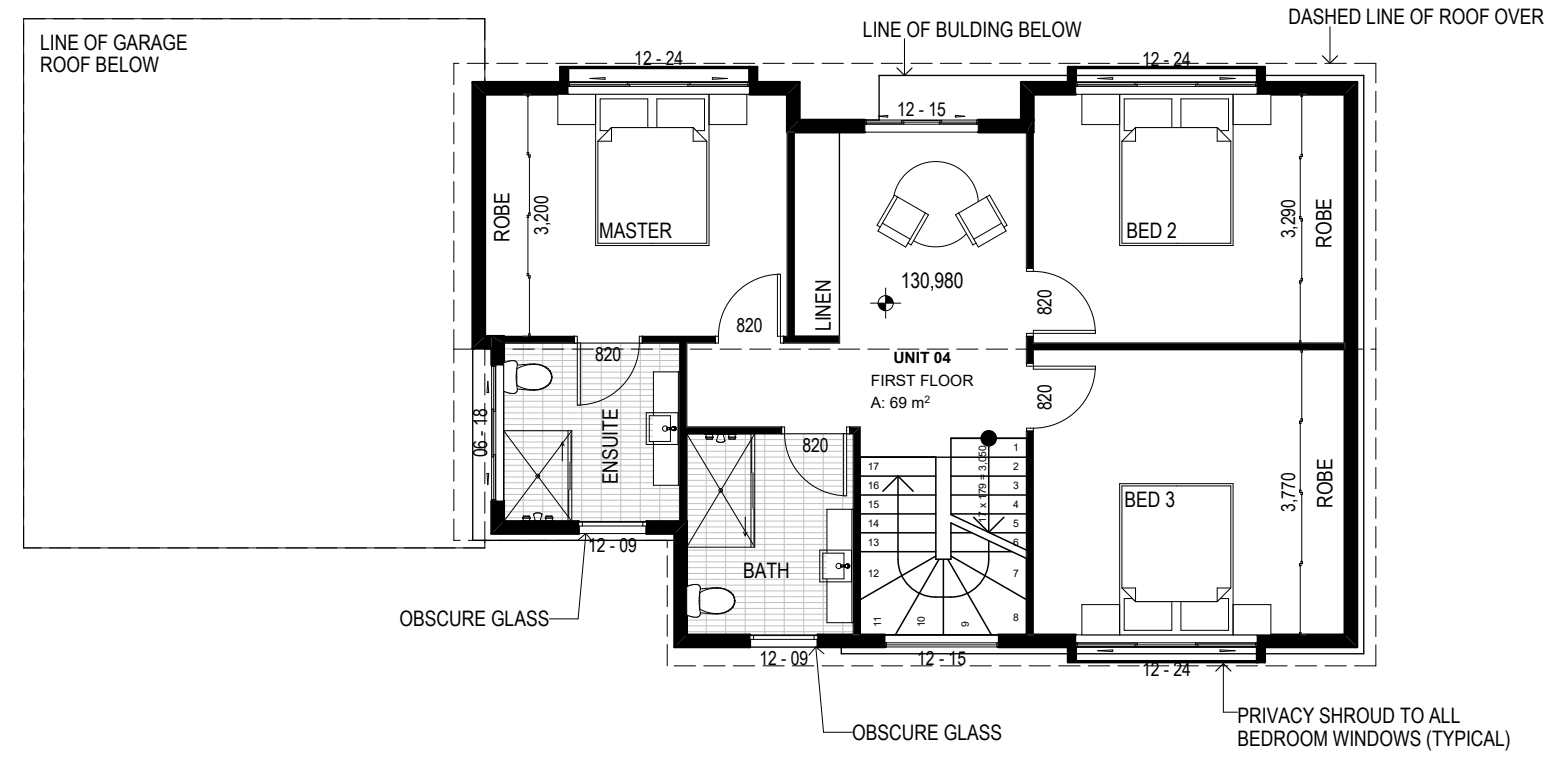
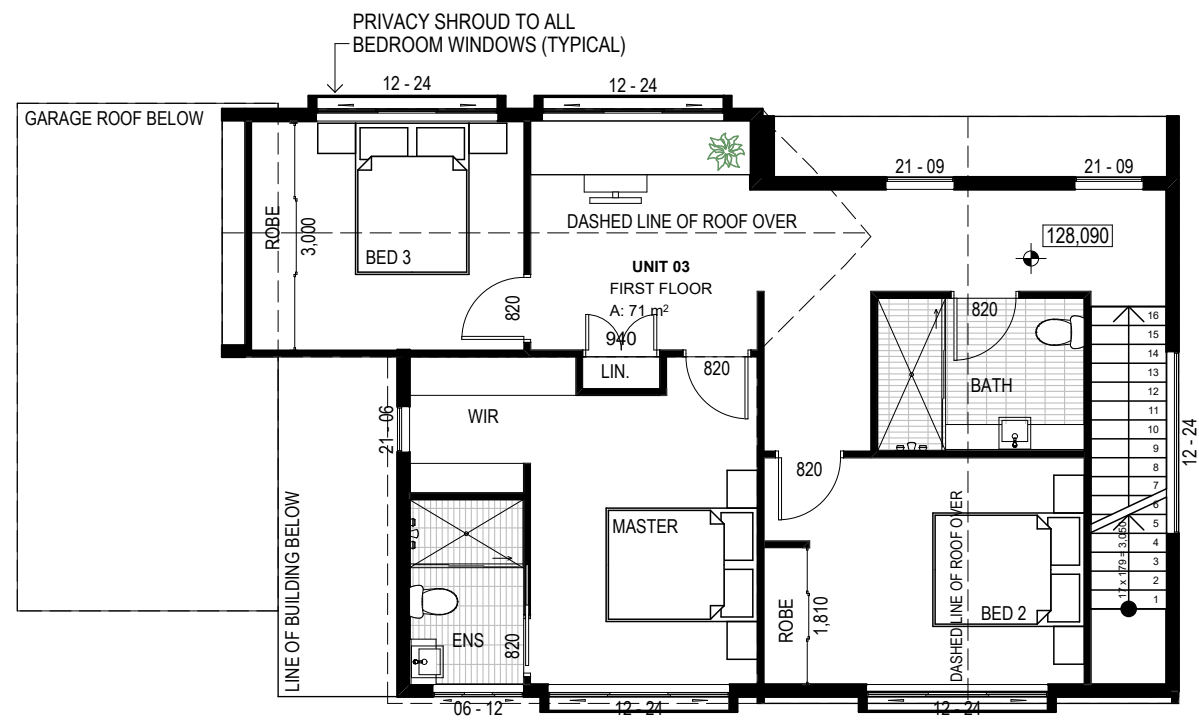
Project
Multi Dwelling Housing
Location
**25 Marhsall Road
New Lambton Heights**
Client
BINNIE

Drawing
FIRST FLOOR - UNITS 1-2
Scale
As Shown @ A2
Date
12/02/2019
DRAWN
CT
QA CHECKED
SV

Drawing Number
DA103
Issue
B
Project Number
17129



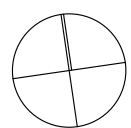
DRAWING CONTINUES ON
DRAWING DA103



FIRST FLOOR 1:100

PO Box 601 Kotara
NSW 2289 Ph 45524425
Nominated Architect: Daniel Hadley 8209

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FOR AUTHORITY APPROVAL ONLY
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Issue	Description	Date
P7	Coordination	02-08-18
P8	Coordination	20-08-18
A	Development Application	27-08-18
P9	Remove Unit 5	10-01-19
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing

Location
25 Marhsall Road
New Lambton Heights

Client
BINNIE

Drawing
FIRST FLOOR - UNITS 3-4

Scale: As Shown @ A2

Date: 12/02/2019

DRAWN
CT

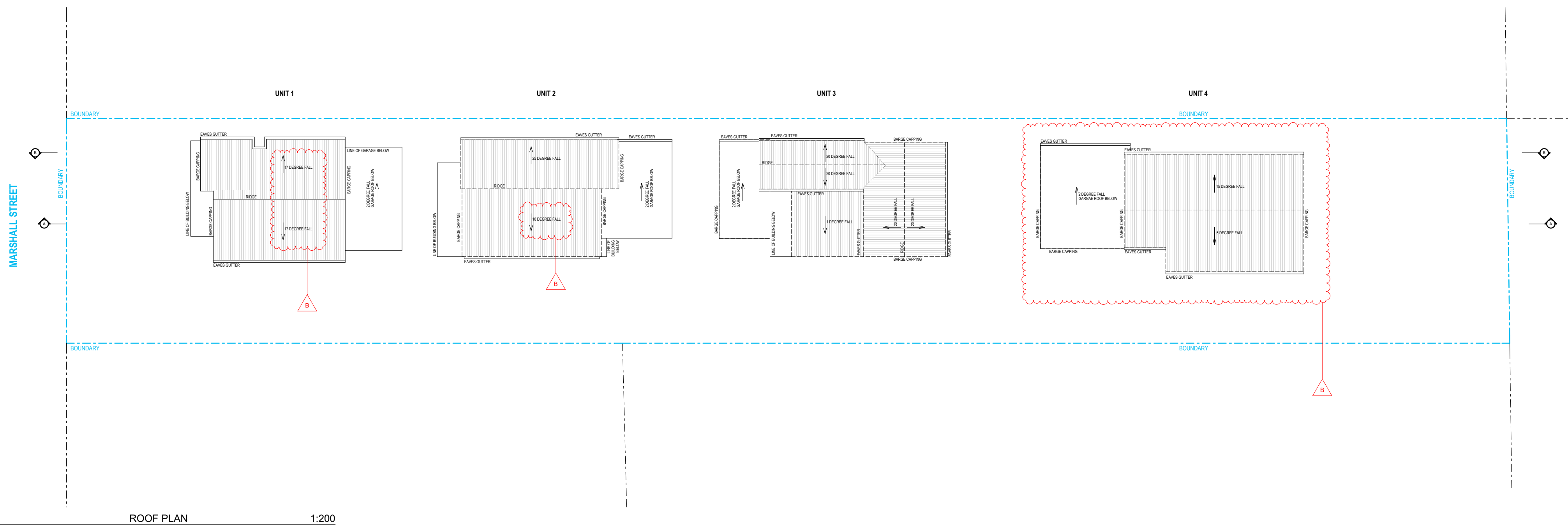
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Drawing Number
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Issue
B

Project Number
17129

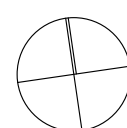




ROOF PLAN 1:200

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Issue	Description	Date
P2	Hunter Water + Mines Issue	30-07-18
P3	Coordination	02-08-18
P4	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
Location
**25 Marshall Road
New Lambton Heights**
Client
BINNIE

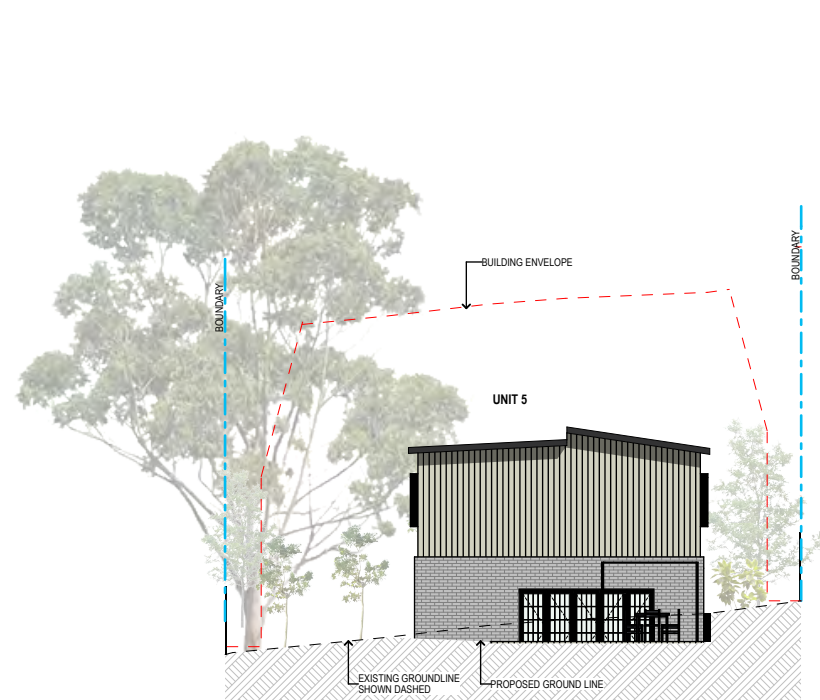
Drawing
ROOF PLAN
Scale
As Shown @ A2
Date
12/02/2019
QA CHECKED
SV

Drawing Number
DA105
Issue
B
Project Number
17129





NORTH ELEVATION 1:200



EAST ELEVATION 1:200



WEST ELEVATION 1:200

B

ELEVATIONS AMENDED TO SUIT REDUCED UNITS

ROOF RIDGES AMENDED TO COMPLY WITH 8.5m HEIGHT LIMIT

NOTES

REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS

FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION

VERTICAL CONTROL JOINTS INDICATIVE ONLY LOCATED IN ALL EXTERNAL WALLS 5000-6000mm CTS MAX AS PER ENGINEERS SPECIFICATIONS TO AS/NZS 4773.2 & TN 61. (BUILDER TO CONFIRM LOCATIONS)

DOWNPIPE POSITIONS ARE INDICATIVE ONLY. POSITION OF DOWNPIPES TO BE CONFIRMED BY BUILDER.

FOR LANDSCAPE DESIGN & FENCE LOCATIONS REFER TO LANDSCAPE DESIGNERS DOCUMENTATION

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P3	Hunter Water + Mines Issue	30-07-18
P4	Coordination	02-08-18
P5	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing

Location
**25 Marshall Road
New Lambton Heights**

Client
BINNIE

Drawing
ELEVATIONS

Scale
As Shown @ A2

Date
12/02/2019

QA CHECKED
SV

Drawing Number
DA300

Issue
B

Project Number
17129





SOUTH ELEVATION 1:200

B

ELEVATIONS AMENDED TO SUIT REDUCED UNITS

ROOF RIDGES AMENDED TO COMPLY WITH 8.5m HEIGHT LIMIT

NOTES

REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS

FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION

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Issue	Description	Date
P2	Hunter Water + Mines Issue	30-07-18
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A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing

Location
**25 Marhsall Road
New Lambton Heights**

Client
BINNIE

Drawing
ELEVATIONS

Scale
As Shown @ A2

Date
12/02/2019

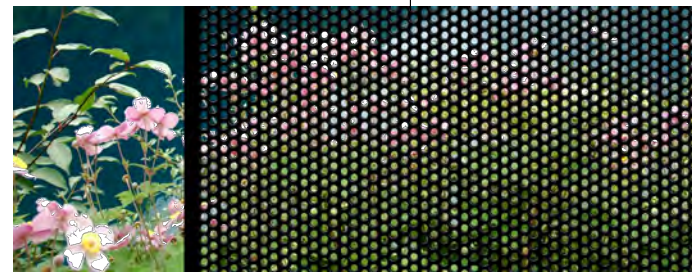
QA CHECKED
SV

Drawing Number
DA301

Issue
B

Project Number
17129

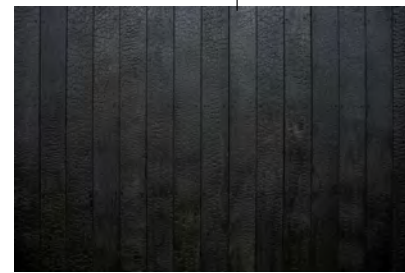




BLACK PERFORATED METAL PRIVACY SCREENING AND SHADING STRUCTURES



BLACK WINDOW FRAMES + RAILINGS



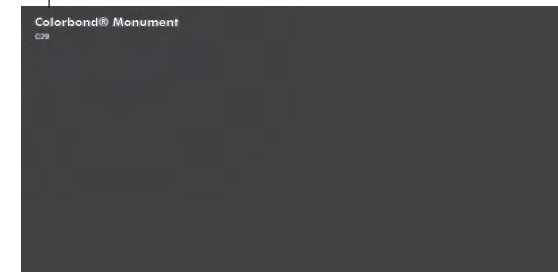
BLACK CHARRED TIMBER CLADDING



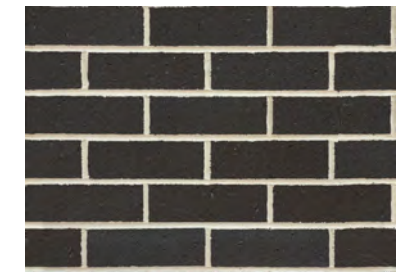
AGED IRONBARK OR SIMILAR LOOK SPECIES



AUSTRAL SAN SELMO SMOKED BRICK



COLORBOND MONUMENT ROOF AND FEATURE DETAILS



AUSTRAL EXPRESSIONS BLACKSTONE BRICK TO ALL GARAGES

SAME MATERIALS USED FOR ALL UNITS IN DIFFERENT LOCATIONS

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Issue	Description	Date
P2	Hunter Water + Mines Issue	30-07-18
P3	Coordination	02-08-18
P4	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
Location
25 Marshall Road
New Lambton Heights
Client
BINNIE

Drawing
EXTERNAL FINISHES
Scale
As Shown @ A2
Date
12/02/2019
QA CHECKED
SV
DRAWN
CT

Drawing Number
DA350
Issue
B
Project Number
17129





A SECTION A-A 1:200



B SECTION B-B 1:200

B SECTIONS AMENDED TO SUIT REDUCED UNITS

NOTES

- REFER TO CONSULTING ENGINEERS DRAWINGS FOR STORMWATER DETAILS
- FOR ROADWAY, DRIVEWAY AND RETAINING WALL DESIGN & LEVELS REFER TO CIVIL ENGINEERS DOCUMENTATION
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P5	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

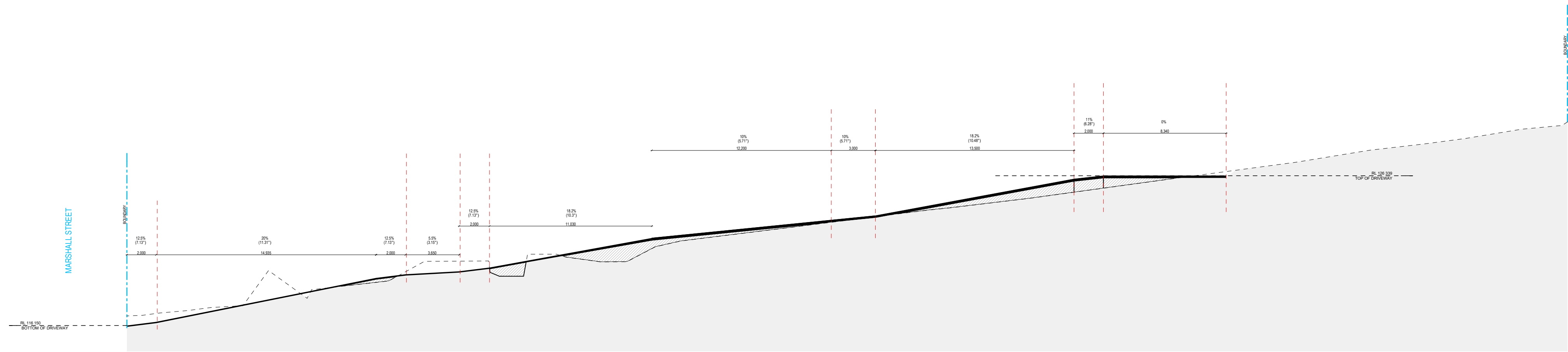
Project
Multi Dwelling Housing
Location
25 Marshall Road
New Lambton Heights
Client
BINNIE

Drawing
SECTIONS
Scale
As Shown @ A2
DRAWN
CT

Date
12/02/2019
QA CHECKED
SV

Drawing Number
DA400
Issue
B
Project Number
17129





NOTE: DRIVEWAY DESIGN HAS BEEN AMENDED TO SUIT REDUCED UNITS - DESIGN BE CONNFIRMED WITH CIVIL ENGINEER

B SECTIONS AMENDED TO SUIT REDUCED UNITS

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P3	Coordination	02-08-18
P4	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing

Location
**25 Marshall Road
 New Lambton Heights**

Client
BINNIE

Drawing
SECTIONS

Scale
 As Shown @ A2

Date
 12/02/2019

DRAWN
CT

QA CHECKED
SV

Drawing Number
DA401

Issue
B

Project Number
17129



Sediment and erosion control

All erosion and sediment control measures to be installed prior to site disturbance.

The project manager to inform all contractors and sub-contractors of their obligations under the erosion and sediment control plan.

Topsoil from all areas that will be disturbed to be stripped and stockpiled at the nominated site.

All sediment control structures to be inspected by site supervisor after each rainfall event for structural damage and all trapped sediment to be removed to a nominated stockpile site.

Sediment and erosion control shall be effectively maintained at all times during the course of construction and shall not be removed until the site has been stabilised or landscaped to the superintendent's satisfaction.

A single all weather access way will be provided at the front of the property consisting of 50-75 aggregate or similar material at a minimum thickness of 150 laid over needle-punched geotextile fabric and constructed prior to commencement of works.

The contractor shall ensure that no spoil or fill encroaches upon adjacent areas for the duration of works.

The contractor shall ensure that kerb inlets and drains receiving stormwater shall be protected at all times during development. Kerb inlet sediment traps shall be installed along the immediate vicinity along the street frontage.

Sediment fencing shall be secured by post (where metal star pickets are used plastic safety caps shall be used) at 3000 intervals with geotextile fabric embedded 200 in soil.

All topsoil stripped from the site and stockpiled does not interfere with drainage lines and stormwater inlets and will be suitably covered with an impervious membrane material and screened by sediment fencing.

Soil conservation

Prior to commencement of construction provide 'sediment fence,' 'sediment trap' and washout area to ensure the capture of water borne material generated from the site.

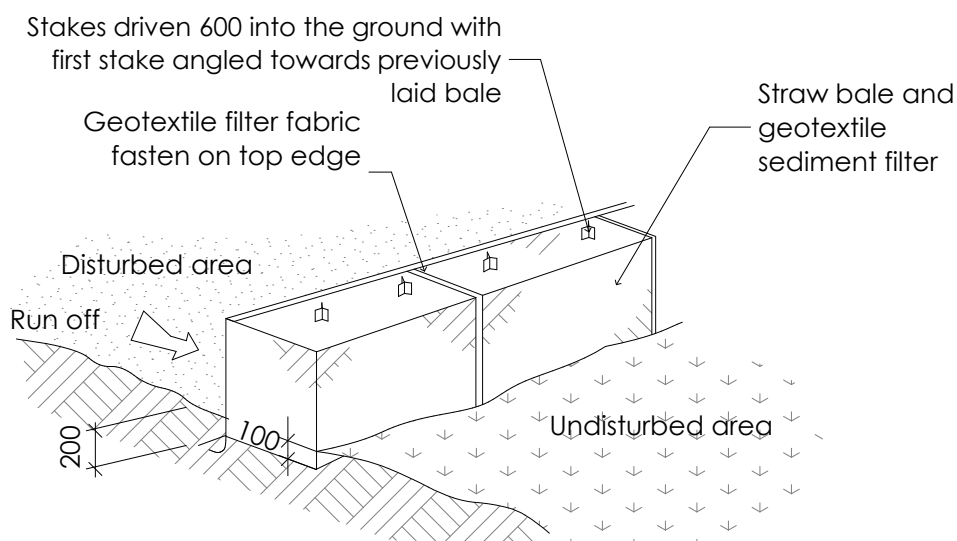
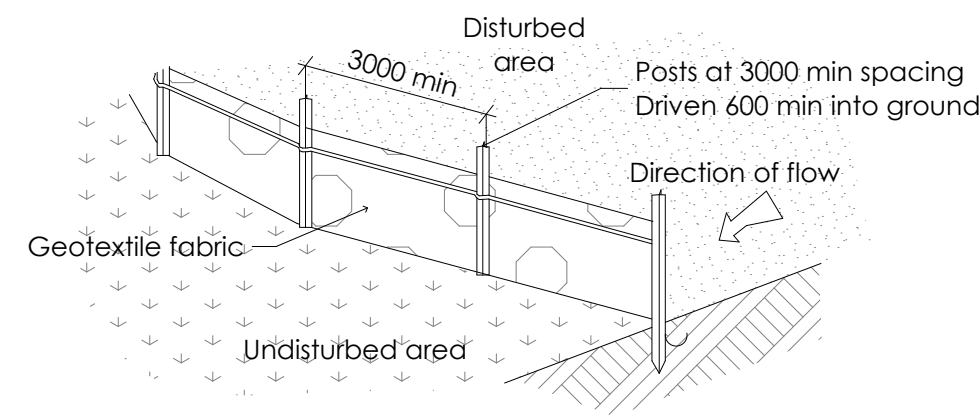
Maintain the above during the course of construction, and clear the 'sediment trap after each storm.

Sediment trap

1000 x 1000 wide 500 deep pit, located at the lowest point to the trap sediment.

Sediment fence

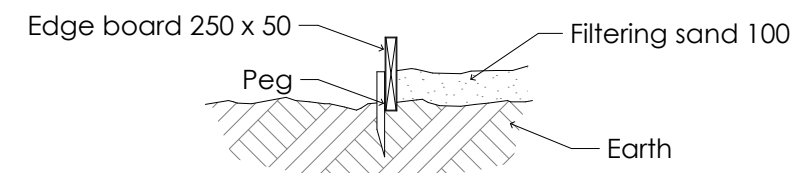
Provide sediment fence on down slope boundary as shown on plan. Fabric to be buried below ground at lower edge.



Drainage area 0.5 ha. max. slope gradient 1:2 max. slope length 50m.

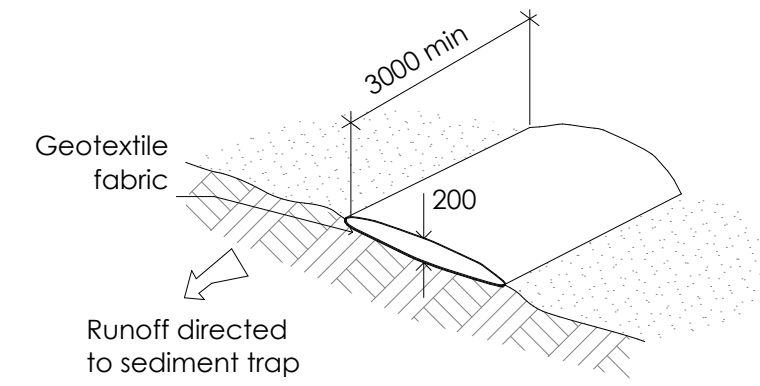
Washout area

to be 1800 x 1800 allocated for the washing of tool and equipment



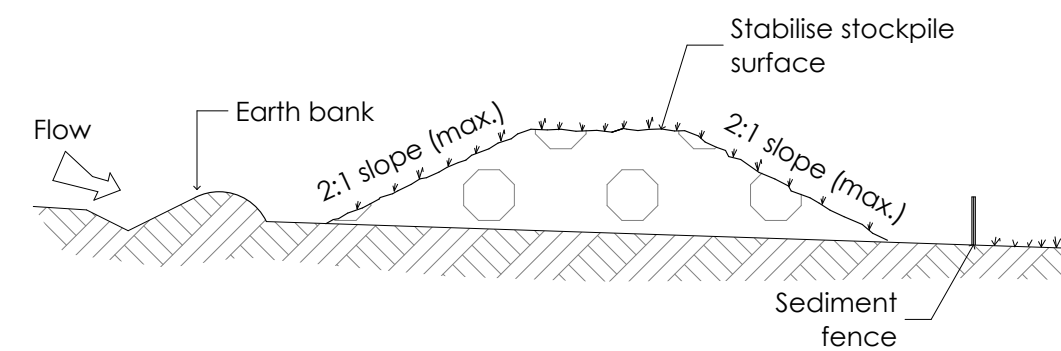
Vehicle access to site

Vehicle access to the building site should be restricted to a single point so as to reduce the amount of soil deposited on the street pavement.



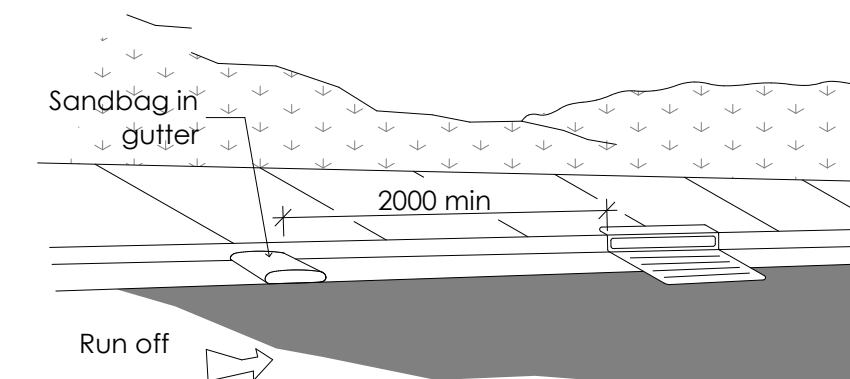
Building material stockpiles

All stockpiles of building material such as sand and soil must be protected to prevent scour and erosion. They should never be placed in the street gutter where they will wash away with the first rainstorm.



Sandbag kerb sediment trap

In certain circumstances extra sediment trapping may be needed in the street gutter.



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NSW 2289 Ph 49524425
Nominated Architect: Daniel Hadley 8209

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P1	Hunter Water + Mines Issue	30-07-18
P2	Coordination	02-08-18
P3	Coordination	20-08-18
A	Development Application	27-08-18
B	RFI Amendments	12-02-19

Project
Multi Dwelling Housing
Location
**25 Marhsall Road
New Lambton Heights**
Client
BINNIE

Drawing
SEDIMENT CONTROL
Scale
As Shown @ A2
Date
12/02/2019
DRAWN
CT
QA CHECKED
SV

Drawing Number
DA900
Issue
B
Project Number
17129



RESIDENTIAL APARTMENTS 25 MARSHALL STREET NEW LAMBTON HEIGHTS



DRAWING SCHEDULE

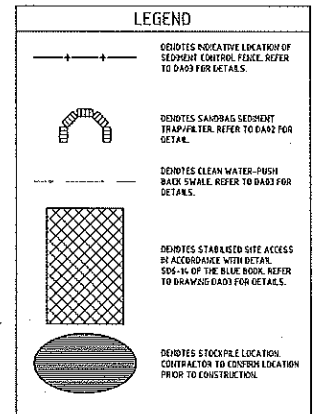
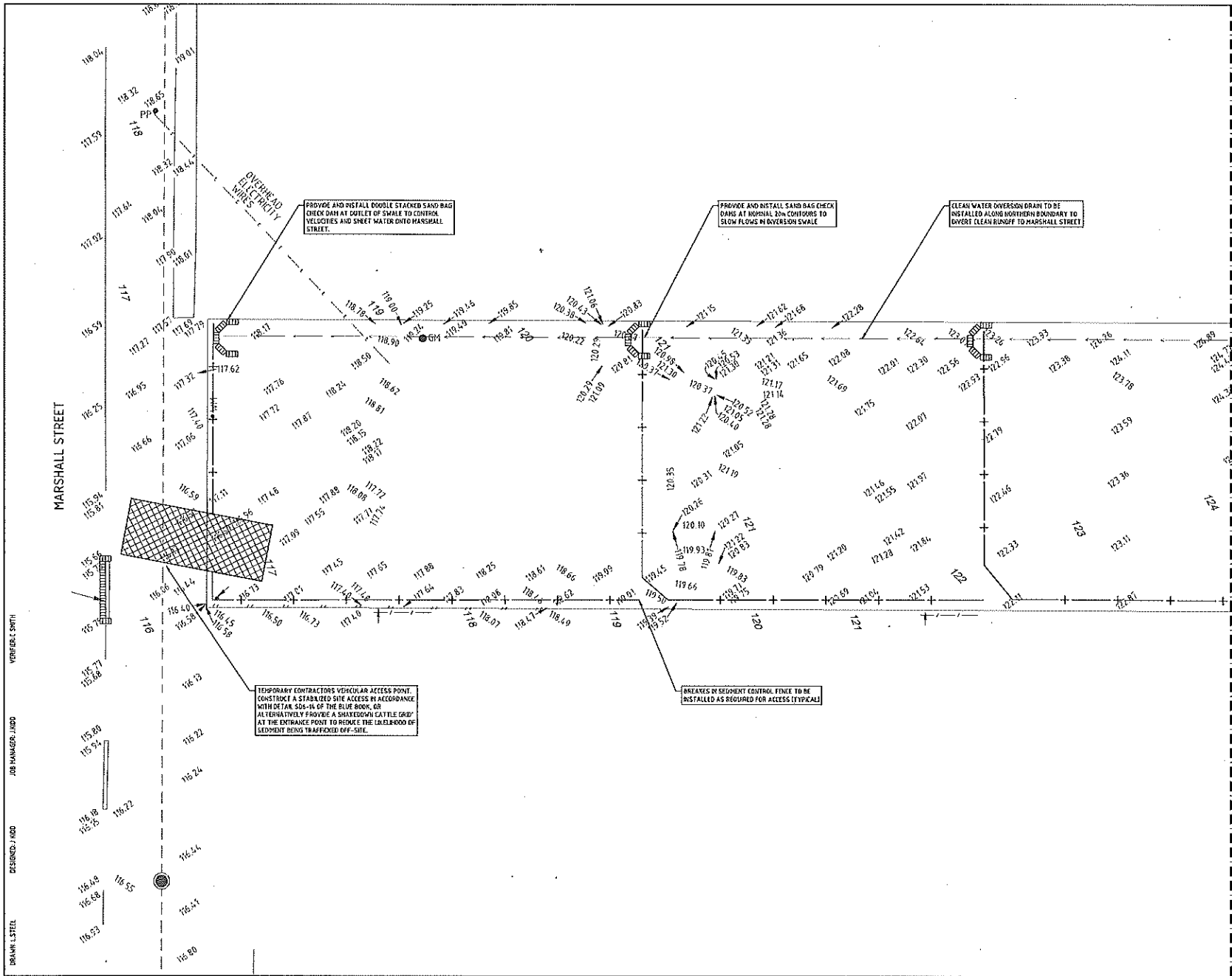
DRG No.	DRAWING TITLE
DA00	COVER SHEET AND DRAWING SCHEDULE
DA01	CONCEPT EROSION AND SEDIMENT CONTROL PLAN - SHEET 1
DA02	CONCEPT EROSION AND SEDIMENT CONTROL PLAN - SHEET 2
DA03	CONCEPT EROSION AND SEDIMENT CONTROL DETAILS
DA04	CONCEPT CIVIL AND STORMWATER PLAN - SHEET 1
DA05	CONCEPT CIVIL AND STORMWATER PLAN - SHEET 2
DA06	TYPICAL DETAILS AND STORMWATER SUMMARY

VERIFIER: L SMITH
 JOB MANAGER: J MOO
 DESIGNER: J MOO
 DRAWN: L STEEL



NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	ISSUED	VERD	APP'D	DATE	CLIENT	ARCHITECT	PROJECT	DRAWING TITLE	JOB NUMBER				
T	PRELIMINARY - FOR INFORMATION	LS		JK	11.05.18	BINNIE		 Newcastle Suite 4, 215 Pacific Hwy, Charlestown NSW 2290 P.O. Box 101, Charlestown NSW 2290 Ph: (02) 4943 1177 Fax: (02) 4943 1177 Email: newcastle@northrop.com.au AS1 81 604 423 150	25 MARSHALL STREET NEW LAMBTON HEIGHTS	COVER SHEET AND DRAWING SCHEDULE	NL172866			
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	CS	JK	13.08.18									
B	ISSUED FOR DEVELOPMENT APPLICATION	A	CS	JK	13.03.19									
<small>DRAWING NOT TO BE USED FOR CONSTRUCTION UNLESS VERIFICATION SIGNATURE HAS BEEN ADDED</small>						<small>THE COPYRIGHT OF THIS DRAWING REMAINS WITH NORTHROP CONSULTING ENGINEERS PTY LTD</small>				DRAWING NUMBER DA00	REVISION B			
<small>DRAWING SHEET SIZE = A1</small>														



FOR CONTINUATION REFER TO DRAWING DA02

- ### EROSION AND SEDIMENTATION CONTROL NOTES
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE APPROPRIATE FOR THE SEDIMENT TYPES OF THE SOILS ON-SITE. IN ACCORDANCE WITH THE "BLUE BOOK" (MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION LANDUSE 2004), OR OTHER CURRENT RECOGNIZED INDUSTRY STANDARDS FOR EROSION AND SEDIMENT CONTROL FOR AUSTRALIAN CONDITIONS. THIS INCLUDES SEDIMENT TRAPS AND LINGING OF CHANNELS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING A DETAILED WRITTEN RECORD OF ALL EROSION AND SEDIMENT CONTROL ON-SITE DURING THE CONSTRUCTION PERIOD. THIS RECORD SHALL BE UPDATED ON A DAILY BASIS AND SHALL INCLUDE DETAILS ON THE LOCATION OF CONTROLS AND ANY/ALL MAINTENANCE, CLEANING AND BREACHES. THIS RECORD SHALL BE KEPT ON-SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE MUNICIPAL CERTIFYING AUTHORITY AND THE SUPERINTENDENT DURING NORMAL WORKING HOURS.
 - INSTALL SEDIMENT PROTECTION FILTERS ON ALL NEW AND EXISTING STORMWATER INLET PILES IN ACCORDANCE WITH EITHER THE MESH AND GRAVEL BLEET FILTER DETAIL S04-11 OR THE GEOTEXTILE MESH FILTER DETAIL S04-16 OF THE "BLUE BOOK".
 - ESTABLISH ALL REQUIRED SEDIMENT FENCES IN ACCORDANCE WITH DETAIL S04-8 OF THE "BLUE BOOK".
 - INSTALL SEDIMENT FENCING OR OTHER SEDIMENT CONTROL DEVICES AROUND INDIVIDUAL BUILDING ZONES/AREAS AS REQUIRED AND AS DIRECTED BY THE SUPERINTENDENT OR APPROPRIATE CONSOLE OFFICER.
 - ALL TRENCHES INCLUDING ALL SERVICE TRENCHES AND SWALE EXCAVATION SHALL BE SEE-CAST TO THE HIGH SIDE AND CLOSED AT THE END OF EACH DAYS WORK.
 - THE CONTRACTOR SHALL ENSURE THAT ALL VEGETATION (TREE, SHRUB & GRASS) COVER WHICH IS TO BE RETAINED SHALL BE PROTECTED DURING THE DURATION OF CONSTRUCTION.
 - ALL VEGETATION TO BE REMOVED SHALL BE MATCHED ON-SITE AND SPREAD/STOCKPILED AS DIRECTED BY THE SUPERINTENDENT.
 - STEEP SLOPES IN AREAS DESIGNATED FOR STREPPING AND STOCKPILE FOR RE-USE AS REQUIRED. ANY SURPLUS MATERIAL SHALL BE SPREAD ON-SITE AS DIRECTED BY THE SUPERINTENDENT OR APPROVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH EPA GUIDELINES.
 - CONSTRUCT AND MAINTAIN ALL MATERIAL STOCKPILES IN ACCORDANCE WITH DETAIL S04-16 OF THE "BLUE BOOK" (ENCLOSURE) CUT-OFF SWALES TO THE HIGH SIDE AND SEDIMENT FENCES TO THE LOW SIDE.
 - ENSURE STOCKPILES DO NOT EXCEED 20% HGT. PROVIDE WIND AND RAIN EROSION PROTECTION AS REQUIRED IN ACCORDANCE WITH THE "BLUE BOOK".
 - PROVIDE WATER TRUCKS OR SPRINKLER DEVICES DURING CONSTRUCTION AS REQUIRED TO SUPPRESS DUST.
 - ONCE CUT/FILL OPERATIONS HAVE BEEN FORMALIZED ALL DISTURBED AREAS THAT ARE NOT BEING WORKED ON SHALL BE RE-VEGETATED AS SOON AS IS PRACTICAL.

DRAWN: L STEEL
DESIGNED: J MOO
JOB MANAGER: J MOO
VERIFIED: C SMITH

REVISION	DESCRIPTION	ISSUED	VIEWD	APPD	DATE	CLIENT
1	PRIMARY - FOR INFORMATION	LS	JK	JK	11/05/18	BINNE
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	ES	JK	13/08/18	
B	ISSUED FOR DEVELOPMENT APPLICATION	JL	ES	JK	03/10/19	

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ARCHITECT

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SCALE 1:100 @ A1

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P.O. Box 199, Cheltenham NSW 2200
Ph: (02) 4910 1777 Fax: (02) 4943 1777
Email: northrop@northrop.com.au ABN 18644 418 110

PROJECT
25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE
CONCEPT EROSION AND
SEDIMENT CONTROL PLAN
SHEET 1

NOT BEFORE YOU DIG

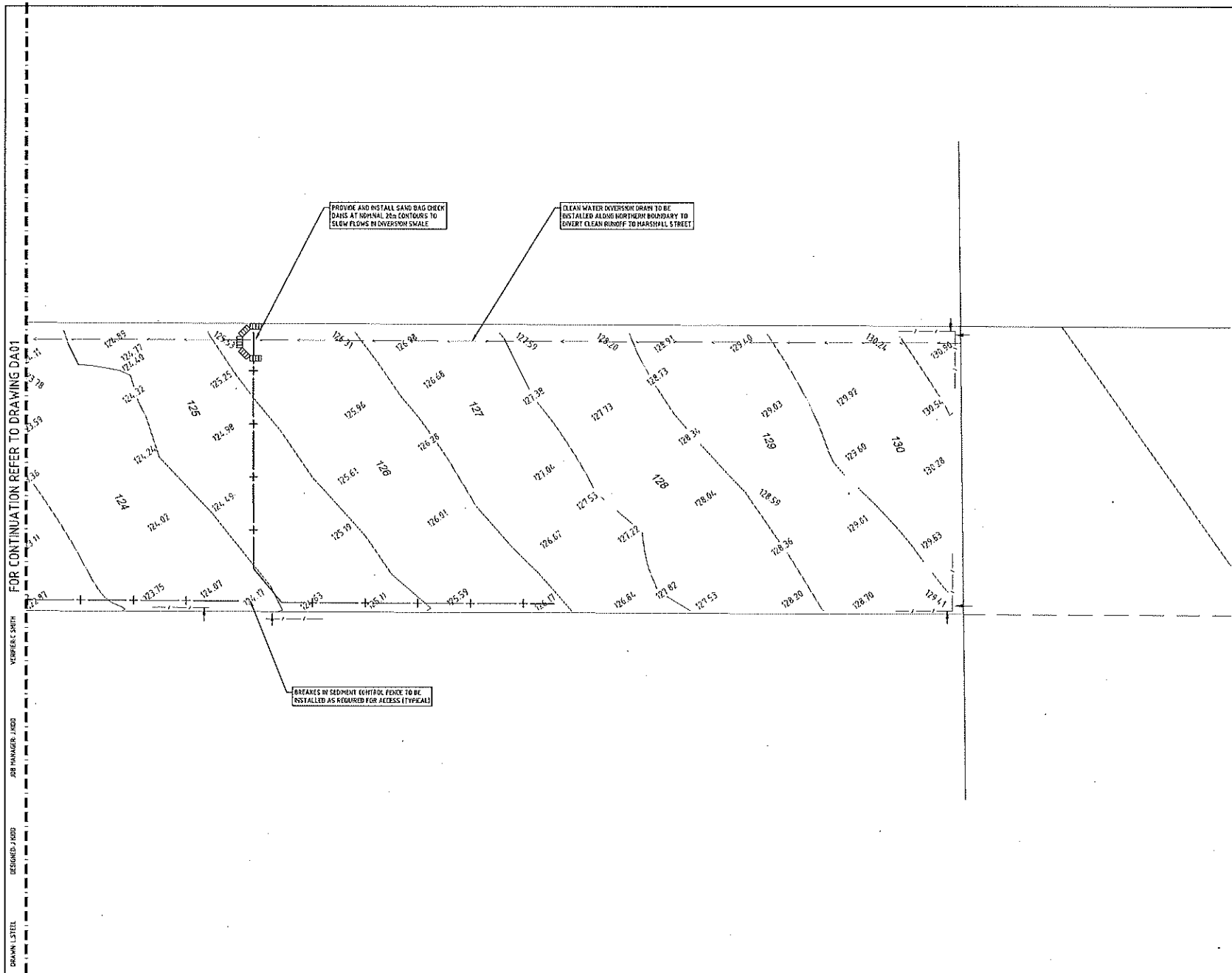
NOT FOR CONSTRUCTION

JOB NUMBER
NL172866

DRAWING NUMBER	REVISION
DA01	B

DRAWING SHEET SIZE - A1

LEGEND
REFER TO DA01



FOR CONTINUATION REFER TO DRAWING DA01

VIEWHERE SOUTH

JOB MANAGER: JIMMO

DESIGNED: JIMMO

DRAWN: LSTEEL

BREAKS IN SEDIMENT CONTROL FENCE TO BE INSTALLED AS REQUIRED FOR ACCESS (TYPICAL)

PROVIDE AND INSTALL SAND BAG CHECK DAMS AT ABOVE SPOT ELEVATIONS TO ELUW FLOWS IN OVERSPILL SVALE

CLEAN WATER OVERSPILL DRAIN TO BE INSTALLED ALONG NORTH PROPERTY BOUNDARY TO DIVERT CLEAN RUNOFF TO MARSHALL STREET



NOT FOR CONSTRUCTION

REVISION	DESCRIPTION	ISSUED	VER D	APP D	DATE	CLIENT
T	PRELIMINARY - FOR INFORMATION	LS	JK		11.05.19	BINNIE
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	ES	JK	13.08.19	
B	ISSUED FOR DEVELOPMENT APPLICATION	A	ES	JK	13.03.19	

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ARCHITECT

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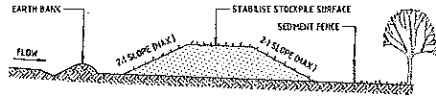
PROJECT
25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE
CONCEPT EROSION AND
SEDIMENT CONTROL PLAN
SHEET 2

JOB NUMBER
NL172866

DRAWING NUMBER	REVISION
DA02	B

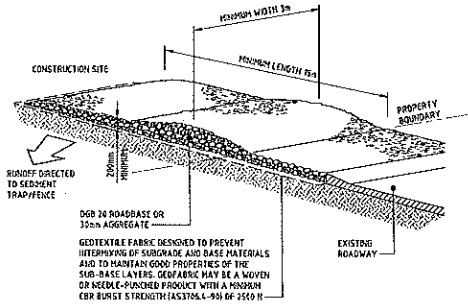
DRAWING SHEET SIZE of A1



CONSTRUCTION NOTES

1. PLACE STOCKPILES MORE THAN 2m (PREFERABLY 5m) FROM EXISTING VEGETATION, CONCENTRATED WATER FLOW, ROADS AND HAZARD AREAS.
2. CONSTRUCT ON THE CONTOUR AS LOW, FLAT, ELONGATED MOUND.
3. WHERE THERE IS SUFFICIENT AREA, TOPSOIL STOCKPILES SHALL BE LESS THAN 2m HIGH.
4. WHERE THEY ARE TO BE IN PLACE FOR MORE THAN 10 DAYS, STABILISE FOLLOWING THE APPROVED ESCP OR SWMP TO REDUCE THE C-FACTOR TO LESS THAN 0.15.
5. CONSTRUCT EARTH BANKS (STANDARD DRAWING 5-5) ON THE UPSLOPE SIDE TO DIVERT WATER AROUND STOCKPILES AND SEDIMENT FENCES (STANDARD DRAWING 6-8) 1 TO 2m DOWNSLOPE.

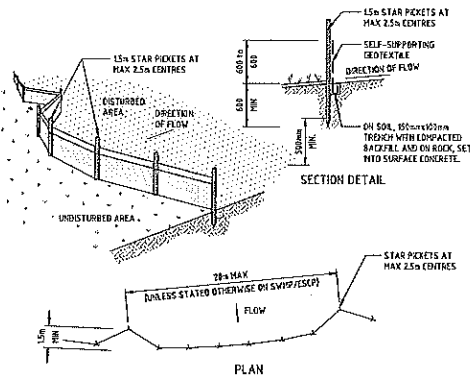
STOCKPILES (SD 4-1)



CONSTRUCTION NOTES

1. STRIP THE TOPSOIL, LEVEL THE SITE AND COMPACT THE SUBGRADE.
2. COVER THE AREA WITH NEEDLE-PUNCHED GEOTEXTILE.
3. CONSTRUCT A 200mm THICK PAD OVER THE GEOTEXTILE USING ROAD BASE OR 150mm AGGREGATE.
4. ENSURE THE STRUCTURE IS AT LEAST 15 METRES LONG OR TO BUILDING ALIGNMENT AND AT LEAST 3 METRES WIDE.
5. WHERE A SEDIMENT FENCE JOINS INTO THE STABILISED ACCESS, CONSTRUCT A MHP IN THE STABILISED ACCESS TO DIVERT WATER TO THE SEDIMENT FENCE.

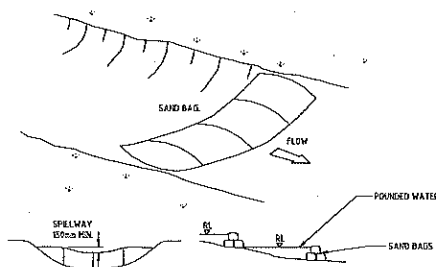
STABILISED SITE ACCESS (SD 6-14)



CONSTRUCTION NOTES

1. CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOUR OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
2. CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE EXTENDED.
3. DRIVE 15 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
4. FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH FOR THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
5. JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
6. BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE (SD 6-8)

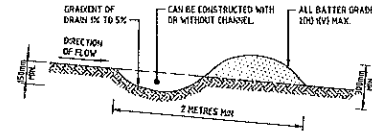


CONSTRUCTION NOTES

1. ENSURE CHANNEL IS DEEP ENOUGH TO PREVENT WATER BEING UNSAFEY DIVERTED OUT OF DRAIN ONCE SAND BAGS ARE INSTALLED.

NOTE: SPACING OF CHECK DAMS ALONG CENTERLINE AND SECURE PROTECTION BELOW EACH CHECK DAM TO BE SPECIFIED ON SWMP/ESCP.

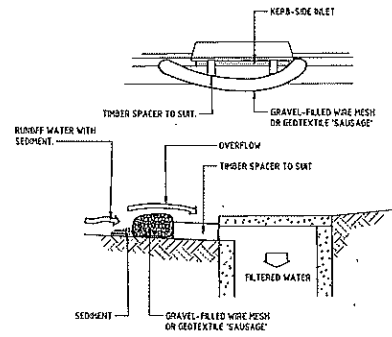
SANDBAG CHECK DAM



CONSTRUCTION NOTES

1. BUILD WITH GRADIENTS BETWEEN 1 AND 5 PERCENT.
2. AVOID REMOVING TREES AND SHRUBS IF POSSIBLE - WORK AROUND THEM.
3. ENSURE THE STRUCTURES ARE FREE OF PROJECTIONS OR OTHER IRREGULARITIES THAT COULD BEFEEDE WATER FLOW.
4. BUILD THE DRAINS WITH CIRCULAR, PARABOLIC OR TRAPEZOIDAL CROSS SECTIONS, NOT Y SHAPED.
5. ENSURE THE BANKS ARE PROPERLY COMPACTED TO PREVENT FAILURE.
6. COMPLETE PERMANENT OR TEMPORARY STABILISATION WITHIN 10 DAYS OF CONSTRUCTION.

NOTE: ONLY TO BE USED AS TEMPORARY BANK WHERE MAXIMUM UPSLOPE LENGTH IS 10 METRES.
EARTH BANK - LOW FLOW (SD 5-5)



CONSTRUCTION NOTES

1. INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
2. FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 30mm GRAVEL.
3. FORM AN ELIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
4. PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
5. FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
6. SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDED THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

MESH AND GRAVEL INLET FILTER (SD 6-11)

DRAWN: L. STEEL
DESIGNED: J. JORD
JOB MANAGER: J. JORD
CHECKED: S. SMITH

REVISION	DESCRIPTION	ISSUED	VERD	APPR	DATE	CLIENT
1	PRELIMINARY - FOR INFORMATION	L.S.	J.K.	J.K.	11/05/19	BINNIE
A	ISSUED FOR DEVELOPMENT APPLICATION	L.S.	J.C.	J.K.	13/03/19	
B	ISSUED FOR DEVELOPMENT APPLICATION	J.K.	L.S.	J.K.	19/03/19	

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PROJECT
25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE
CONCEPT EROSION AND
SEDIMENT CONTROL DETAILS

JOB NUMBER
NL172866

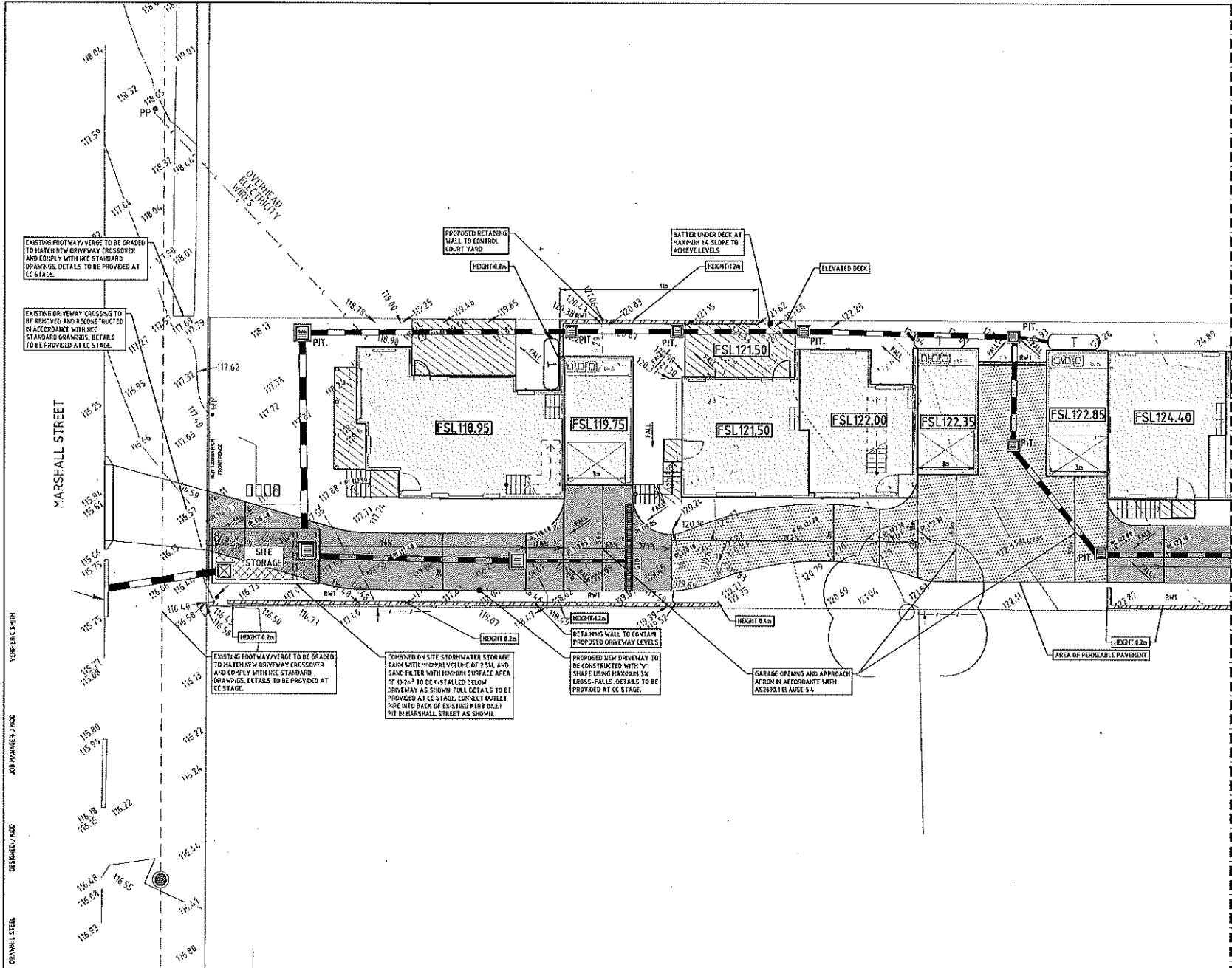
DRAWING NUMBER
DA03

REVISION
B

DRAWING SHEET SIZE: A4



NOT FOR CONSTRUCTION



FOR CONTINUATION REFER TO DRAWING DA04

LEGEND	
	PROPOSED BOUNDARY LINE
	DENOTES EXTENT OF PROPOSED BUILDING, REFER ARCHITECTURAL DRAWINGS FOR DETAILS
	DENOTES EXTENT OF PROPOSED CONCRETE DRIVEWAY PAVEMENT, DETAILS TO BE PROVIDED AT CC STAGE
	DENOTES EXTENT OF PERMEABLE PAVEMENT TYPE 2, DETAILS TO BE PROVIDED AT CC STAGE
	DENOTES PROPOSED TIMBER DECKING, REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS
	PROPOSED FINISHED FLOOR LEVEL
	INDICIAL FINISHED SURFACE LEVEL, TO BE CONFIRMED PRIOR TO CC STAGE.
	DIRECTION OF GRADE
	DENOTES APPROXIMATE EXTENT OF RETAINING WALLS, DETAILS TO BE PROVIDED AT CC STAGE.
	DENOTES 4.4L REUSE TANK INLET OF TANK TO BE VIA FIRST FLUSH DEVICE, ALL DOWNPIPE TO BE HYDRAULICALLY CONNECTED TO TANK AT MINIMUM 0.5% FALL. REFER TO DATA FOR TYPICAL ARRANGEMENT.
	GRADED TRENCH DRAIN
	DENOTES GRADED INLET PIT
	DENOTES STORMWATER PIPE, DIRECTION AND PIPE DIAMETER

NOTE:
REFER TO SHEET DA06 FOR CONCEPT STORMWATER MANAGEMENT SUMMARY AND SUPPORTING CALCULATIONS

DRAWN: L STEEL
DESIGNED: J MOO
JOB MANAGER: J MOO
VERIFIED: C SMITH

REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT
1	PRELIMINARY - FOR INFORMATION	LS	JK	JK	11.05.18	BINNIE
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	CS	JK	13.08.18	
B	ISSUED FOR DEVELOPMENT APPLICATION	A	CS	JK	13.03.19	

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PROJECT
25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE
CONCEPT CIVIL AND STORMWATER PLAN
SHEET 1

NOT FOR CONSTRUCTION

JOB NUMBER
NL172866

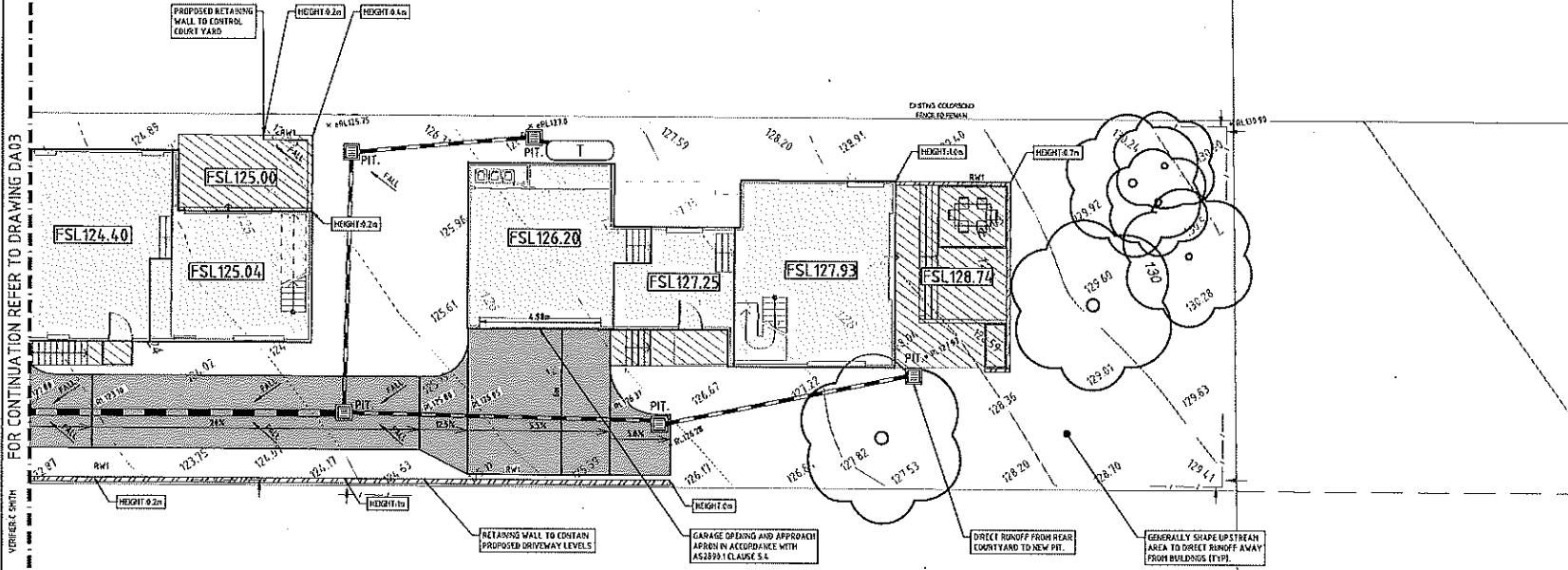
DRAWING NUMBER
DA04

REVISION
B

DRAWING SHEET SIZE: A4

LEGEND
REFER TO DA04

NOTE:
REFER TO SHEET DA06 FOR CONCEPT
STORMWATER MANAGEMENT SUMMARY AND
SUPPORTING CALCULATIONS



FOR CONTINUATION REFER TO DRAWING DA03

DESIGNED: J. STEEL
JOB MANAGER: J. MOO
VERIFIER: C. SMITH

REVISION	DESCRIPTION	ISSUED	VERO	APP'D	DATE	CLIENT
1	PRELIMINARY - FOR INFORMATION	LS	CS	JK	11.05.18	BINNIE
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	CS	JK	13.08.18	
B	ISSUED FOR DEVELOPMENT APPLICATION	NL	CS	JK	17.03.19	

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PROJECT
25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE
CONCEPT CIVIL AND
STORMWATER PLAN
SHEET 2

JOB NUMBER
NL172866

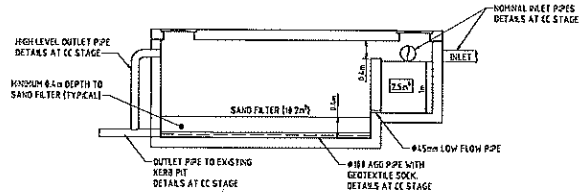
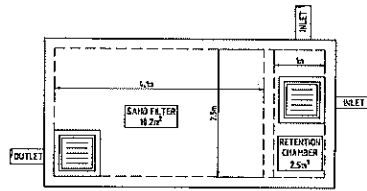
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DA05

REVISION
B

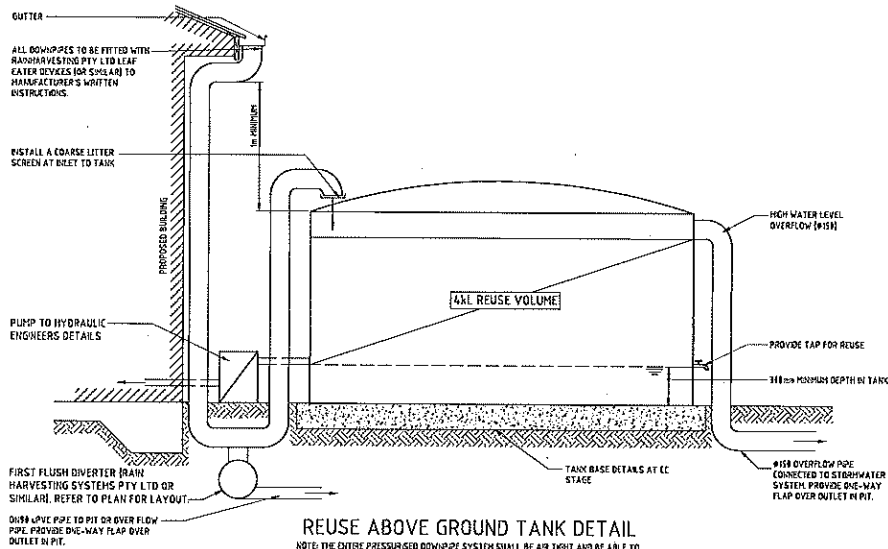
DRAWING SHEET SIZE: A1



NOT FOR CONSTRUCTION



SITE STORAGE AND DISCHARGE TANK



REUSE ABOVE GROUND TANK DETAIL

NOTE: THE ENTIRE PRESSURISED DOWNPIPE SYSTEM SHALL BE AIR TIGHT AND BE ABLE TO WITHSTAND ATMOSPHERIC PRESSURE. THE PIPING SYSTEM SHALL BE 100% RAS AND FITTINGS WITH INTERNAL ULTRA VIOLET STABILISING (OR APPROVED EQUIVALENT).

CONCEPT STORMWATER MANAGEMENT SUMMARY

LGA - NEWCASTLE CITY COUNCIL (NCC)

NORTHROP CONSULTING ENGINEERS HAVE PREPARED A CONCEPT STORMWATER DRAINAGE DESIGN FOR THE PROPOSED RESIDENTIAL DEVELOPMENT AT 25 MARSHALL STREET, NEW LAMBTON HEIGHTS. THE PROPOSED STORMWATER MANAGEMENT PLANS HAVE BEEN DEVELOPED IN ACCORDANCE WITH THE NCC 2012 DCP, SECTION 7.5.6 AND THE NCC 2015 STORMWATER AND WATER EFFICIENCY TECHNICAL MANUAL.

THE EXISTING LOT HAS AN APPROXIMATE TOTAL AREA OF 1492 M² AND CURRENTLY CONTAINS A SINGLE RESIDENTIAL DWELLING, OFF-STREET CAR PARKING, NUMEROUS LARGE TREES AND ASSOCIATED LANDSCAPING. THE LOT AND SITE HAS A WESTERLY ASPECT THAT GRADES TOWARDS MARSHALL STREET AT AN APPROXIMATE 1% SLOPE. THE DEVELOPMENT PROPOSES A MULTI-DWELLING DEVELOPMENT FOR THE SITE THAT WILL INCORPORATE FIVE (5) TOWNHOUSES AND ASSOCIATED PRIVATE OPEN SPACE. ALL PROPOSED UNITS WILL GAIN ACCESS VIA A DRIVEWAY ACCESSING MARSHALL STREET. THE PROPOSED STORMWATER MANAGEMENT STRATEGY CAN BE SUMMARISED AS FOLLOWS:

- PERMEABLE PAVEMENT WILL BE INCORPORATED INTO A PORTION OF THE PROPOSED DRIVEWAY. ALL PERMEABLE PAVEMENT HAS BEEN ASSIGNED TO BE PERVIOUS IN ACCORDANCE WITH NCC 2012 DCP, SECTION 7.6.1.
- PROVISION OF A 4KL RAIN WATER TANK FOR EACH DWELLING.
- PROVISION OF A SAND FILTER TO TREAT STORMWATER RUNOFF CAPTURED FROM THE DRIVEWAY PAVEMENT.

IT IS UNDERSTOOD THE EXISTING DWELLING WILL BE DEMOLISHED TO MAKE WAY FOR THE PROPOSED UNITS AND DRIVEWAY. FOR THE PURPOSE OF THE BELOW CALCULATIONS, THE EXISTING SITE HAS BEEN ADOPTED AS BEING NATURAL STATE WITH NO IMPERVIOUS AREAS.

1. STORAGE REQUIREMENTS

- TOTAL SITE AREA = 1492m²
 - TOTAL ROOF AREA = 535m²
 - PAVED IMPERVIOUS AREA = 215m²
 - TOTAL PERVIOUS AREA = 746m²
 - ** LANDSCAPED AREA = 427m²
 - ** PERMEABLE PAVING = 119m²
 - PERCENTAGE IMPERVIOUS = 50%
- IN ACCORDANCE WITH NCC'S DCP, 4KL RAINWATER HARVESTING TANKS HAVE BEEN PROVIDED FOR EACH OF THE 5 DWELLINGS RESULTING IN A COMBINED VOLUME OF 20KL ACROSS THE SITE. THE HARVESTED VOLUME IS TO BE INTERNALLY REUSED WITHIN EACH OF THE DWELLINGS THROUGH TOILET AND LAUNDRY CONNECTIONS AND EXTERNALLY FOR LANDSCAPE IRRIGATION. ALL DOWNPIPES ARE TO BE CONNECTED TO A FIRST FLUSH DEVICE LOCATED PRIOR TO THE TANK INLETS. OVERFLOW FROM THE TANKS ARE TO DIRECT INTO THE PROPOSED PIT AND PPE NETWORK.
- THE SITE'S STORAGE REQUIREMENT = 12.2m³ x 14.6m³ = 9.0KL

2. ONSITE HARVESTING/REUSE

IN ACCORDANCE WITH NCC'S DCP, 4KL RAINWATER HARVESTING TANKS HAVE BEEN PROVIDED FOR EACH OF THE 5 DWELLINGS RESULTING IN A COMBINED VOLUME OF 20KL ACROSS THE SITE. THE HARVESTED VOLUME IS TO BE INTERNALLY REUSED WITHIN EACH OF THE DWELLINGS THROUGH TOILET AND LAUNDRY CONNECTIONS AND EXTERNALLY FOR LANDSCAPE IRRIGATION. ALL DOWNPIPES ARE TO BE CONNECTED TO A FIRST FLUSH DEVICE LOCATED PRIOR TO THE TANK INLETS. OVERFLOW FROM THE TANKS ARE TO DIRECT INTO THE PROPOSED PIT AND PPE NETWORK.

3. STORMWATER QUALITY

ALTHOUGH THE PROPOSED REUSE VOLUME EXCEEDS THE SITE STORAGE REQUIREMENT, ADDITIONAL TREATMENT WILL BE REQUIRED FOR THE DRIVEWAY IMPERVIOUS AREAS. TREATMENT VOLUME REQUIRED = 12.2m³ x 215m² = 2.5KL

A SAND FILTER HAS BEEN PROPOSED TO PREVENT RUNOFF FROM THE PAVED SURFACE AREAS OF THE DEVELOPMENT. THIS SYSTEM HAS BEEN SIZED IN ACCORDANCE WITH SECTION 4.3 OF THE NCC'S TECHNICAL MANUAL AND CONSIDERS AN APPROXIMATE 20m² THAT INFILTRATES THROUGH PERMEABLE PAVEMENT AND/OR BYPASSES THE SAND FILTER CATCHMENTS.

RETENTION CHAMBER VOLUME = 2.5KL
SAND FILTER AREA ((12.2/1.5) x 0.8m) = 12.2m²

4. SITE DISCHARGE

THE PROPOSED STORMWATER NETWORK FOR THE DEVELOPMENT WILL CONNECT INTO EXISTING STORMWATER HERO INLET PIT LOCATED IN MARSHALL STREET. THE INVERT OF THE EXISTING STORMWATER PIPE IS AT APPROXIMATE RL 1.6.5 TO BE CONFIRM AT CC STAGE.

DRAWN: L. STEEL
DESIGNED: J. HOD
JOB MANAGER: J. HOD
CHECKED: L. SMITH

REVISION	DESCRIPTION	ISSUED	VER D	APP D	DATE	CLIENT
1	PRELIMINARY - FOR INFORMATION	LS		JK	11.05.18	BINNIE
A	ISSUED FOR DEVELOPMENT APPLICATION	LS	CS	JK	13.03.18	
B	ISSUED FOR DEVELOPMENT APPLICATION	JK	CS	JK	13.03.18	

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ARCHITECT

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PROJECT

25 MARSHALL STREET
NEW LAMBTON HEIGHTS

DRAWING TITLE

TYPICAL DETAILS
AND STORMWATER
SUMMARY

JOB NUMBER

NL172866

DRAWING NUMBER	REVISION
DA06	B

DRAWING SHEET SIZE = A1

NOT FOR CONSTRUCTION

DEVELOPMENT APPLICATIONS COMMITTEE MEETING

9 April 2019

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

REPORTS BY COUNCIL OFFICERS

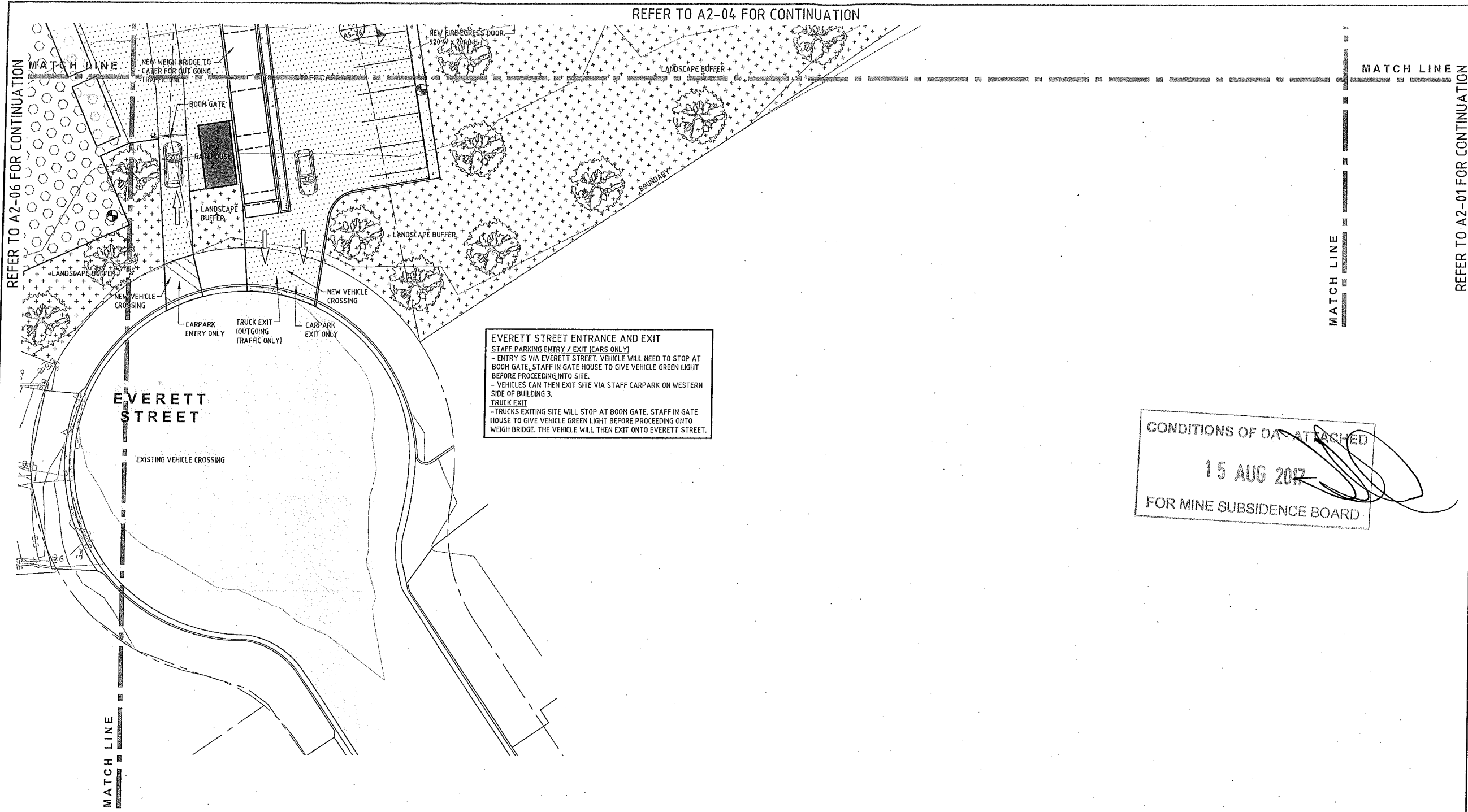
Attachment A - Plans

**DA2017/00629 - 52 Parker Street & 9 Everett Street
Carrington**

**Alterations and additions to existing industrial
buildings, erection of associated weigh bridge,
siteworks and rail spur to be used as a freight
transport facility**

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REFER TO A2-04 FOR CONTINUATION



**GROUND FLOOR
PLAN - SHEET 5**
SCALE 1:200

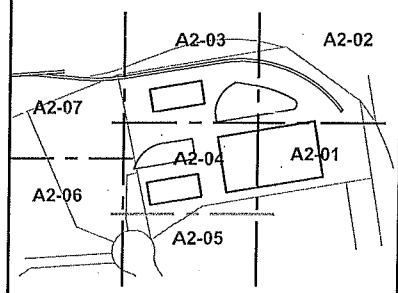
LEGEND
REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

- ZONE FOR LOADING / UNLOADING SHIPPING CONTAINERS. ZONE SETOUT TO CATER FOR A HYSTER CONTAINER HANDLING TRUCK WITH 200mm OPERATING CLEARANCE MINIMUM.
- DRIVE THROUGH TYPE 1. PATH OF TRAVEL FOR 25m B-DOUBLE VEHICLE
- DRIVE THROUGH TYPE 2. PATH OF TRAVEL FOR 12.5m MAX HEAVY RIGID VEHICLE
- 6000mm MIN ZONE FOR FIRE TRUCK ACCESS
- LOADING / UN-LOADING ZONE
- PAVEMENT AREA
- UNCOVERED STORAGE AREA
- COVERED STORAGE AREA
- LANDSCAPED AREA
- RAISED RC KERB
- EXISTING STRUCTURE TO BE DEMOLISHED
- LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

CONDITIONS OF DAY ATTACHED
15 AUG 2017
FOR MINE SUBSIDENCE BOARD

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GRIS
NEW WALL TYPE 2	TYBER STUD WALL. PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	TYBER STUD WALL. PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GRIS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL
WINDOW LEGEND	
MARK	DESCRIPTION
W1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
W2	GLASS BLOCKS - 600 WIDE x 1000 HIGH
W3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
W4	ALUMINIUM FRAMED - 2400 WIDE x 1000 HIGH

**PRELIMINARY
NOT FOR CONSTRUCTION**



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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A DOCKRILL FAMILY COMPANY

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Smarter solutions.

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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

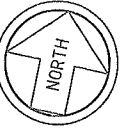
CLIENT
SELL AND PARKER

DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 5				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-05	REVISION A	

REFER TO A2-07 FOR CONTINUATION

MATCH LINE

MATCH LINE















**GROUND FLOOR
PLAN - SHEET 6**

SCALE 1:200

LEGEND

REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

-  ZONE FOR LOADING / UNLOADING SHIPPING CONTAINERS. ZONE SETOUT TO CATER FOR A HYSTER CONTAINER HANDLING TRUCK WITH 200mm OPERATING CLEARANCE MINIMUM.
-  DRIVE THROUGH TYPE 1. PATH OF TRAVEL FOR 25m B-DOUBLE VEHICLE
-  DRIVE THROUGH TYPE 2. PATH OF TRAVEL FOR 12.5m MAX HEAVY RIGID VEHICLE
-  6000mm MIN ZONE FOR FIRE TRUCK ACCESS
-  LOADING /UN-LOADING ZONE
-  PAVEMENT AREA
-  UNCOVERED STORAGE AREA
-  COVERED STORAGE AREA
-  LANDSCAPED AREA
-  RAISED RC KERB
-  EXISTING STRUCTURE TO BE DEMOLISHED
-  LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

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15 AUG 2017
FOR MINE SUBSIDENCE BOARD

DRIVE THROUGH TYPE 1

DRIVE THROUGH TYPE 1

CONTAINER STORAGE AREA 2

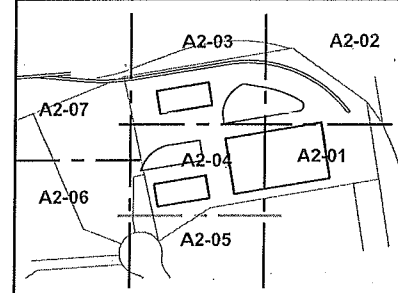
CONTAINER STORAGE AREA 2

**PRELIMINARY
NOT FOR CONSTRUCTION**

REFER TO A2-04 & A2-05 FOR CONTINUATION

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	THINER STUD WALL PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	THINER STUD WALL PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
W1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
W2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
W3	ALUMINIUM FRAMED SKIPOOR - 6000 WIDE x 2200 HIGH
W4	ALUMINIUM FRAMED - 2500 WIDE x 1200 HIGH



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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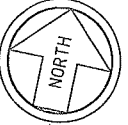
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PROJECT
CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET













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DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 6		DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.	A1 80x55x4
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-06		REVISION A		



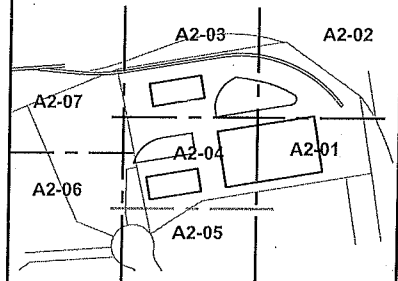
GROUND FLOOR PLAN - SHEET 7
SCALE 1:200

LEGEND
REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

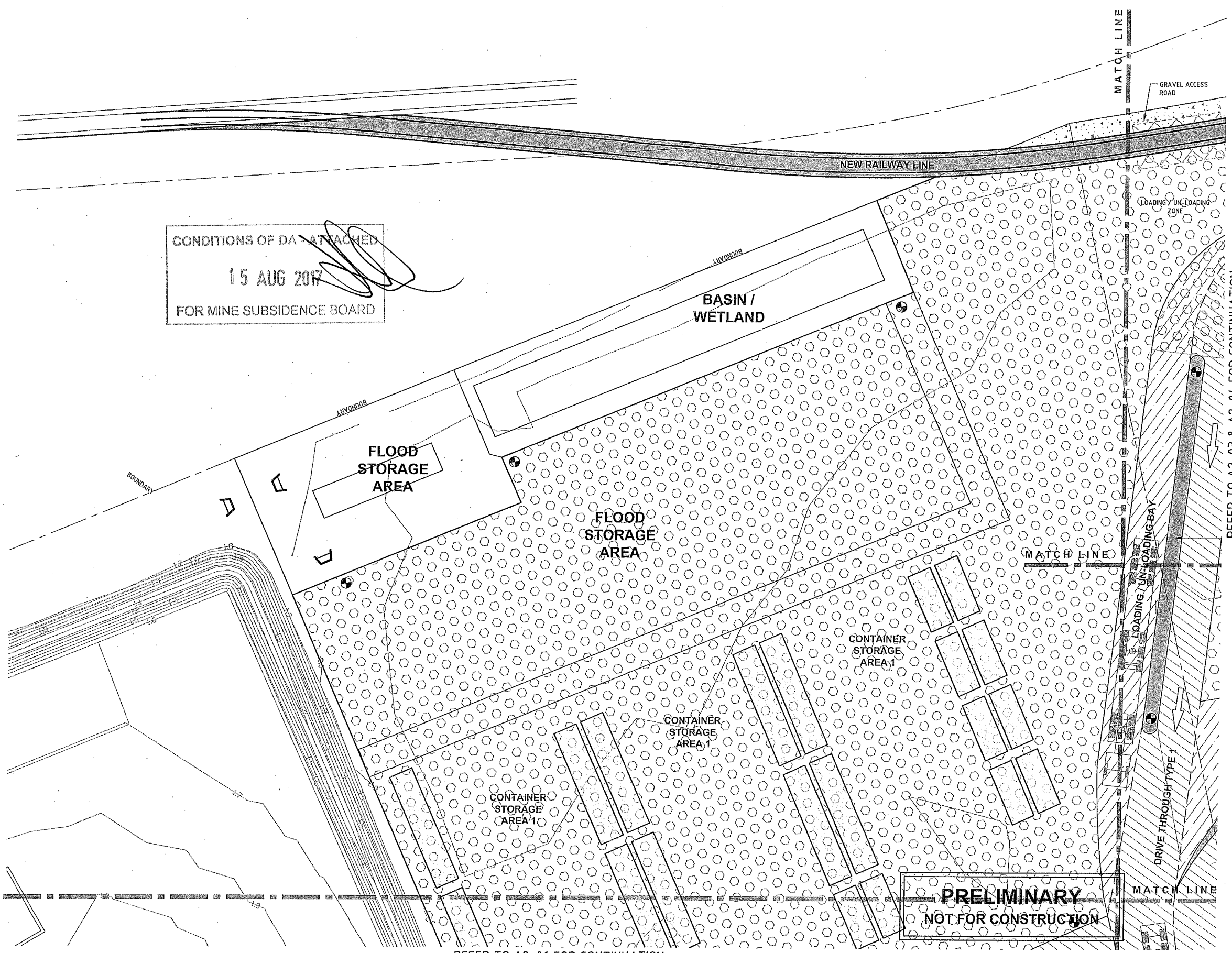
-  ZONE FOR LOADING / UNLOADING SHIPPING CONTAINERS. ZONE SETOUT TO CATER FOR A HYSTER CONTAINER HANDLING TRUCK WITH 200mm OPERATING CLEARANCE MINIMUM.
-  DRIVE THROUGH TYPE 1. PATH OF TRAVEL FOR 25m B-DOUBLE VEHICLE
-  DRIVE THROUGH TYPE 2. PATH OF TRAVEL FOR 12.5m MAX HEAVY RIGID VEHICLE
-  6000mm MIN ZONE FOR FIRE TRUCK ACCESS
-  LOADING / UN-LOADING ZONE
-  PAVEMENT AREA
-  UNCOVERED STORAGE AREA
-  COVERED STORAGE AREA
-  LANDSCAPED AREA
-  RAISED RC KERB
-  EXISTING STRUCTURE TO BE DEMOLISHED
-  LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	THINER STUD WALL, PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	THINER STUD WALL, PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
W11	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
W12	GLASS BLOCKS - 800 WIDE x 1000 HIGH
W13	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2000 HIGH
W14	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH



KEY DIAGRAM
NOT TO SCALE



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REFER TO A2-06 FOR CONTINUATION

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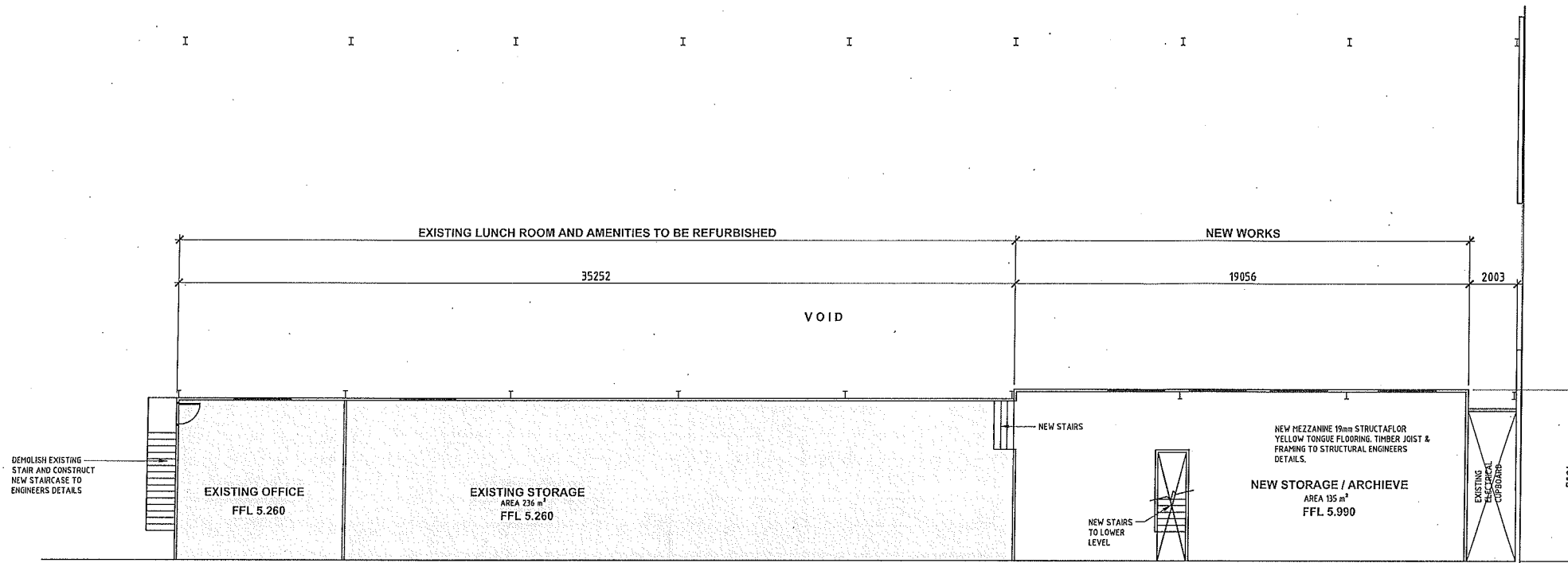
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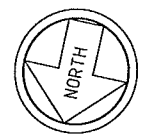
PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE		SITE / GROND FLOOR PLAN SHEET 7	
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-07	REVISION A



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OFFICE MEZZANINE PLAN (BUILDING 1)

SCALE 1:125

PRELIMINARY
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REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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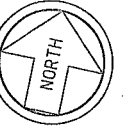
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PROJECT
**CARRINGTON INTERMODAL FREIGHT PRECINCT
 52 PARKER STREET**

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DRAWING TITLE				
BUILDING 1 OFFICE MEZZANINE STORAGE LAYOUT				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:125 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A3-02	REVISION C	



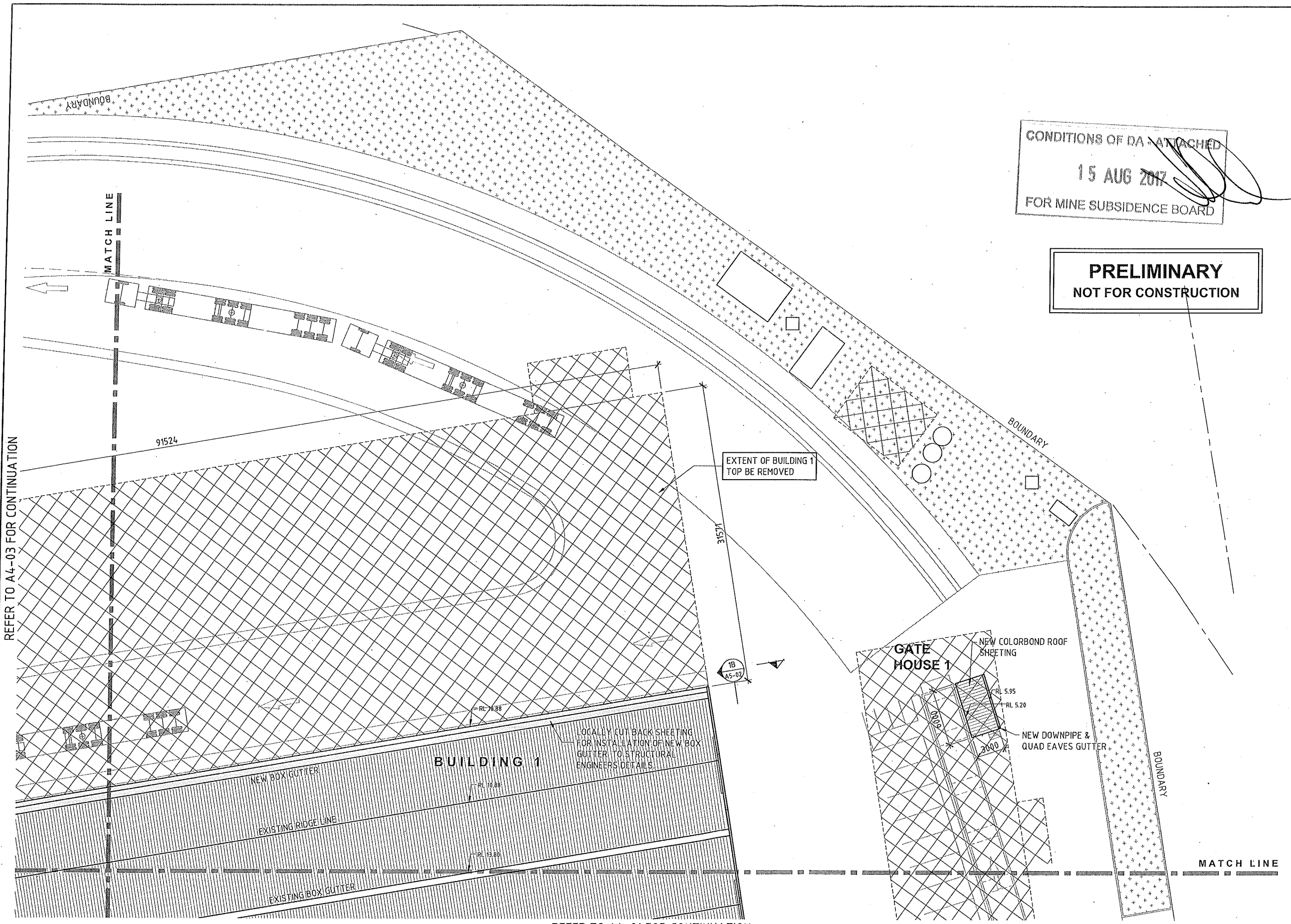
ROOF ALTERATION PLAN - SHEET 2

SCALE 1:200

REFER TO SURVEY DRAWING BY ADW
JOHNSON, REFERENCE No. 239384-DET-001
FOR ALL CONTOURS, SPOT LEVELS etc.

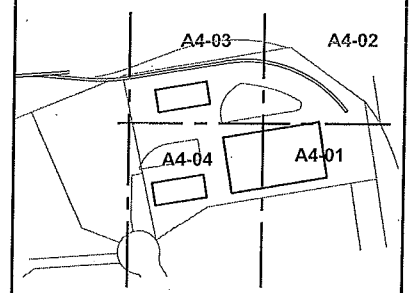
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REFER TO A4-03 FOR CONTINUATION

REFER TO A4-01 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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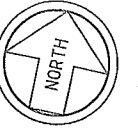
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PROJECT
CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET

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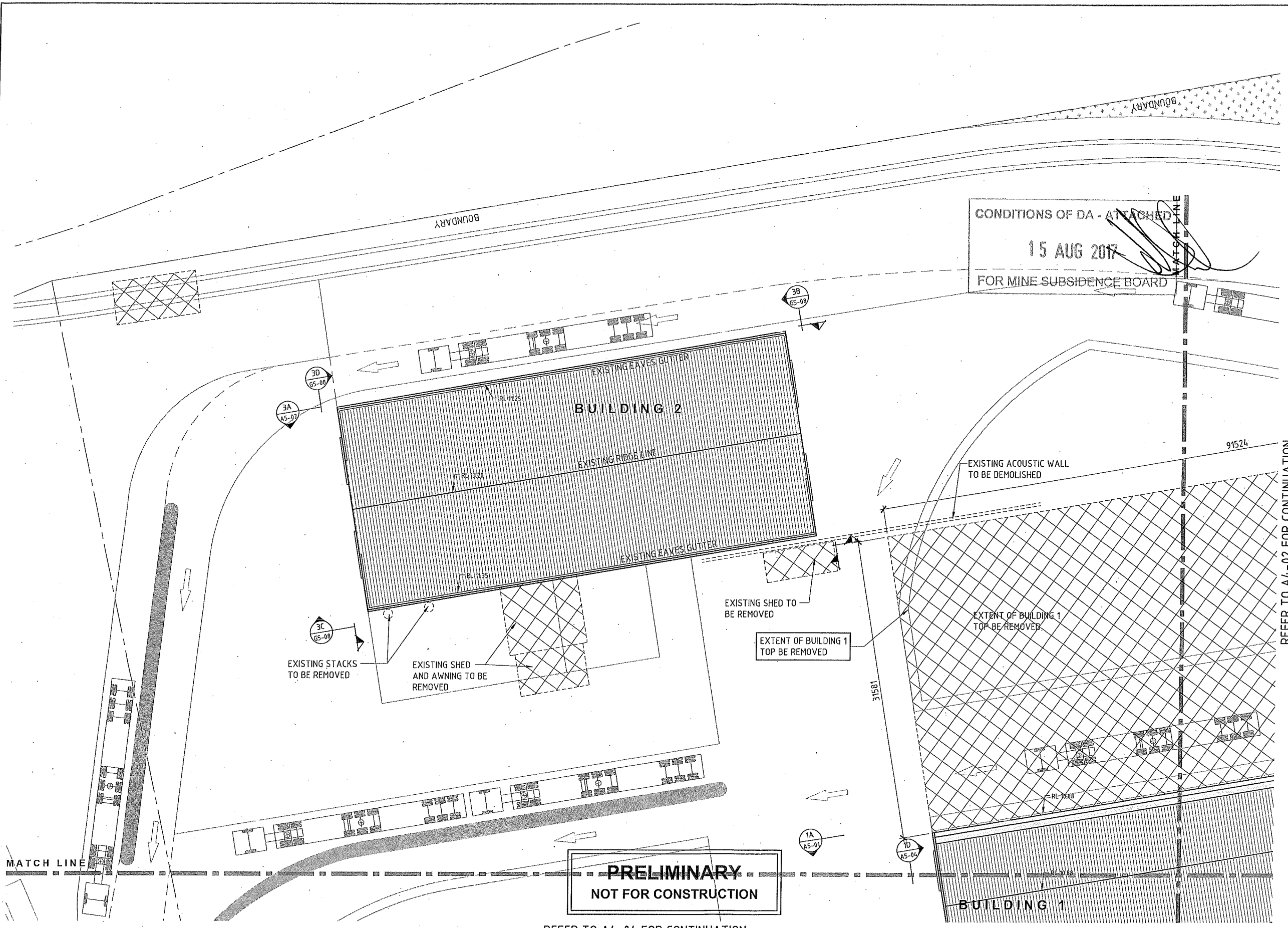
DRAWING TITLE		ROOF PLAN SHEET 2			
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.	A1 80x554	
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-02	REVISION C		



**ROOF ALTERATION
PLAN - SHEET 3**

SCALE 1:200

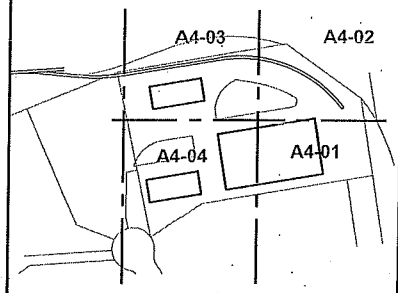
REFER TO SURVEY DRAWING BY ADW
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REFER TO A4-02 FOR CONTINUATION

REFER TO A4-04 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

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A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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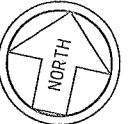
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

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DRAWING TITLE		ROOF PLAN SHEET 3	
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-03	REVISION A1 80x554

REFER TO A4-03 FOR CONTINUATION



**ROOF ALTERATION
PLAN - SHEET 4**

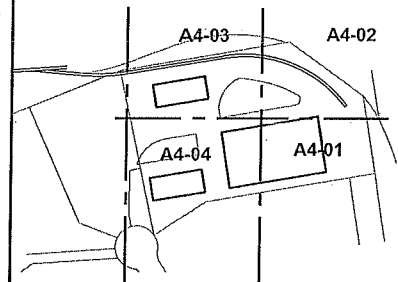
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REFER TO A4-01 FOR CONTINUATION

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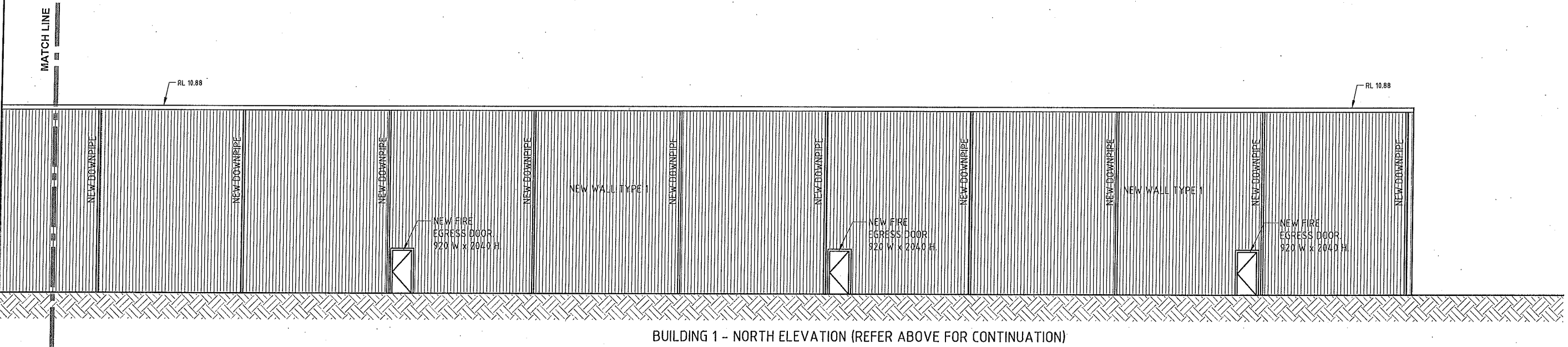
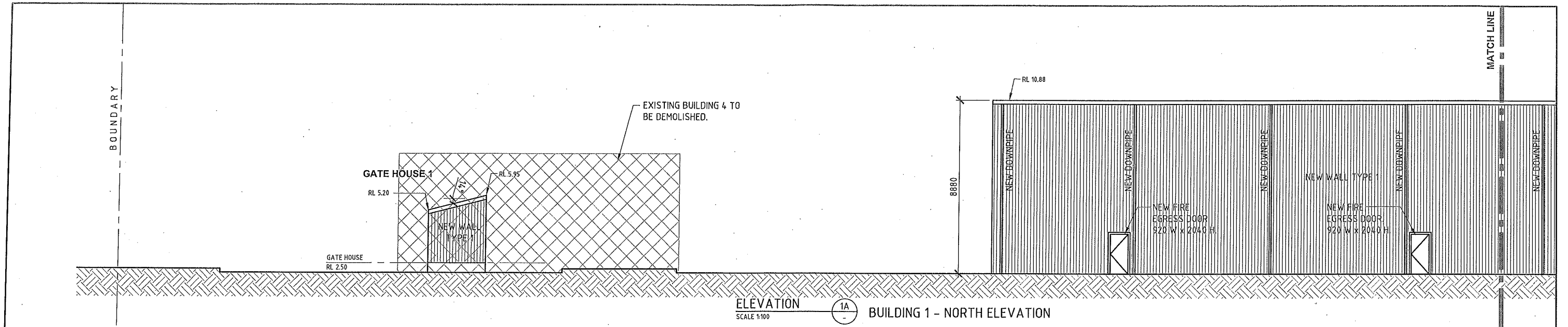
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

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DRAWING TITLE		ROOF PLAN SHEET 4			
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:200 U.N.O.	A1 80x554	
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-04	REVISION A		



CONDITIONS OF DA - ATTACHED
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 FOR MINE SUBSIDENCE BOARD

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WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	TIMBER STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS- 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS- 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT- 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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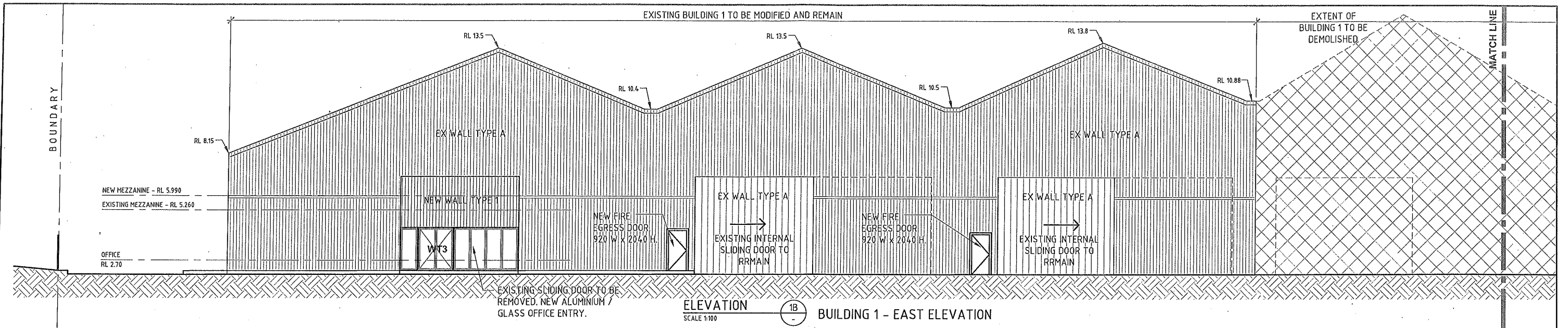
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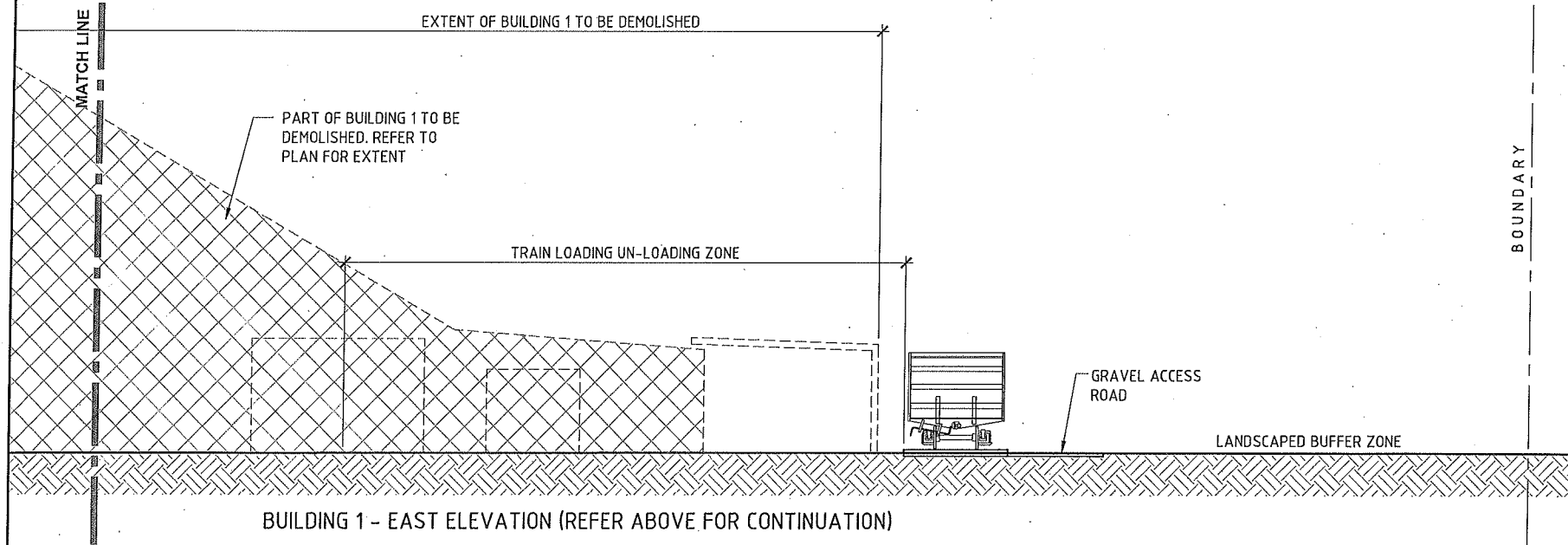
PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 1				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-01	REVISION A	



ELEVATION 1B
SCALE 1:100 BUILDING 1 - EAST ELEVATION



CONDITIONS OF DA - ATTACHED
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FOR MINE SUBSIDENCE BOARD

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WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	TIMBER STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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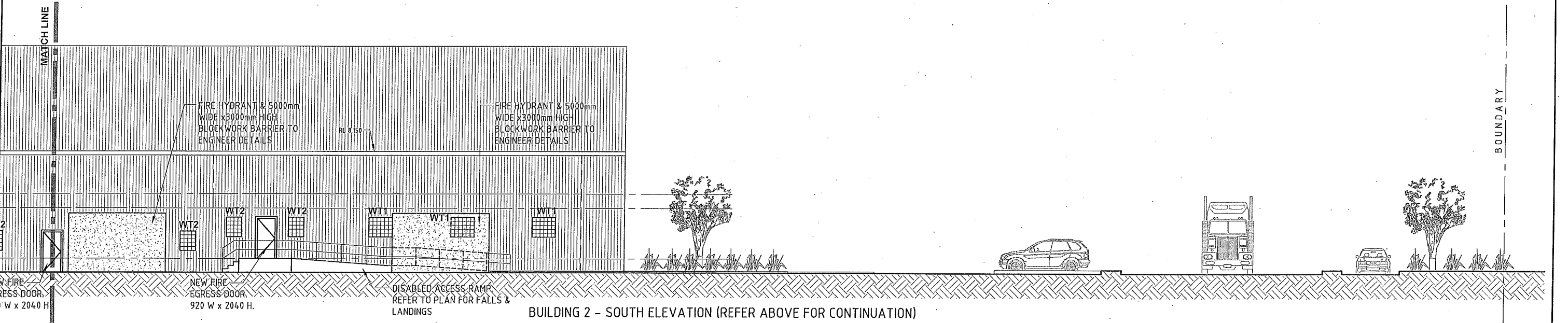
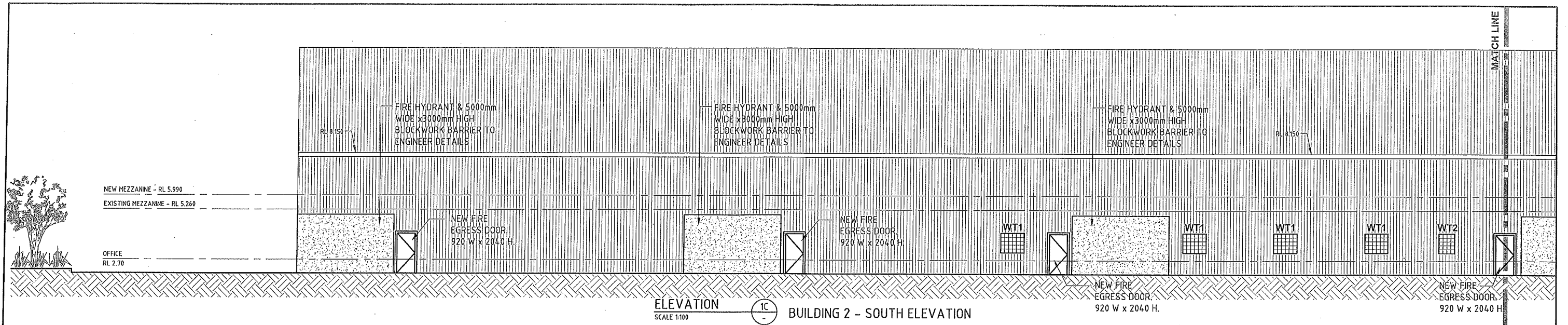
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PROJECT
CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 2				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80%554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-02	REVISION A	



CONDITIONS OF DA - ATTACHED
 15 AUG 2017
 FOR MINE SUBSIDENCE BOARD

**PRELIMINARY
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WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	TIMBER STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
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WINDOW LEGEND	
MARK	DESCRIPTION
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WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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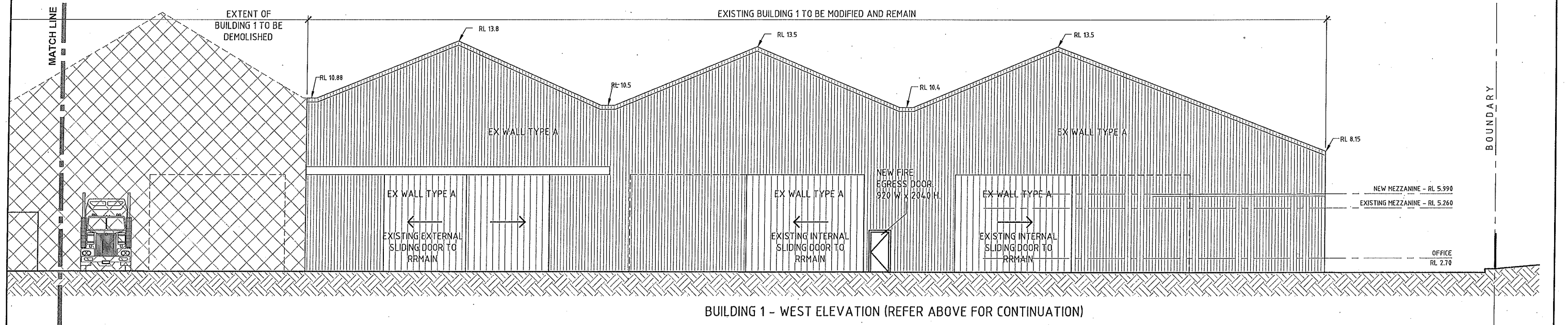
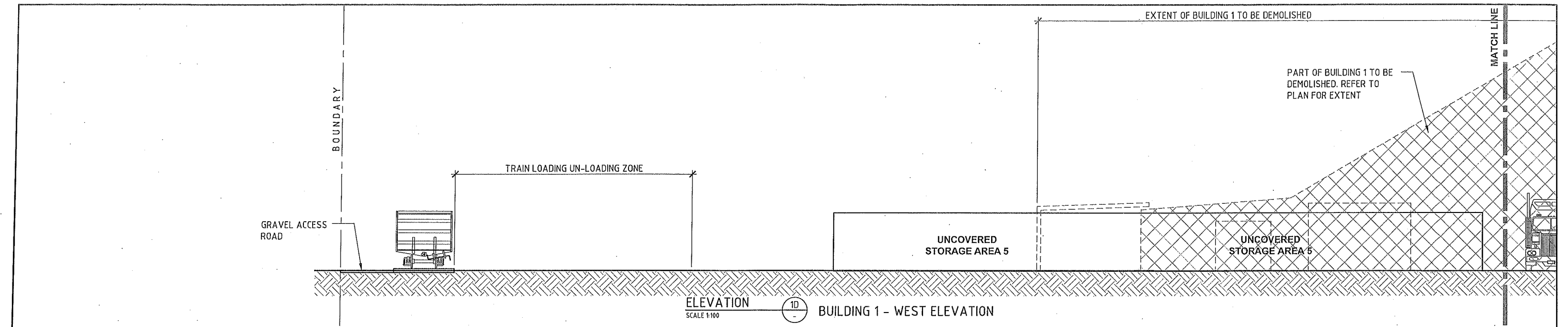
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
 PRECINCT
 52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 3				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-03	REVISION A	



CONDITIONS OF DATA SHEET
 15 AUG 2017
 FOR MINE SUBSIDENCE BOARD

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WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL, PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	TIMBER STUD WALL, PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
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WINDOW LEGEND	
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REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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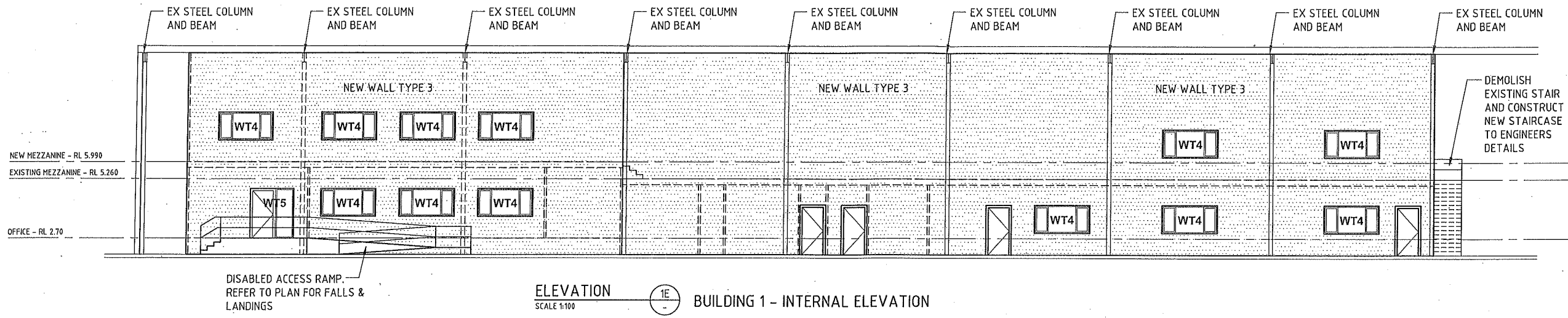
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
 PRECINCT
 52 PARKER STREET**

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DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 4				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-04	REVISION A	



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MARK	DESCRIPTION
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MARK	DESCRIPTION
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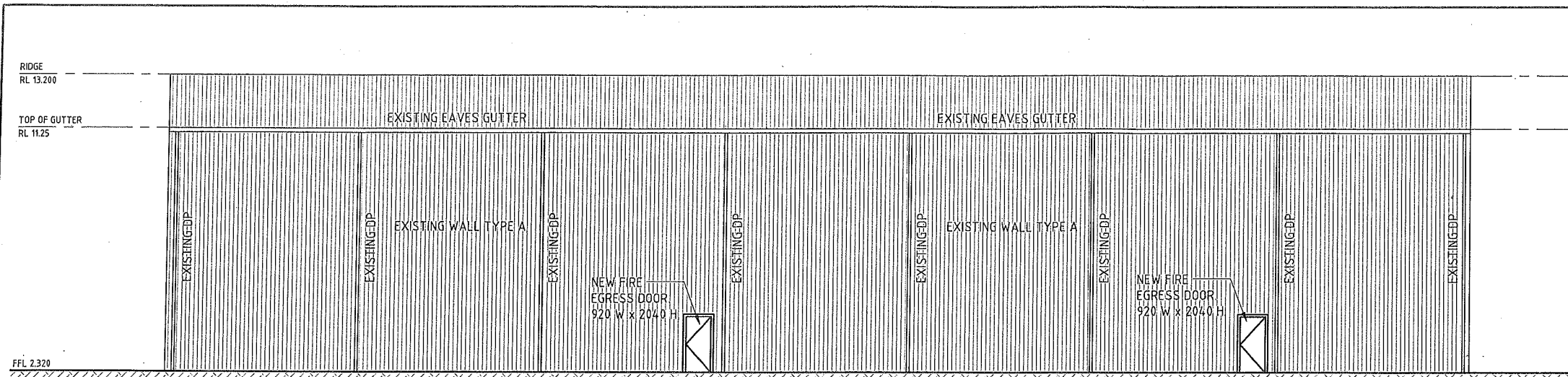
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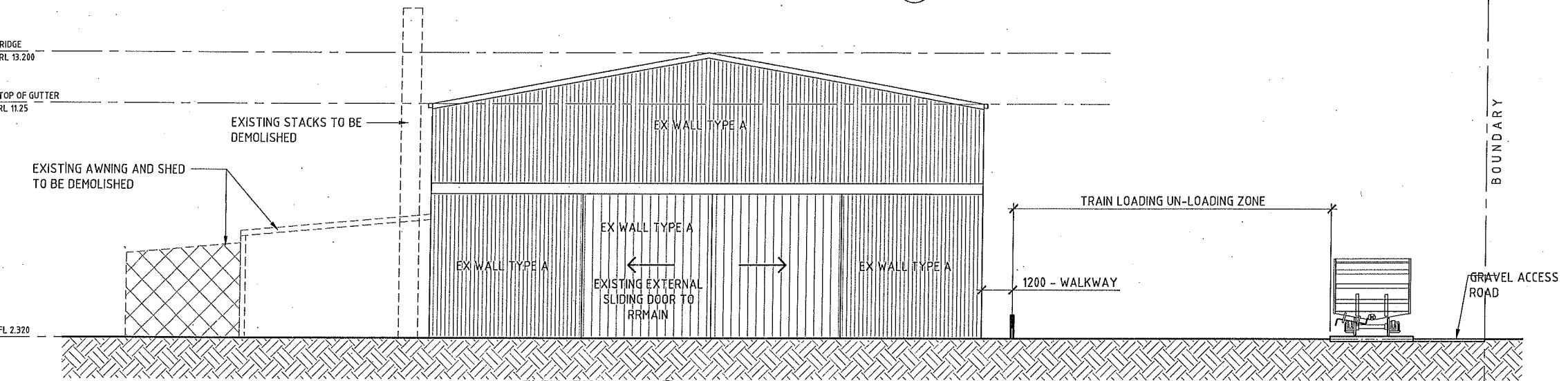
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PRECINCT
52 PARKER STREET**

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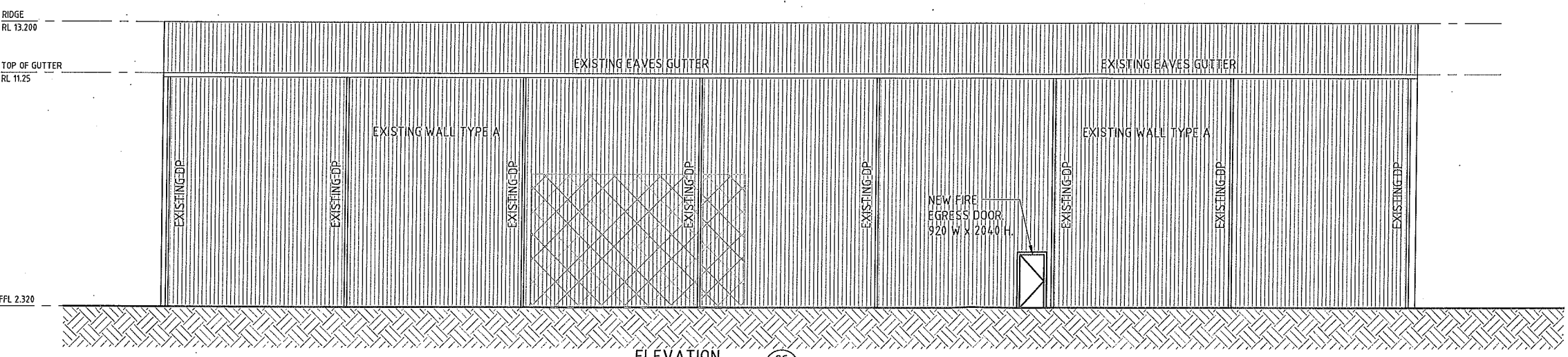
DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 5				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-05	REVISION A	



ELEVATION 2A BUILDING 2 - NORTH ELEVATION
SCALE 1:100



ELEVATION 2B BUILDING 2 - EAST ELEVATION
SCALE 1:100



ELEVATION 2C BUILDING 2 - SOUTH ELEVATION
SCALE 1:100

WALL LEGEND	
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CONDITIONS OF DA - ATTACHED
15 AUG 2017
FOR MINE SUBSIDENCE BOARD

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REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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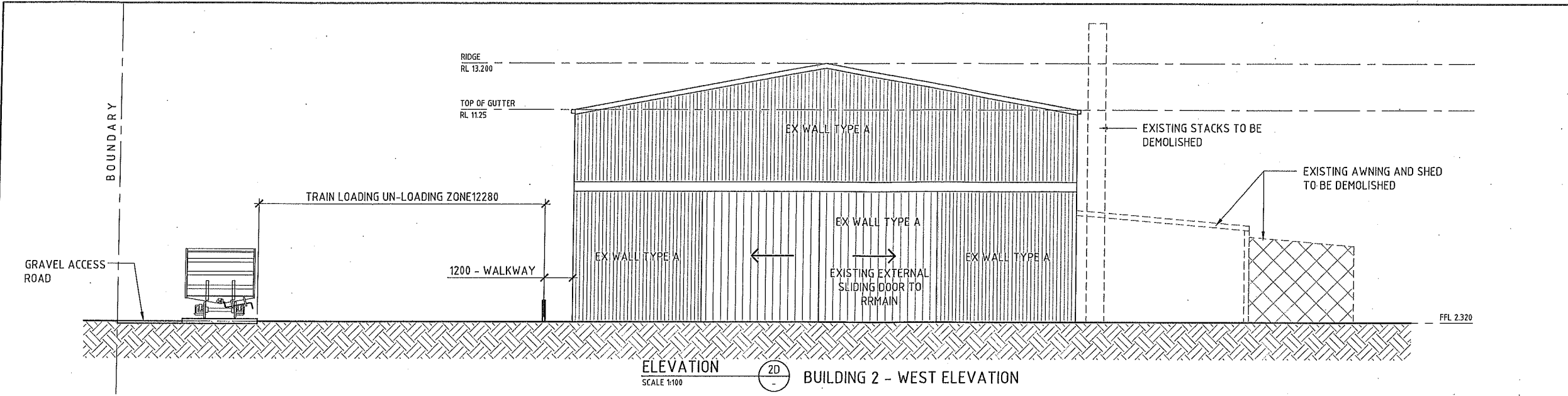
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PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

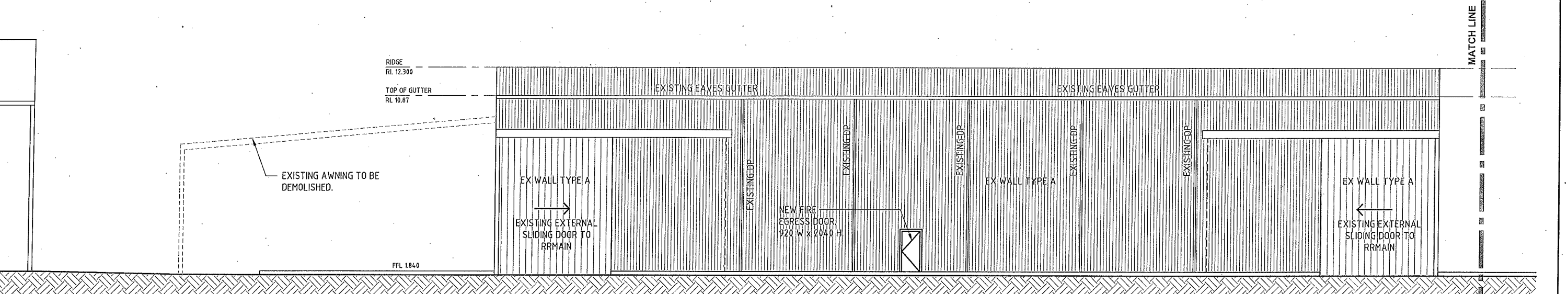
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DRAWING TITLE				
BUILDING 2 & 3 ELEVATIONS - SHEET 1				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-06	REVISION A	

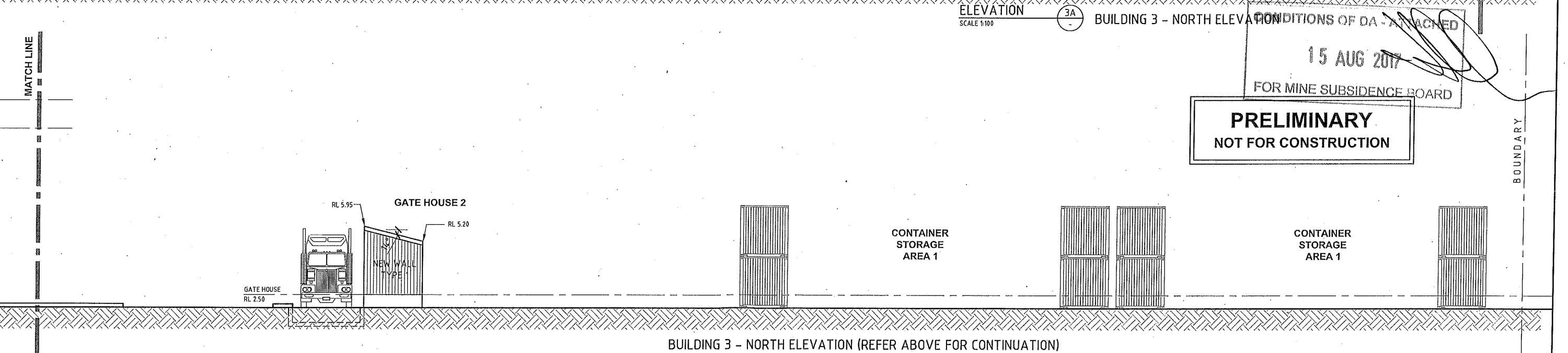


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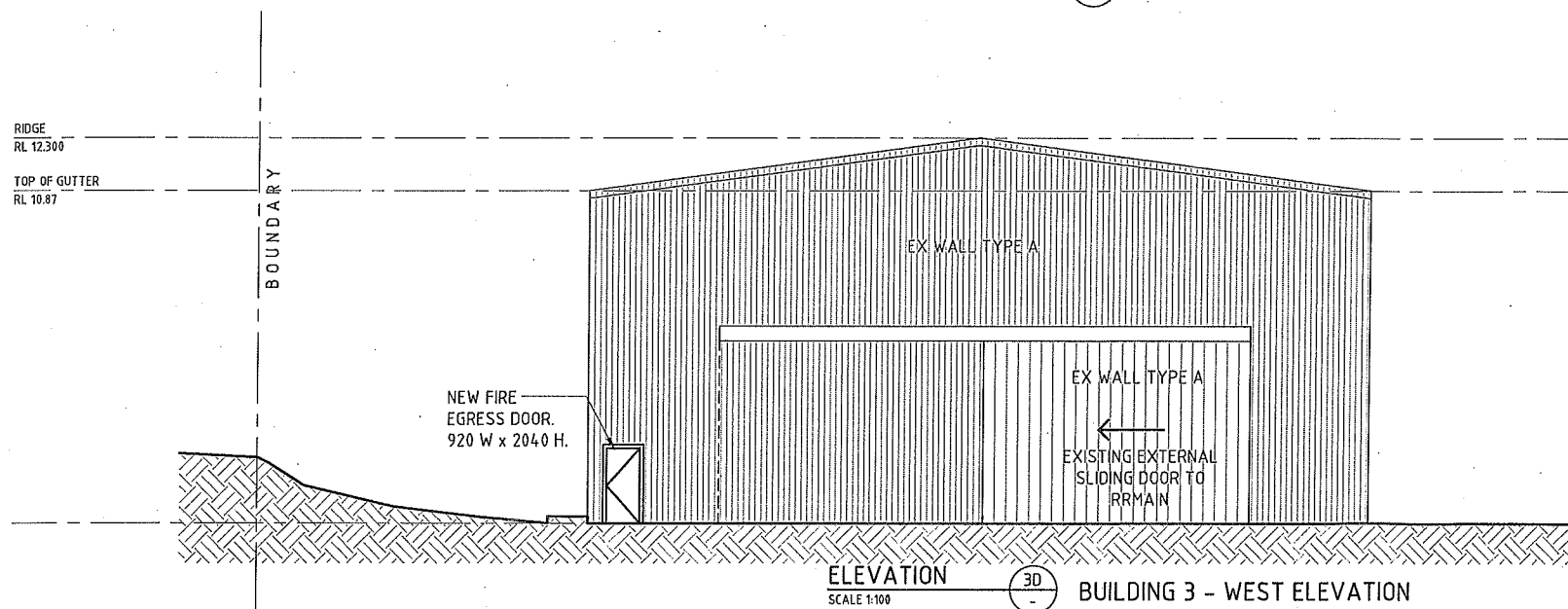
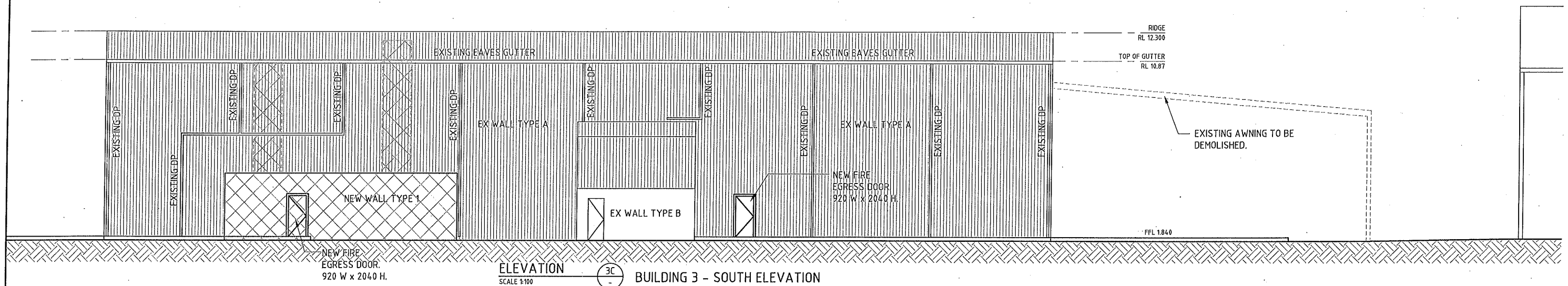
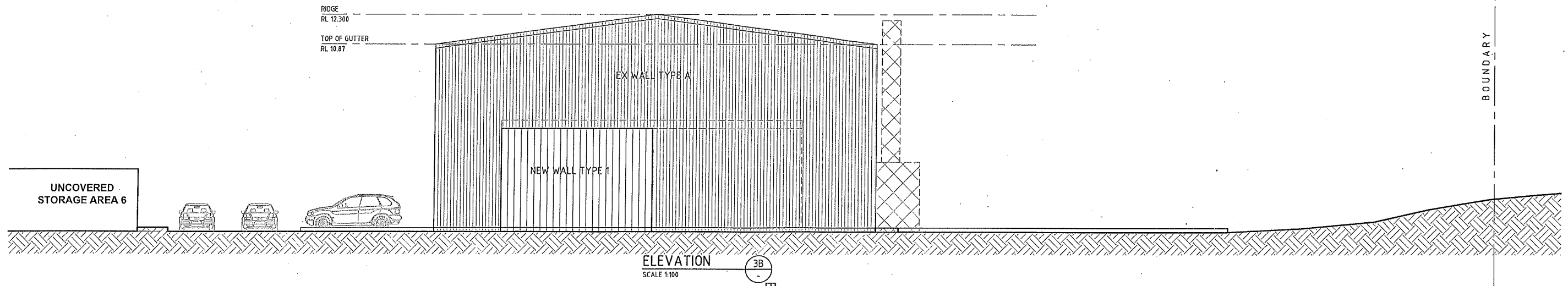
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PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 2 & 3 ELEVATIONS - SHEET 2				
DESIGN P.F.	DRAWN B.B.	CHECKED	SCALE 1:100 U.N.O.	A1 80x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-07	REVISION A	



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15 AUG 2017
FOR MINE SUBSIDENCE BOARD

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UNCOVERED STORAGE AREA 6

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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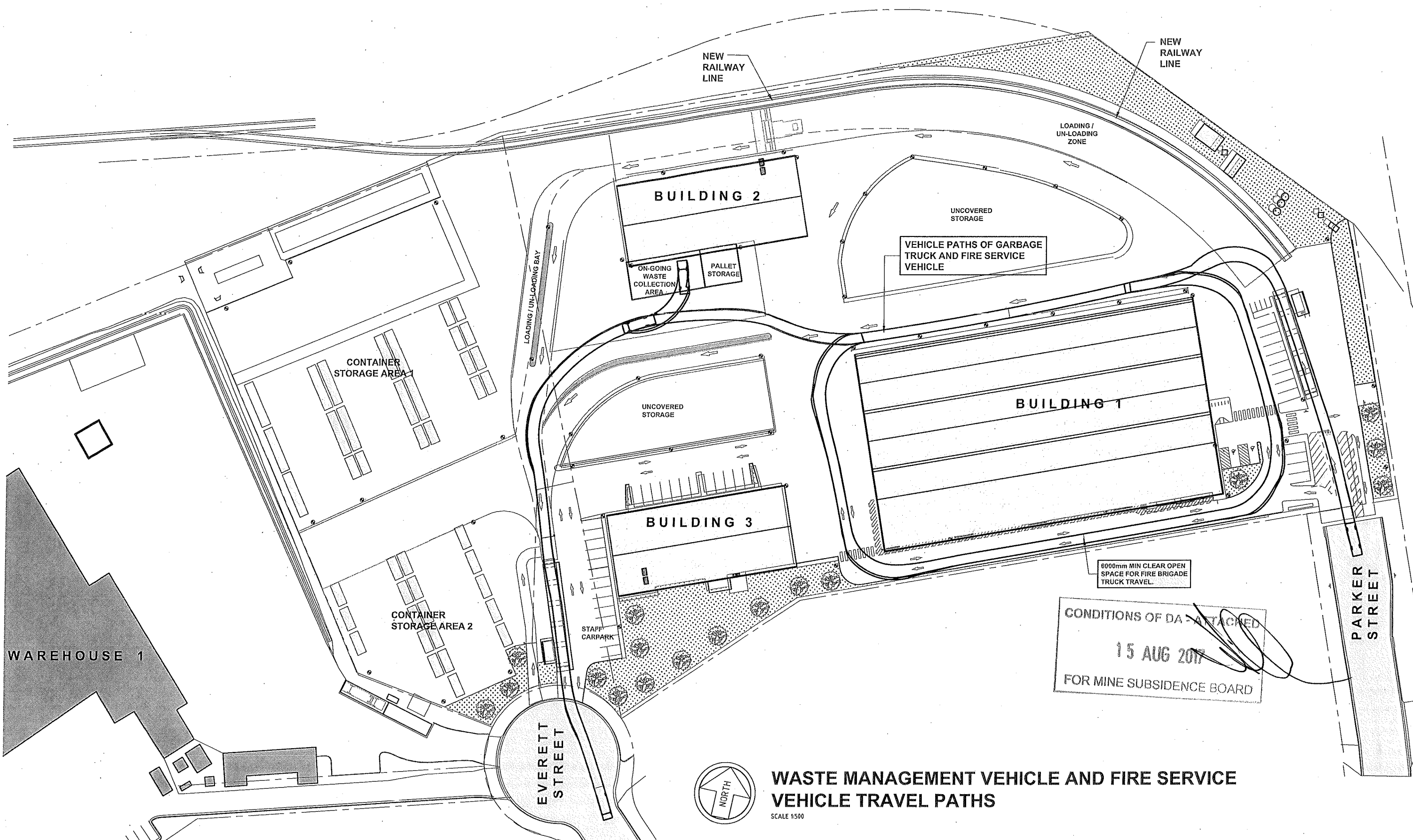
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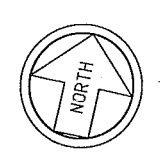
PROJECT
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52 PARKER STREET

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DRAWING TITLE		SCALE		REVISION	
BUILDING 2 & 3 ELEVATIONS - SHEET 3		1:100	U.N.O.	A1	801x554
DESIGN P.F.	DRAWN B.B.	CHECKED	DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-08



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**WASTE MANAGEMENT VEHICLE AND FIRE SERVICE
 VEHICLE TRAVEL PATHS**
 SCALE 1:500

**PRELIMINARY
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REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
C	06/03/2017	VEHICLE TRAVEL PATH REVISED	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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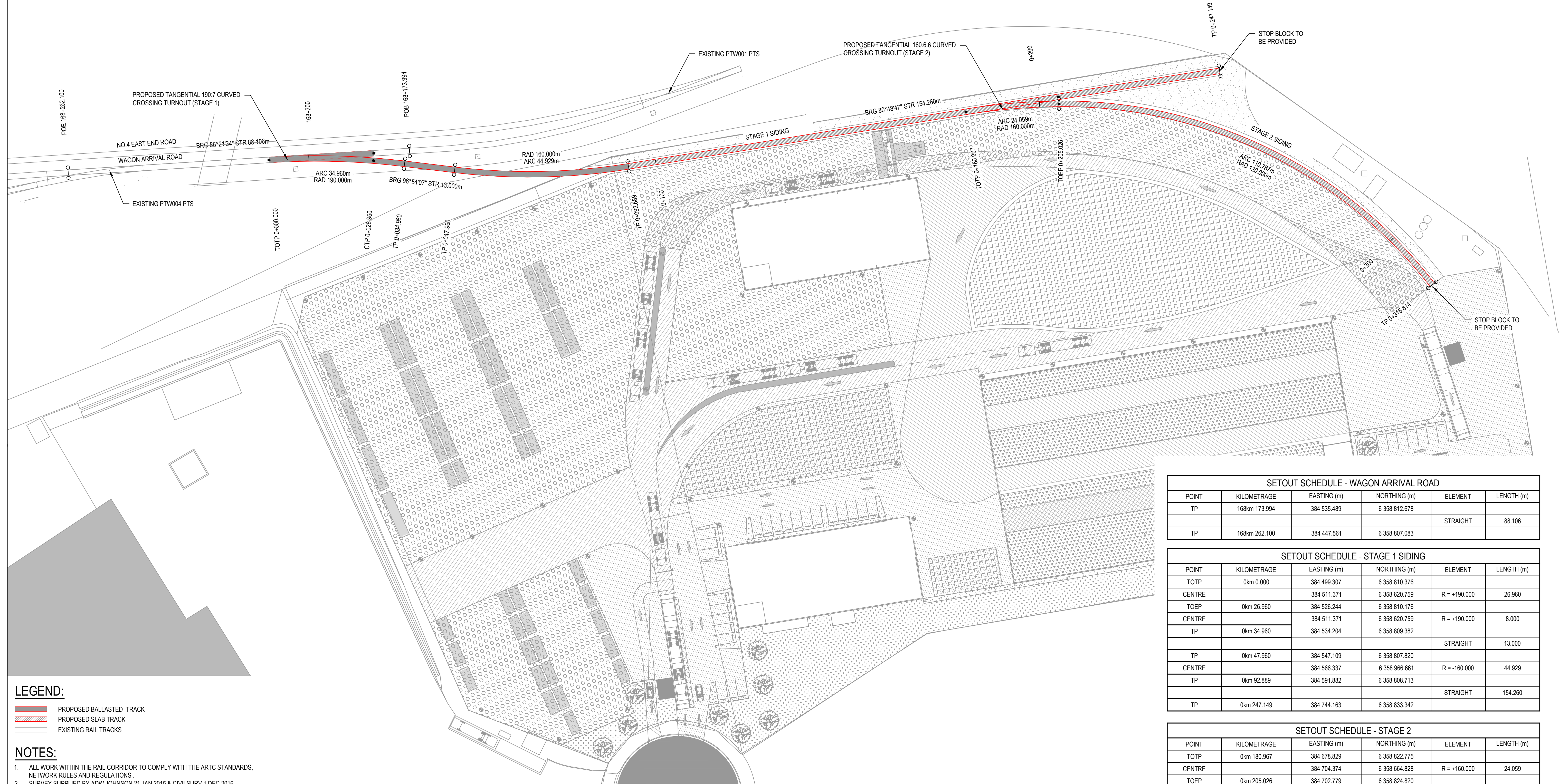
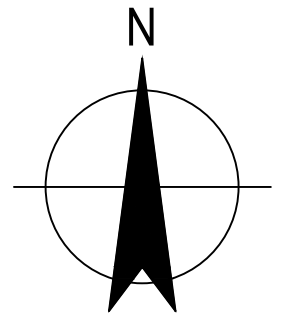
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
 PRECINCT
 52 PARKER STREET**

CLIENT
SELL AND PARKER

DESIGN		DRAWN		CHECKED		SCALE		A1	
P.F.	B.B.	B.B.				1:500 U.N.O.	801x554	REVISION	
DATE	JOB NUMBER	DRAWING NUMBER	REVISION						
NOVEMBER 2015	J5183	A7-01	C						

TURNOUT DETAILS AND CO-ORDINATES										
NUMBER	TYPE	RATE	MIL GEOMETRY	DESCRIPTION	T/O GEOMETRY	PTS (ML)			XING THEORETICAL PT	
						KILOMETRAGE	EASTING	NORTHING	EASTING	NORTHING
STAGE 1 T/O	TANG 190.7	1 in 7	STRAIGHT	CURVED R/H	R 190.000m	168km209.760	384 499.796	6 358 810.407	384 522.657	6 358 811.143
STAGE 2 T/O	TANG 160.6.6	1 in 6.6	STRAIGHT	CURVED R/H	R 160.000m	0km 181.457	384 679.313	6 358 822.854	384 700.098	6 358 825.488



SETOUT SCHEDULE - WAGON ARRIVAL ROAD					
POINT	KILOMETRAGE	EASTING (m)	NORTHING (m)	ELEMENT	LENGTH (m)
TP	168km 173.994	384 535.489	6 358 812.678	STRAIGHT	88.106
TP	168km 262.100	384 447.561	6 358 807.083		

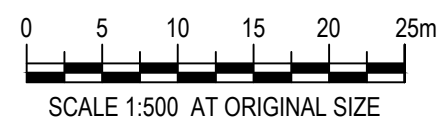
SETOUT SCHEDULE - STAGE 1 SIDING					
POINT	KILOMETRAGE	EASTING (m)	NORTHING (m)	ELEMENT	LENGTH (m)
TOTP	0km 0.000	384 499.307	6 358 810.376	R = +190.000	26.960
CENTRE		384 511.371	6 358 620.759		
TOEP	0km 26.960	384 526.244	6 358 810.176		
CENTRE		384 511.371	6 358 620.759	R = +190.000	8.000
TP	0km 34.960	384 534.204	6 358 809.382		
				STRAIGHT	13.000
TP	0km 47.960	384 547.109	6 358 807.820	R = -160.000	44.929
CENTRE		384 566.337	6 358 966.661		
TP	0km 92.889	384 591.882	6 358 808.713		
				STRAIGHT	154.260
TP	0km 247.149	384 744.163	6 358 833.342		

SETOUT SCHEDULE - STAGE 2					
POINT	KILOMETRAGE	EASTING (m)	NORTHING (m)	ELEMENT	LENGTH (m)
TOTP	0km 180.967	384 678.829	6 358 822.775	R = +160.000	24.059
CENTRE		384 704.374	6 358 664.828		
TOEP	0km 205.026	384 702.779	6 358 824.820		
CENTRE		384 703.976	6 358 704.826	R = +120.000	186.173
TP	0km 391.199	384 823.923	6 358 708.345		

LEGEND:
 PROPOSED BALLASTED TRACK
 PROPOSED SLAB TRACK
 EXISTING RAIL TRACKS

NOTES:
 1. ALL WORK WITHIN THE RAIL CORRIDOR TO COMPLY WITH THE ARTC STANDARDS, NETWORK RULES AND REGULATIONS.
 2. SURVEY SUPPLIED BY ADW JOHNSON 21 JAN 2015 & CIVILSURV 1 DEC 2016.
 3. MGA COORDINATES ZONE 56 & DATUM AHD.

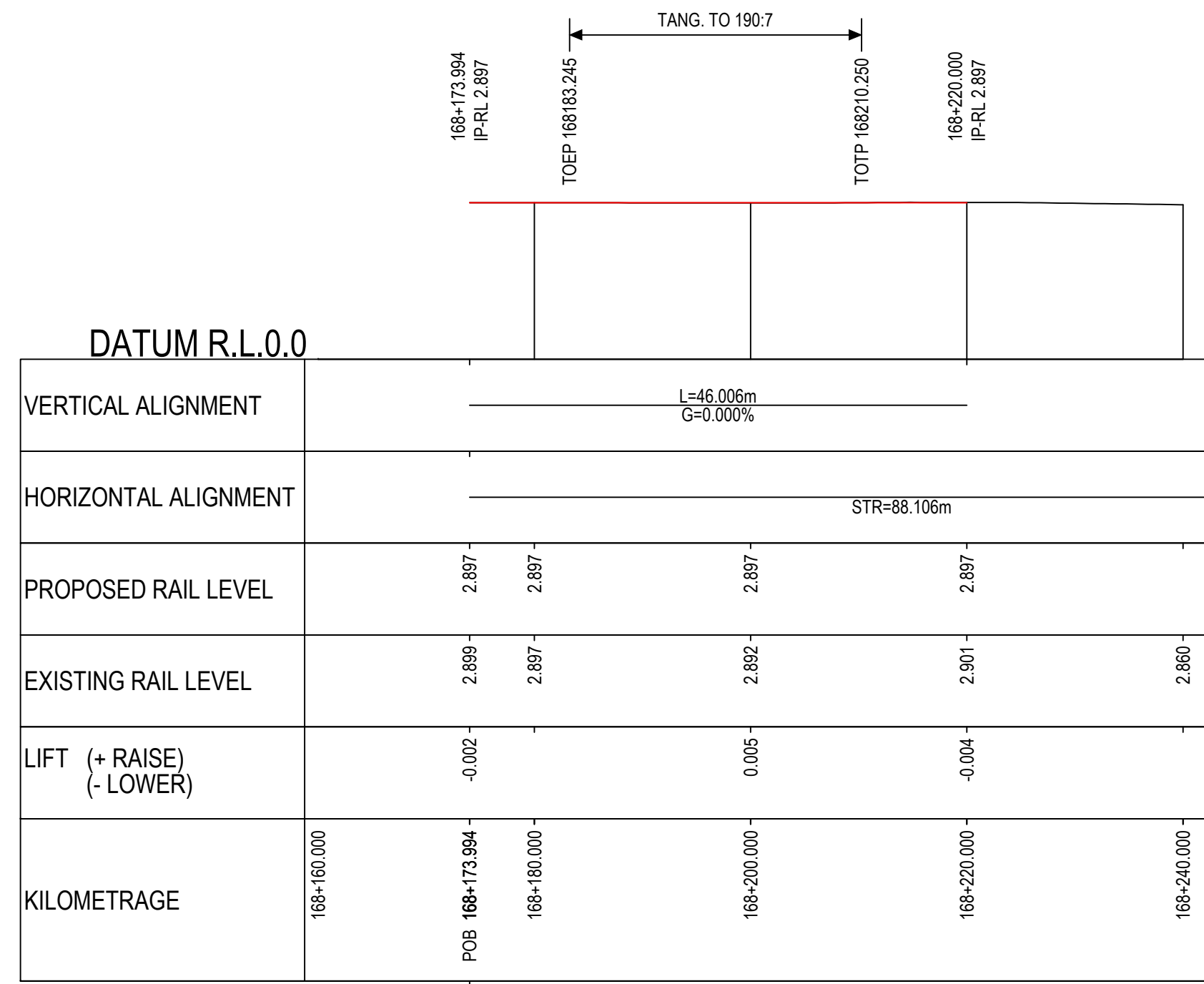
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SCALE 1:500



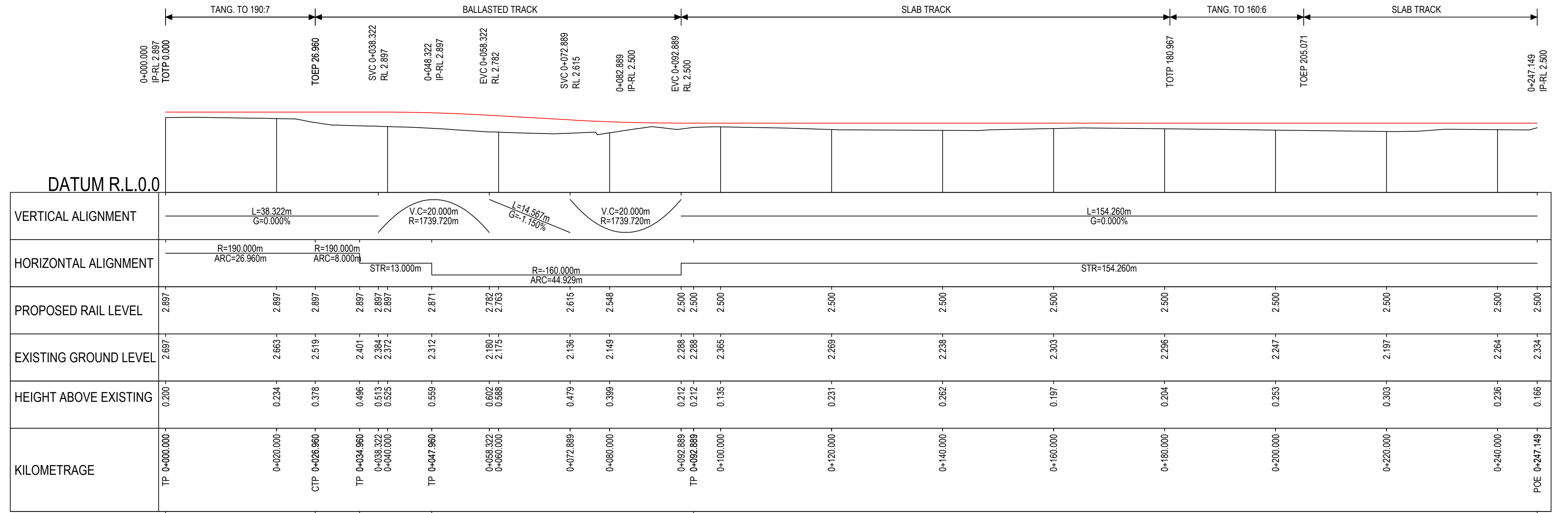
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 24 Homebush Drive, Newcastle NSW 2300 Australia
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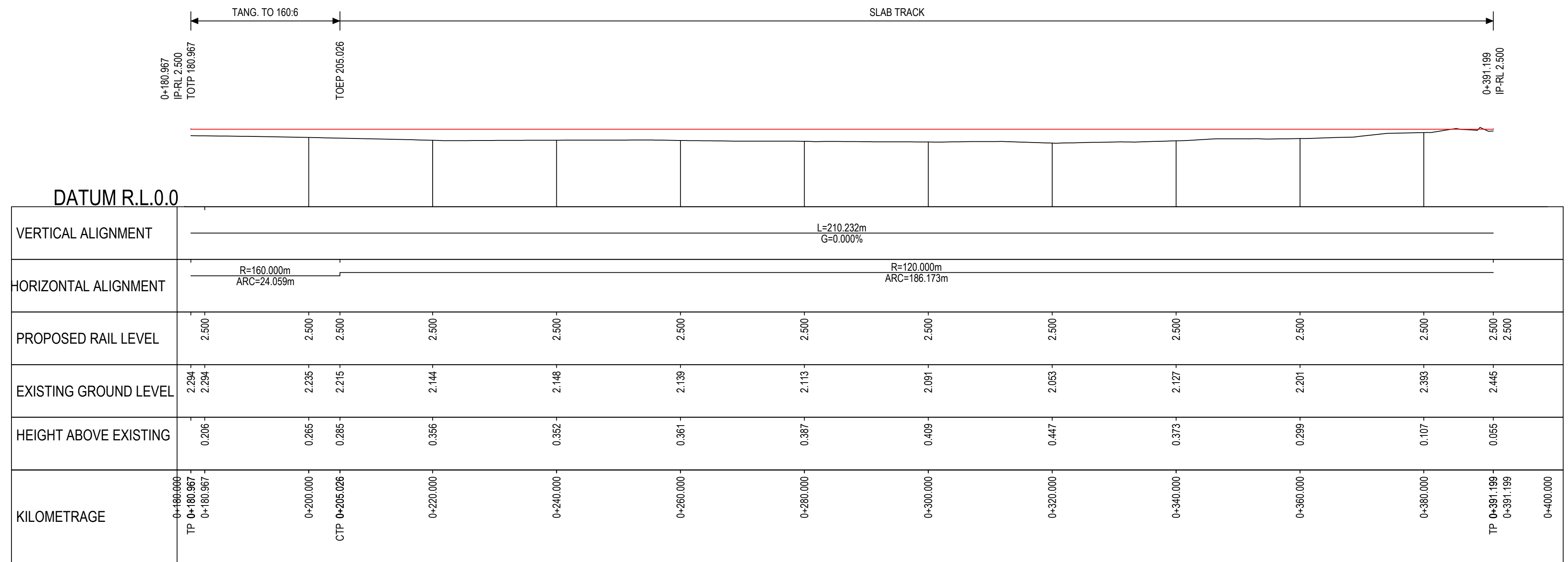
PRELIMINARY
 Client **SELL AND PARKER**
 Project **SIDING CONNECTION TO ARTC LINES AT CARRINGTON**
 Title **TRACK DETAILED DESIGN HORIZONTAL ALIGNMENT**
 Original Size
 A1 Drawing No: **21-18097-C001**
 Rev: A



LONGITUDINAL SECTION - WAGON ARRIVAL ROAD
HORZ 1:500 VERT 1:100



LONGITUDINAL SECTION - STAGE 1 SIDING
HORZ 1:500 VERT 1:100



LONGITUDINAL SECTION - STAGE 2 SIDING
HORZ 1:500 VERT 1:100

LEGEND:
 PROPOSED RAIL LEVEL
 EXISTING RAIL LEVEL / EXISTING GROUND LEVEL

NOTES:
 1. ALL WORK WITHIN THE RAIL CORRIDOR TO COMPLY WITH THE ARTC STANDARDS, NETWORK RULES AND REGULATIONS.
 2. SURVEY SUPPLIED BY ADW JOHNSON 21 JAN 2015 & CIVILSURV 1 DEC 2016.
 3. MGA COORDINATES ZONE 56 & DATUM AHD.

PRELIMINARY

No.	Revision	Note: Indicates signatures on original issue of drawing or last revision of drawing	Drawn	Job Manager	Project Director	Date
A		PRELIMINARY ISSUE	MH			

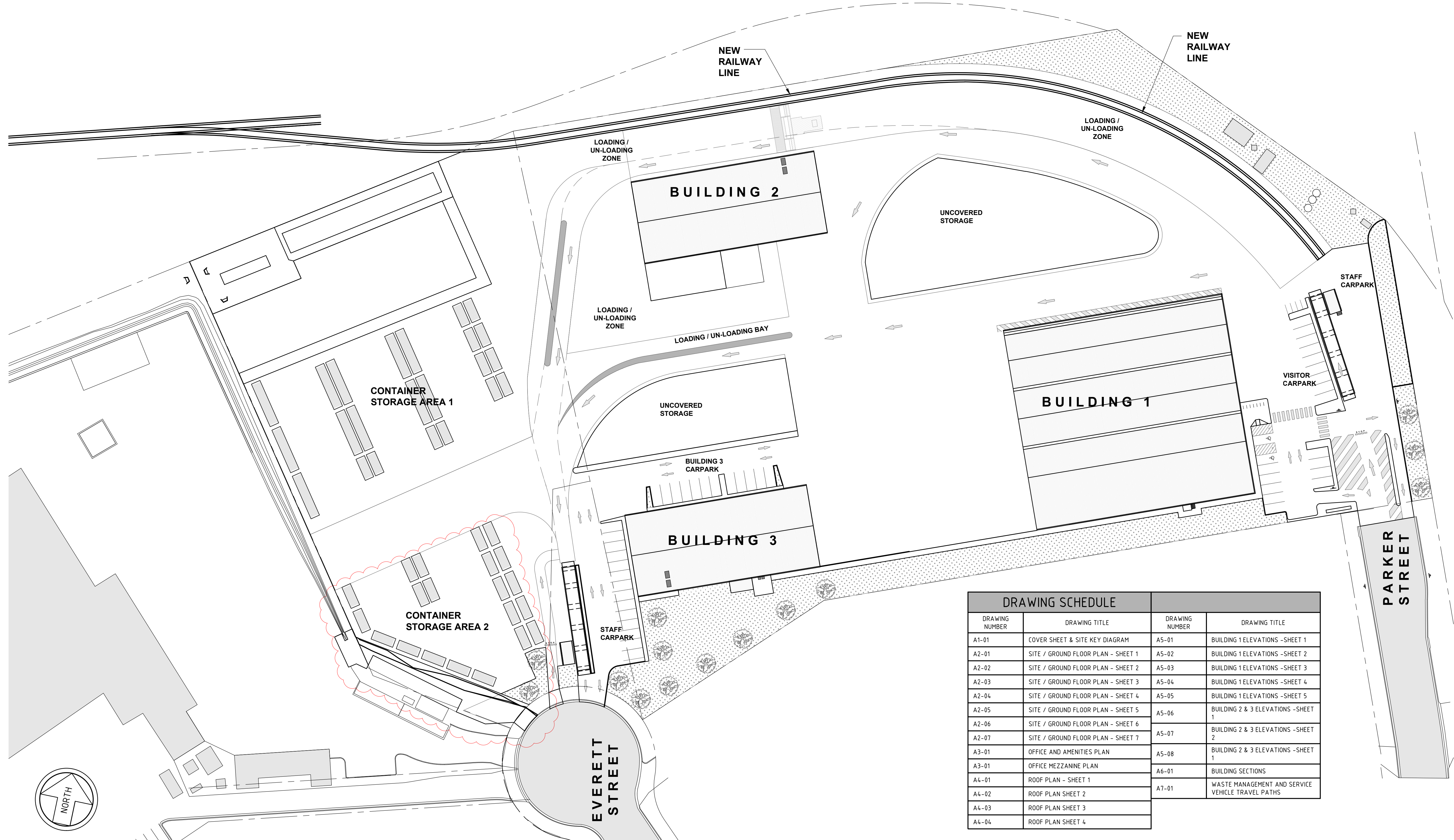


DO NOT SCALE	Drawn M.HASTINGS	Designer M.HASTINGS
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	Authorised Project Director	Date
Scale AS SHOWN	This Drawing must not be used for Construction unless signed as Authorised	

Client	SELL AND PARKER
Project	SIDING CONNECTION TO ARTC LINES AT CARRINGTON
Title	TRACK DETAILED DESIGN
	VERTICAL ALIGNMENT
Original Size	Drawing No: 21-18097-C002
	Rev: A

CARRINGTON INTERMODAL FREIGHT PRECINCT

52 PARKER STREET CARRINGTON



DRAWING SCHEDULE			
DRAWING NUMBER	DRAWING TITLE	DRAWING NUMBER	DRAWING TITLE
A1-01	COVER SHEET & SITE KEY DIAGRAM	A5-01	BUILDING 1 ELEVATIONS - SHEET 1
A2-01	SITE / GROUND FLOOR PLAN - SHEET 1	A5-02	BUILDING 1 ELEVATIONS - SHEET 2
A2-02	SITE / GROUND FLOOR PLAN - SHEET 2	A5-03	BUILDING 1 ELEVATIONS - SHEET 3
A2-03	SITE / GROUND FLOOR PLAN - SHEET 3	A5-04	BUILDING 1 ELEVATIONS - SHEET 4
A2-04	SITE / GROUND FLOOR PLAN - SHEET 4	A5-05	BUILDING 1 ELEVATIONS - SHEET 5
A2-05	SITE / GROUND FLOOR PLAN - SHEET 5	A5-06	BUILDING 2 & 3 ELEVATIONS - SHEET 1
A2-06	SITE / GROUND FLOOR PLAN - SHEET 6	A5-07	BUILDING 2 & 3 ELEVATIONS - SHEET 2
A2-07	SITE / GROUND FLOOR PLAN - SHEET 7	A5-08	BUILDING 2 & 3 ELEVATIONS - SHEET 3
A3-01	OFFICE AND AMENITIES PLAN	A6-01	BUILDING SECTIONS
A3-01	OFFICE MEZZANINE PLAN	A7-01	WASTE MANAGEMENT AND SERVICE VEHICLE TRAVEL PATHS
A4-01	ROOF PLAN - SHEET 1		
A4-02	ROOF PLAN SHEET 2		
A4-03	ROOF PLAN SHEET 3		
A4-04	ROOF PLAN SHEET 4		

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
2	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
1	23/11/2017	RE-ISSUED FOR DA APPROVAL	R.E.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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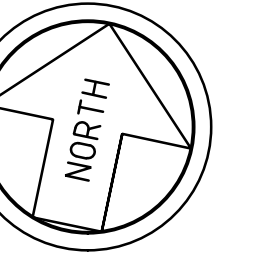
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PO Box 988 Hamilton 2303
P: +61 2 4940 0090
F: +61 2 4940 0091
E: mail@izzat.com.au
W: www.izzat.com.au

PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE				
COVER SHEET AND SITE KEY DIAGRAM				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:500 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A1-01	REVISION 2	

REFER TO A2-02 FOR CONTINUATION



GROUND FLOOR PLAN - SHEET 1

SCALE 1:200

LEGEND

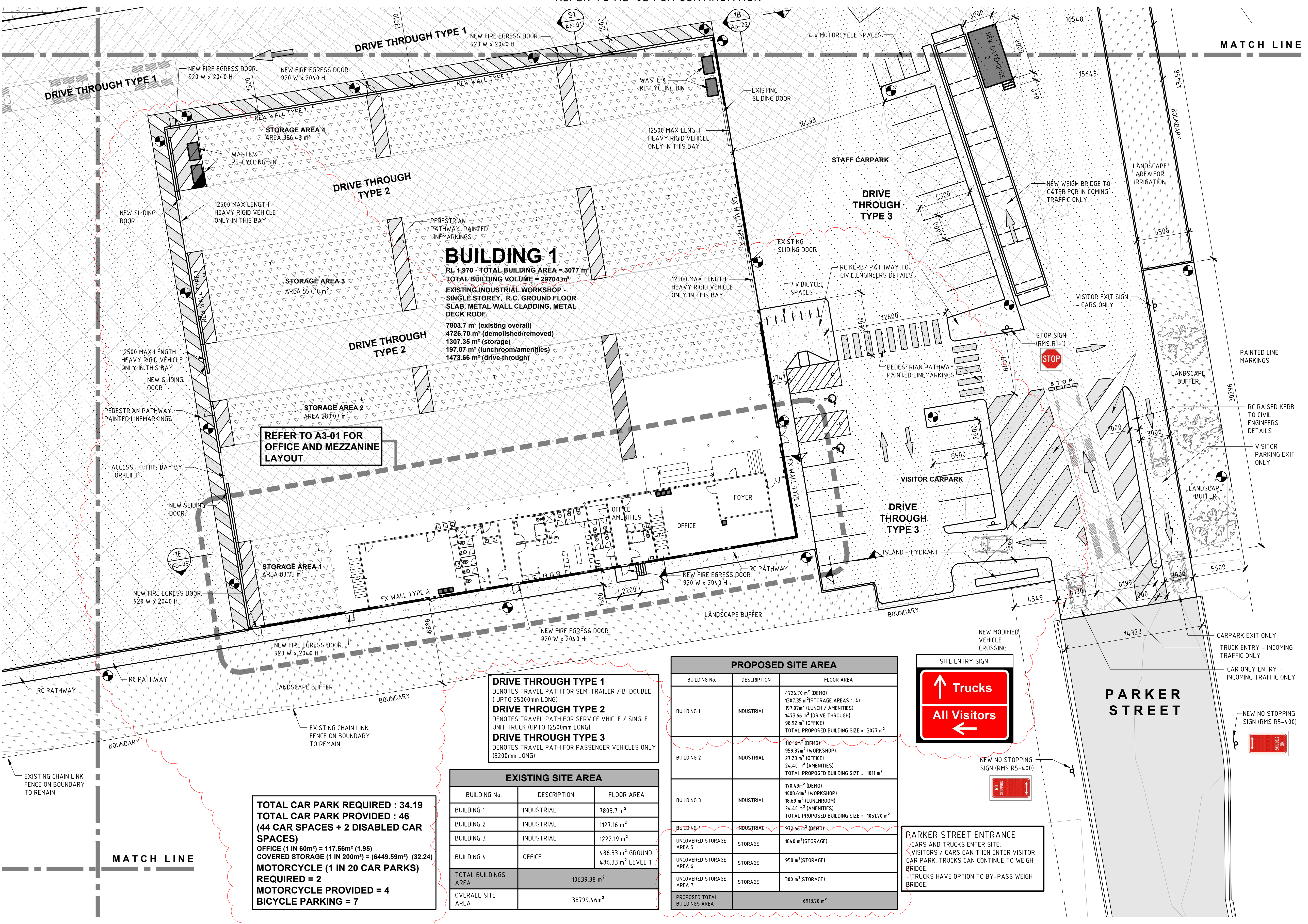
REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

- ZONE FOR LOADING / UNLOADING SHIPPING CONTAINERS. ZONE SETOUT TO CATER FOR A HYSTER CONTAINER HANDLING TRUCK WITH 200mm OPERATING CLEARANCE MINIMUM.
- DRIVE THROUGH TYPE 1. PATH OF TRAVEL FOR 25m B-DOUBLE VEHICLE
- DRIVE THROUGH TYPE 2. PATH OF TRAVEL FOR 12.5m MAX HEAVY RIGID VEHICLE
- 6000mm MIN ZONE FOR FIRE TRUCK ACCESS
- LOADING / UN-LOADING ZONE
- PAVEMENT AREA
- UNCOVERED STORAGE AREA
- COVERED STORAGE AREA
- LANDSCAPED AREA
- RAISED RC KERB
- EXISTING STRUCTURE TO BE DEMOLISHED
- LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GRIDS
NEW WALL TYPE 2	TIMBER STUD WALL PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	STEEL STUD WALL PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GRIDS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2100 WIDE x 1200 HIGH

REFER TO A2-04 FOR CONTINUATION



BUILDING 1
 RL 1.970 - TOTAL BUILDING AREA = 3077 m²
 TOTAL BUILDING VOLUME = 29704 m³
 EXISTING INDUSTRIAL WORKSHOP - SINGLE STOREY, R.C. GROUND FLOOR SLAB, METAL WALL CLADDING, METAL DECK ROOF.
 7803.7 m² (existing overall)
 4726.70 m² (demolished/removed)
 1307.35 m² (storage)
 197.07 m² (lunchroom/amenities)
 1473.66 m² (drive through)

REFER TO A3-01 FOR OFFICE AND MEZZANINE LAYOUT

DRIVE THROUGH TYPE 1
 DENOTES TRAVEL PATH FOR SEMI TRAILER / B-DOUBLE (UPTO 25000mm LONG)
DRIVE THROUGH TYPE 2
 DENOTES TRAVEL PATH FOR SERVICE VEHICLE / SINGLE UNIT TRUCK (UPTO 12500mm LONG)
DRIVE THROUGH TYPE 3
 DENOTES TRAVEL PATH FOR PASSENGER VEHICLES ONLY (5200mm LONG)

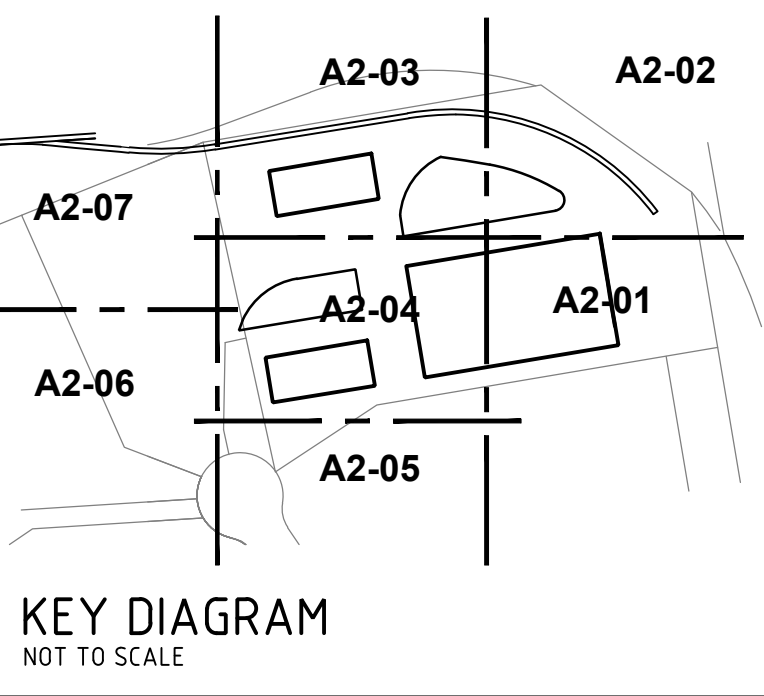
EXISTING SITE AREA		
BUILDING No.	DESCRIPTION	FLOOR AREA
BUILDING 1	INDUSTRIAL	7803.7 m ²
BUILDING 2	INDUSTRIAL	1127.16 m ²
BUILDING 3	INDUSTRIAL	1222.19 m ²
BUILDING 4	OFFICE	486.33 m ² GROUND 486.33 m ² LEVEL 1
TOTAL BUILDINGS AREA		10639.38 m ²
OVERALL SITE AREA		38799.46 m ²

PROPOSED SITE AREA		
BUILDING No.	DESCRIPTION	FLOOR AREA
BUILDING 1	INDUSTRIAL	4726.70 m ² (DEMO) 1307.35 m ² (STORAGE AREAS 1-4) 197.07 m ² (LUNCH / AMENITIES) 1473.66 m ² (DRIVE THROUGH) 98.92 m ² (OFFICE) TOTAL PROPOSED BUILDING SIZE = 3077 m ²
BUILDING 2	INDUSTRIAL	116.16 m ² (DEMO) 959.37 m ² (WORKSHOP) 27.23 m ² (OFFICE) 24.40 m ² (AMENITIES) TOTAL PROPOSED BUILDING SIZE = 1011 m ²
BUILDING 3	INDUSTRIAL	170.49 m ² (DEMO) 1008.61 m ² (WORKSHOP) 18.69 m ² (LUNCHROOM) 24.40 m ² (AMENITIES) TOTAL PROPOSED BUILDING SIZE = 1051.70 m ²
BUILDING 4	INDUSTRIAL	912.66 m ² (DEMO)
UNCOVERED STORAGE AREA 5	STORAGE	184.0 m ² (STORAGE)
UNCOVERED STORAGE AREA 6	STORAGE	958 m ² (STORAGE)
UNCOVERED STORAGE AREA 7	STORAGE	300 m ² (STORAGE)
PROPOSED TOTAL BUILDINGS AREA		6913.70 m ²



PARKER STREET ENTRANCE
 - CARS AND TRUCKS ENTER SITE.
 - VISITORS / CARS CAN THEN ENTER VISITOR CAR PARK. TRUCKS CAN CONTINUE TO WEIGH BRIDGE.
 - TRUCKS HAVE OPTION TO BY-PASS WEIGH BRIDGE.

TOTAL CAR PARK REQUIRED : 34.19
TOTAL CAR PARK PROVIDED : 46
 (44 CAR SPACES + 2 DISABLED CAR SPACES)
 OFFICE (1 IN 60m²) = 117.56m² (1.95)
 COVERED STORAGE (1 IN 200m²) = (6449.59m²) (32.24)
MOTORCYCLE (1 IN 20 CAR PARKS) REQUIRED = 2
MOTORCYCLE PROVIDED = 4
BICYCLE PARKING = 7



REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
3	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
2	05/01/2018	ISSUED FOR REVIEW - BUILDING 1 REVISED	B.B.				
1	23/11/2017	RE-ISSUED FOR DA APPROVAL	R.E.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
D	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
C	06/03/2017	GENERALLY REVISED	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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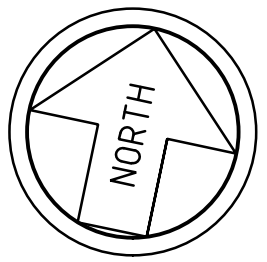
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PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE		SITE / GROND FLOOR PLAN SHEET 1	
DESIGN	P.F.	DRAWN	B.B.
CHECKED	P.F.	SCALE	1:200
DATE	MARCH 2017	JOB NUMBER	J5183
DRAWING NUMBER	A2-01	REVISION	3

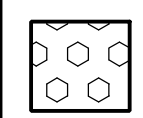
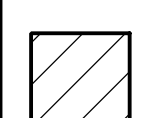
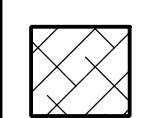
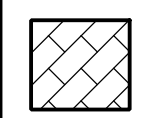
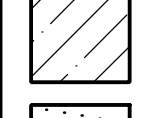
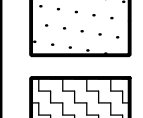
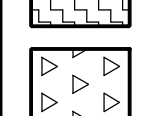
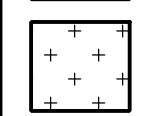

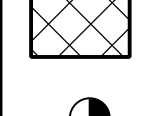

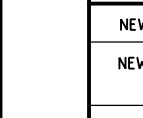


GROUND FLOOR PLAN - SHEET 2

SCALE 1:200

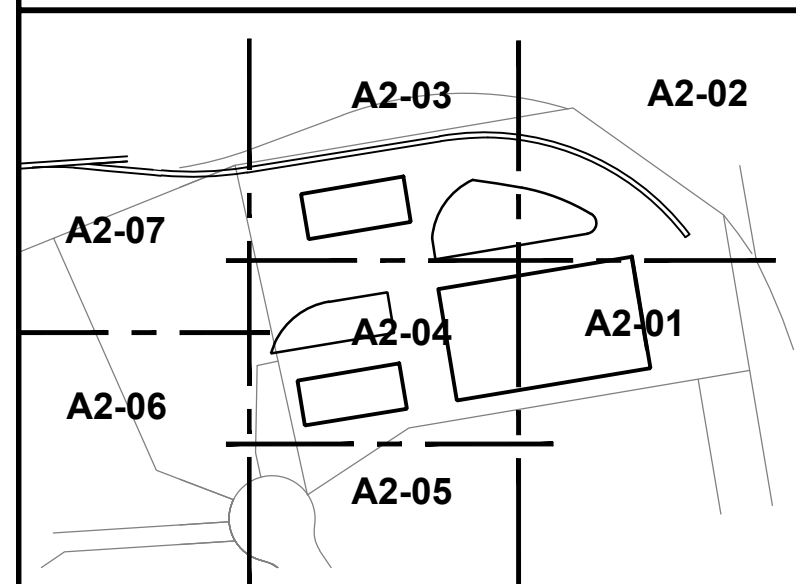
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REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

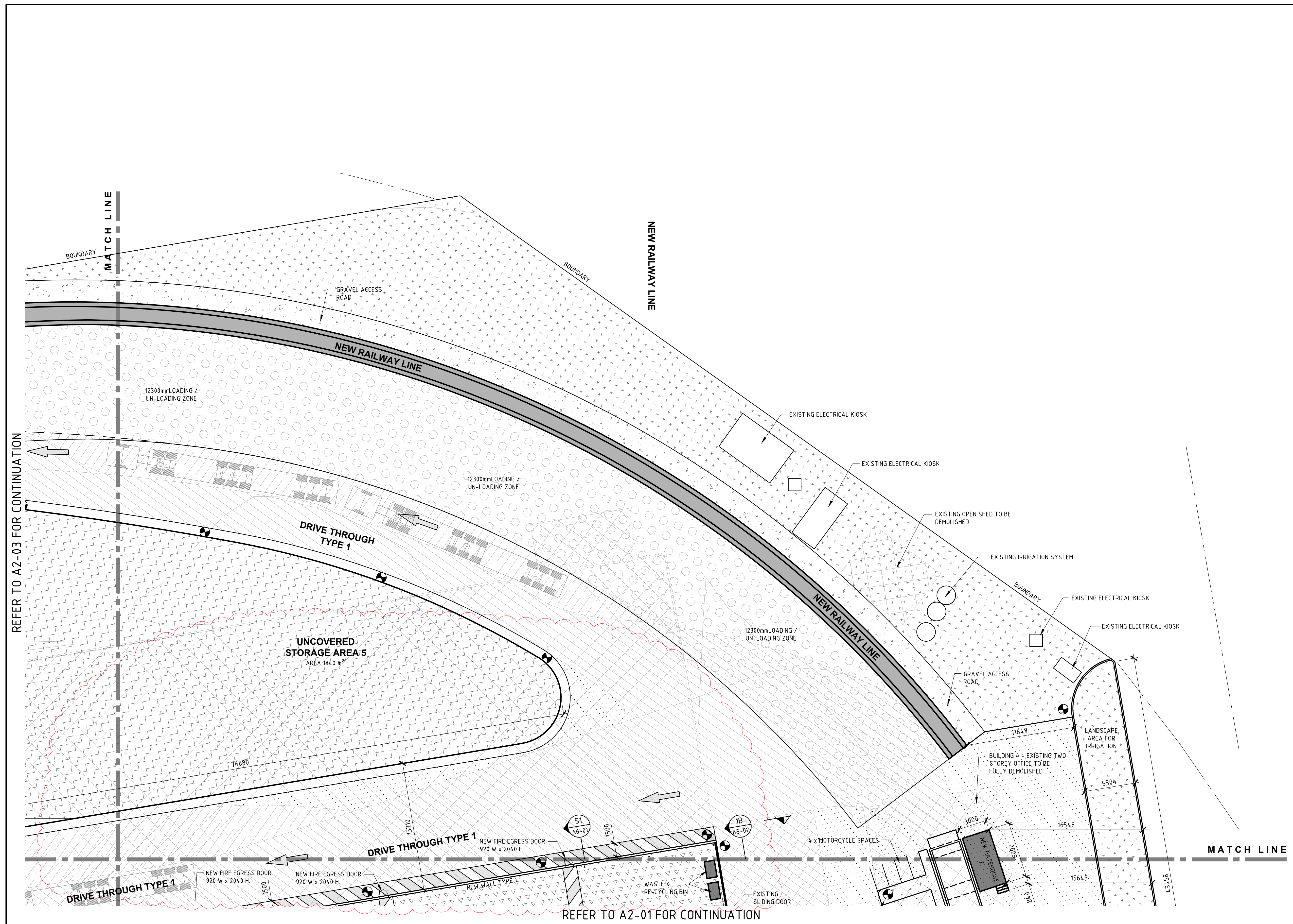
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-  6000mm MIN ZONE FOR FIRE TRUCK ACCESS
-  LOADING / UN-LOADING ZONE
-  PAVEMENT AREA
-  UNCOVERED STORAGE AREA
-  COVERED STORAGE AREA
-  LANDSCAPED AREA
-  RAISED RC KERB
-  EXISTING STRUCTURE TO BE DEMOLISHED
-  LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GRITS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GRITS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2100 WIDE x 1200 HIGH



KEY DIAGRAM
NOT TO SCALE



REFER TO A2-03 FOR CONTINUATION

REFER TO A2-01 FOR CONTINUATION

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
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A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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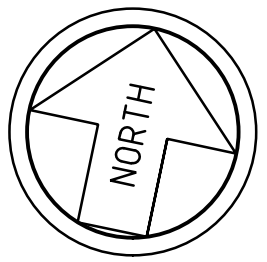
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W: www.izzat.com.au

PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 2		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-02	REVISION 1			

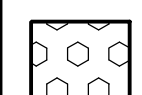
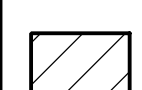
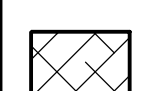
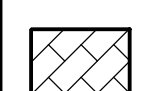


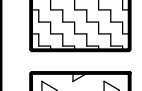
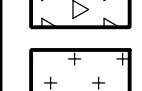

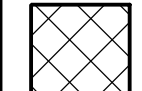



GROUND FLOOR PLAN - SHEET 3

SCALE 1:200

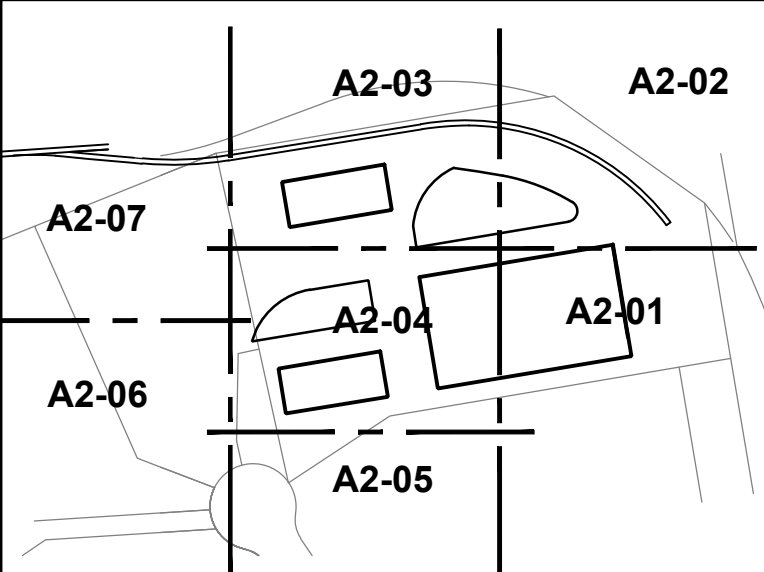
LEGEND

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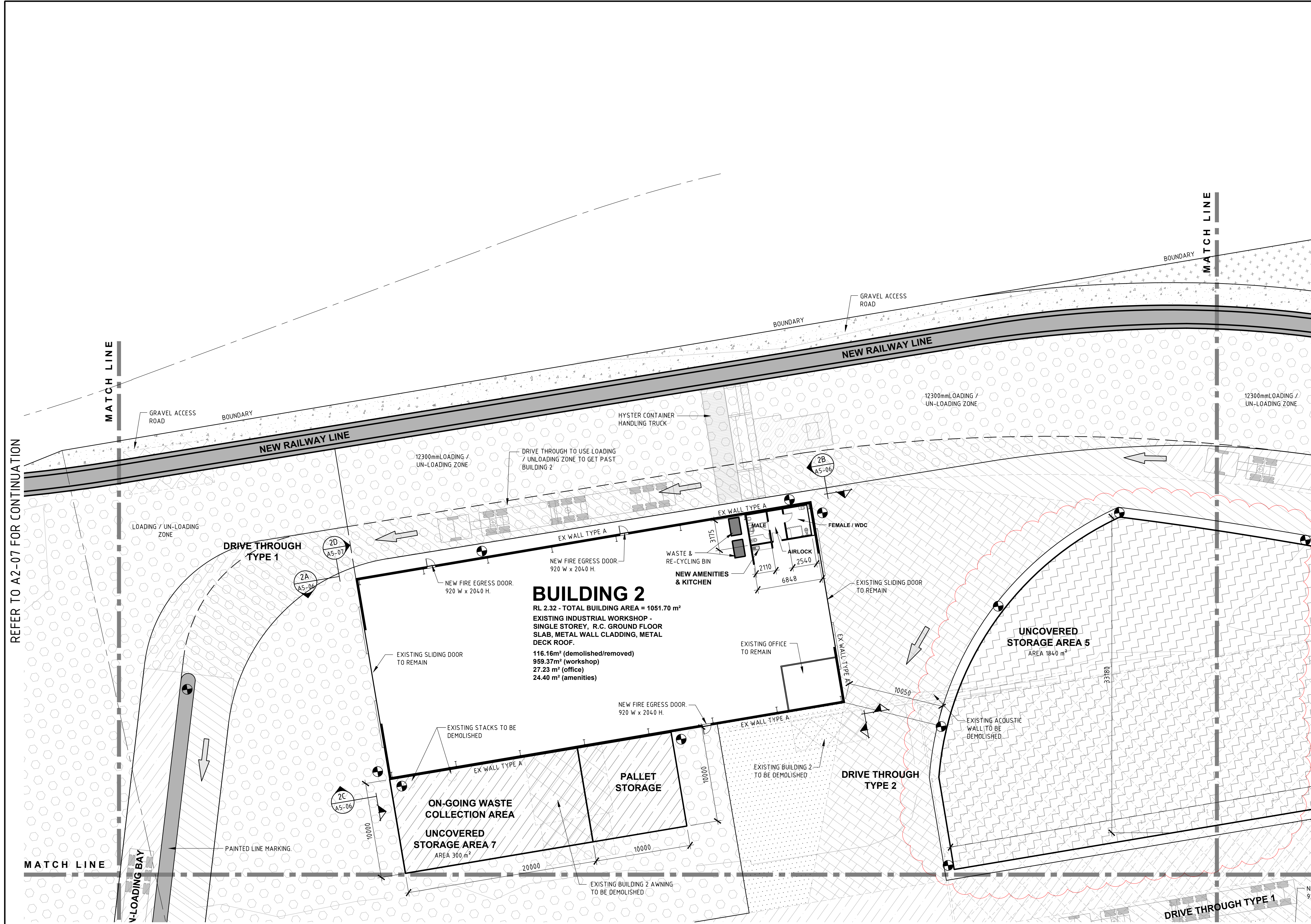
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WT4	ALUMINIUM FRAMED - 2100 WIDE x 1200 HIGH



KEY DIAGRAM
NOT TO SCALE



REFER TO A2-07 FOR CONTINUATION


REFER TO A2-02 FOR CONTINUATION

REFER TO A2-04 FOR CONTINUATION

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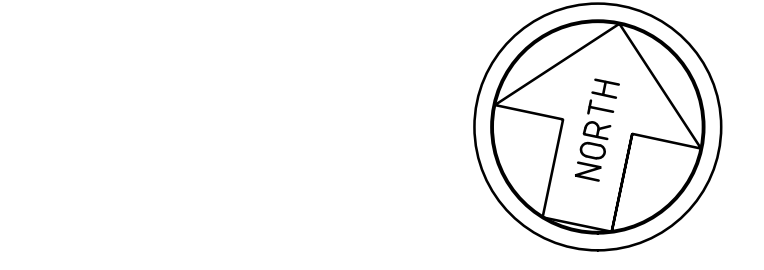
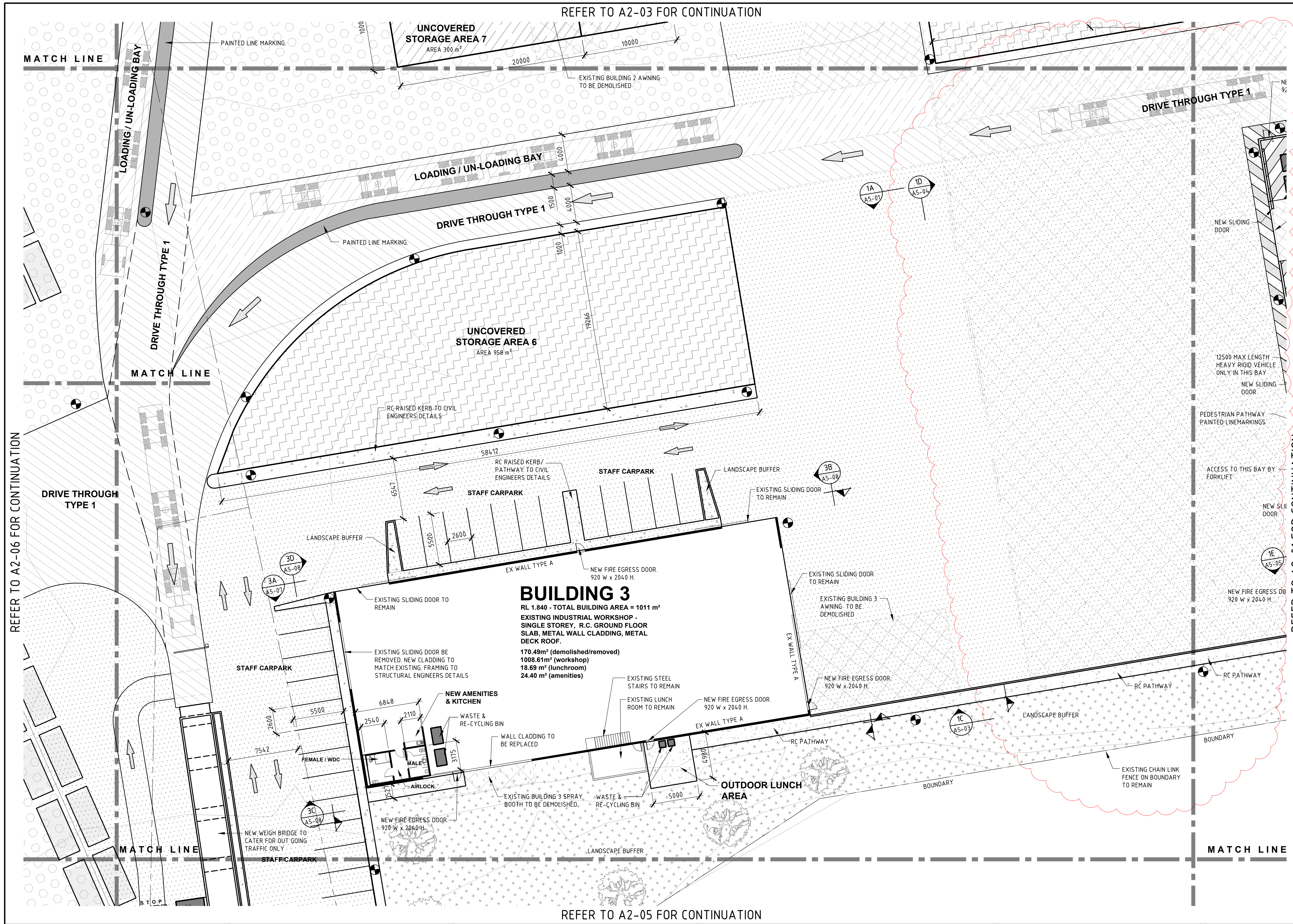
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PROJECT
**CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 3		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-03	REVISION 1			

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				



GROUND FLOOR PLAN - SHEET 4

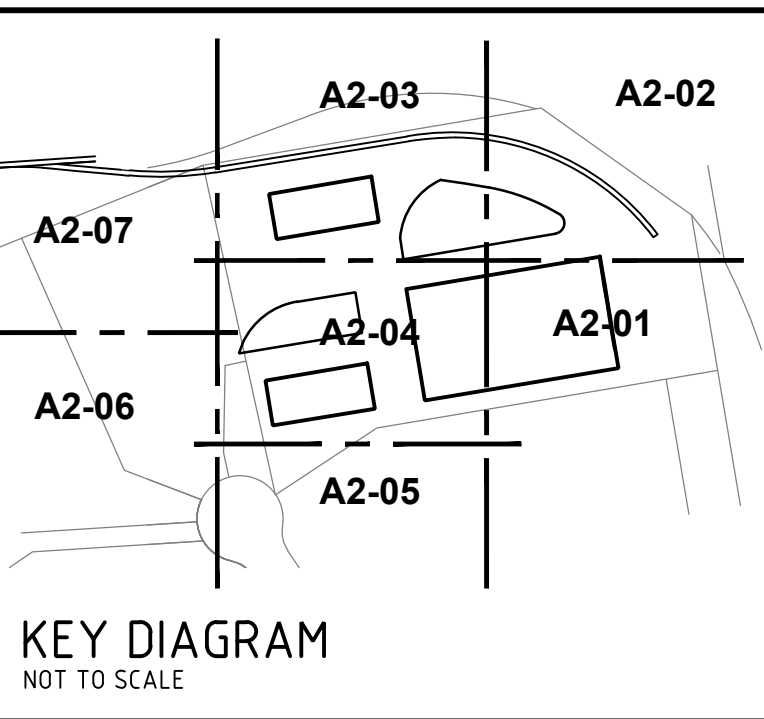
SCALE 1:200

LEGEND
 REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

- ZONE FOR LOADING / UNLOADING SHIPPING CONTAINERS. ZONE SETOUT TO CATER FOR A HYSTER CONTAINER HANDLING TRUCK WITH 200mm OPERATING CLEARANCE MINIMUM.
- DRIVE THROUGH TYPE 1. PATH OF TRAVEL FOR 25m B-DOUBLE VEHICLE
- DRIVE THROUGH TYPE 2. PATH OF TRAVEL FOR 12.5m MAX HEAVY RIGID VEHICLE
- 6000mm MIN ZONE FOR FIRE TRUCK ACCESS
- LOADING / UN-LOADING ZONE
- PAVEMENT AREA
- UNCOVERED STORAGE AREA
- COVERED STORAGE AREA
- LANDSCAPED AREA
- RAISED RC KERB
- EXISTING STRUCTURE TO BE DEMOLISHED
- LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GRITS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GRITS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2100 WIDE x 1200 HIGH



REFER TO A2-06 FOR CONTINUATION

REFER TO A2-01 FOR CONTINUATION

REFER TO A2-03 FOR CONTINUATION

REFER TO A2-05 FOR CONTINUATION

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52 PARKER STREET

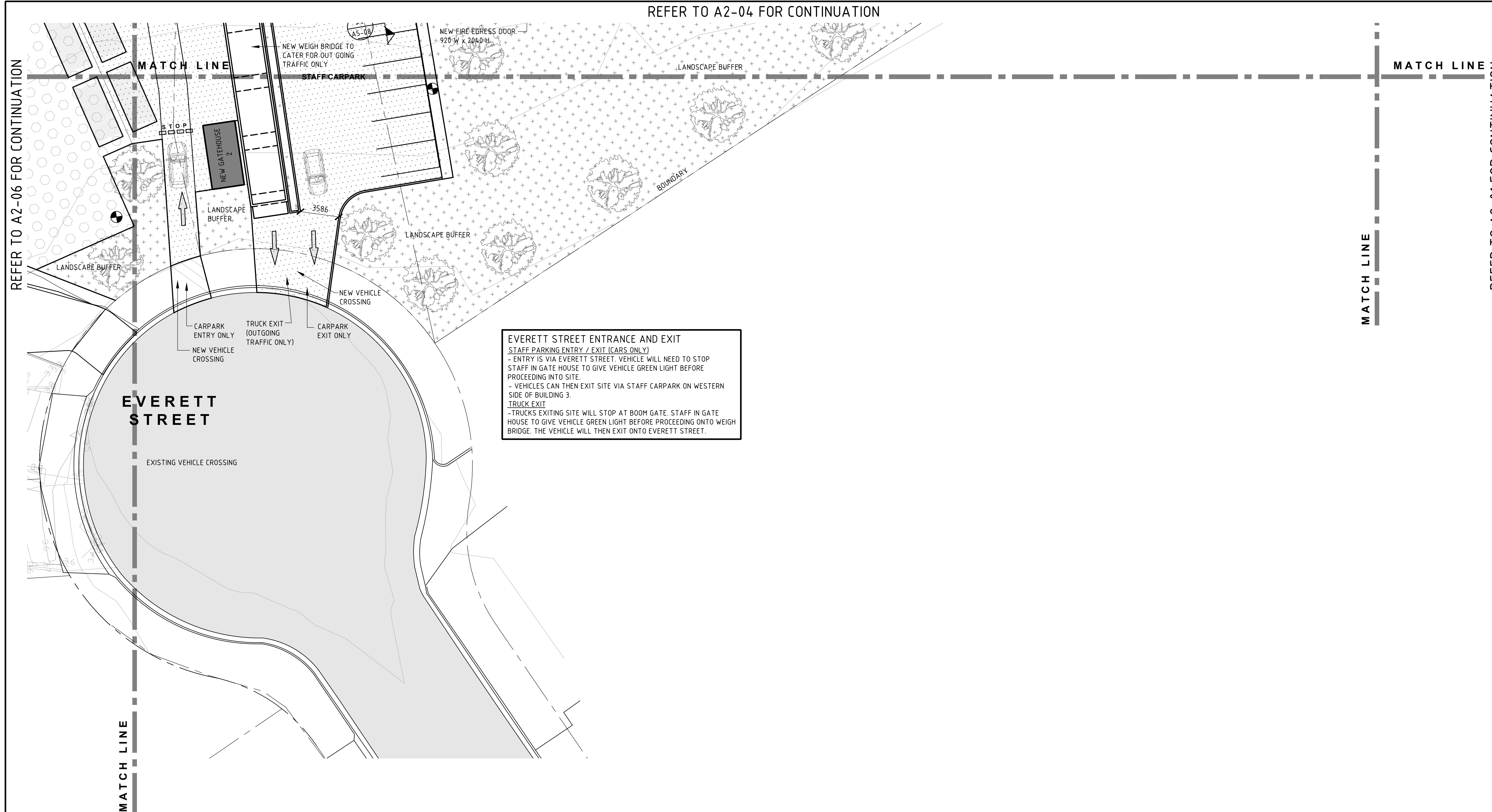
CLIENT
SELL AND PARKER

DRAWING TITLE
SITE / GROND FLOOR PLAN SHEET 4

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
2	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
1	05/01/2018	ISSUED FOR REVIEW - BUILDING 1 REVISED	B.B.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
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DESIGN	DRAWN	CHECKED	SCALE	REVISION
P.F.	B.B.	P.F.	1:200 U.N.O.	A1 801x554
DATE	JOB NUMBER	DRAWING NUMBER	REVISION	
MARCH 2017	J5183	A2-04	2	

REFER TO A2-04 FOR CONTINUATION



EVERETT STREET ENTRANCE AND EXIT
STAFF PARKING ENTRY / EXIT (CARS ONLY)
 - ENTRY IS VIA EVERETT STREET. VEHICLE WILL NEED TO STOP STAFF IN GATE HOUSE TO GIVE VEHICLE GREEN LIGHT BEFORE PROCEEDING INTO SITE.
 - VEHICLES CAN THEN EXIT SITE VIA STAFF CARPARK ON WESTERN SIDE OF BUILDING 3.
TRUCK EXIT
 - TRUCKS EXITING SITE WILL STOP AT BOOM GATE. STAFF IN GATE HOUSE TO GIVE VEHICLE GREEN LIGHT BEFORE PROCEEDING ONTO WEIGH BRIDGE. THE VEHICLE WILL THEN EXIT ONTO EVERETT STREET.

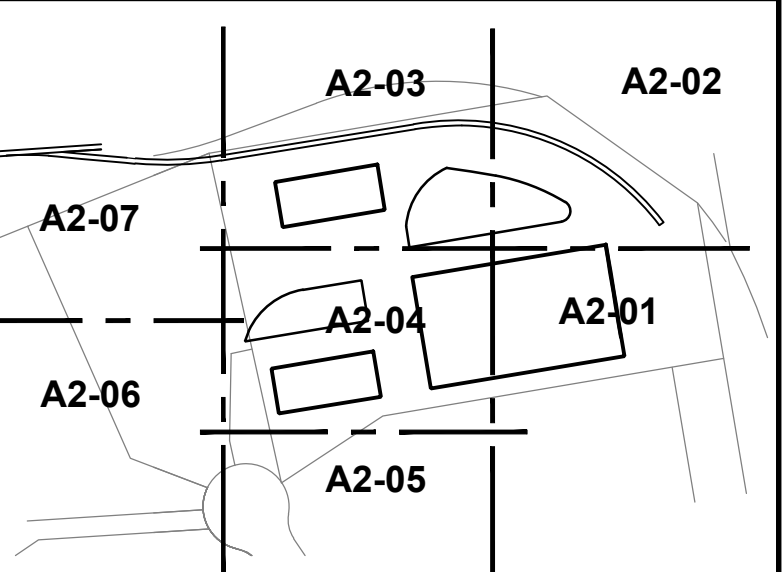
GROUND FLOOR PLAN - SHEET 5
 SCALE 1:200

LEGEND

REFER TO SURVEY DRAWING BY ADW JOHNSON, REFERENCE No. 239384-DET-001 FOR ALL CONTOURS, SPOT LEVELS etc.

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- COVERED STORAGE AREA
- LANDSCAPED AREA
- RAISED RC KERB
- EXISTING STRUCTURE TO BE DEMOLISHED
- LIGHT POLE. REFER TO DRAWINGS BY ELECTRICAL PROJECTS AUSTRALIA

WALL LEGEND	
MARK	DESCRIPTION
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NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING
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NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GRIS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL
WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
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WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2100 WIDE x 1200 HIGH



KEY DIAGRAM
 NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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1	23/11/2017	RE-ISSUED FOR DA APPROVAL	R.E.				
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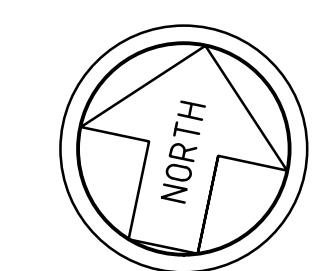
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PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

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DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 5		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-05	REVISION 2			



GROUND FLOOR PLAN - SHEET 6

SCALE 1:200

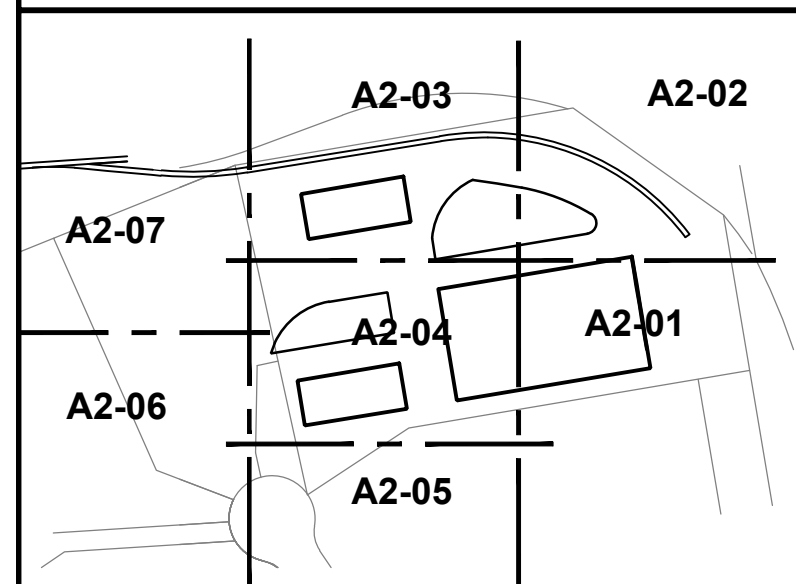
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KEY DIAGRAM
NOT TO SCALE

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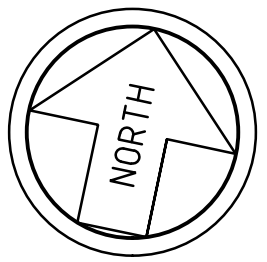
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PROJECT
**CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET**

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DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 6		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-06	REVISION 2			

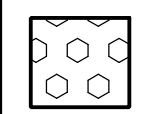
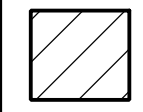
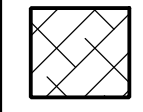
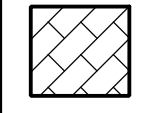
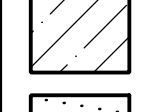
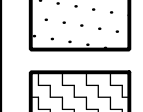
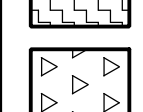
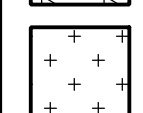

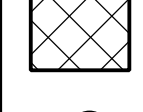

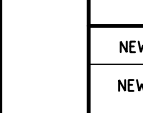


GROUND FLOOR PLAN - SHEET 7

SCALE 1:200

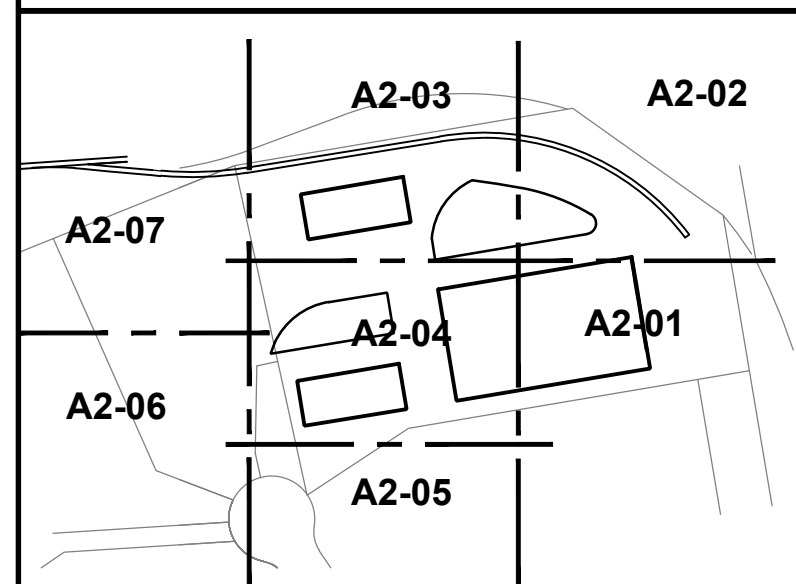
LEGEND

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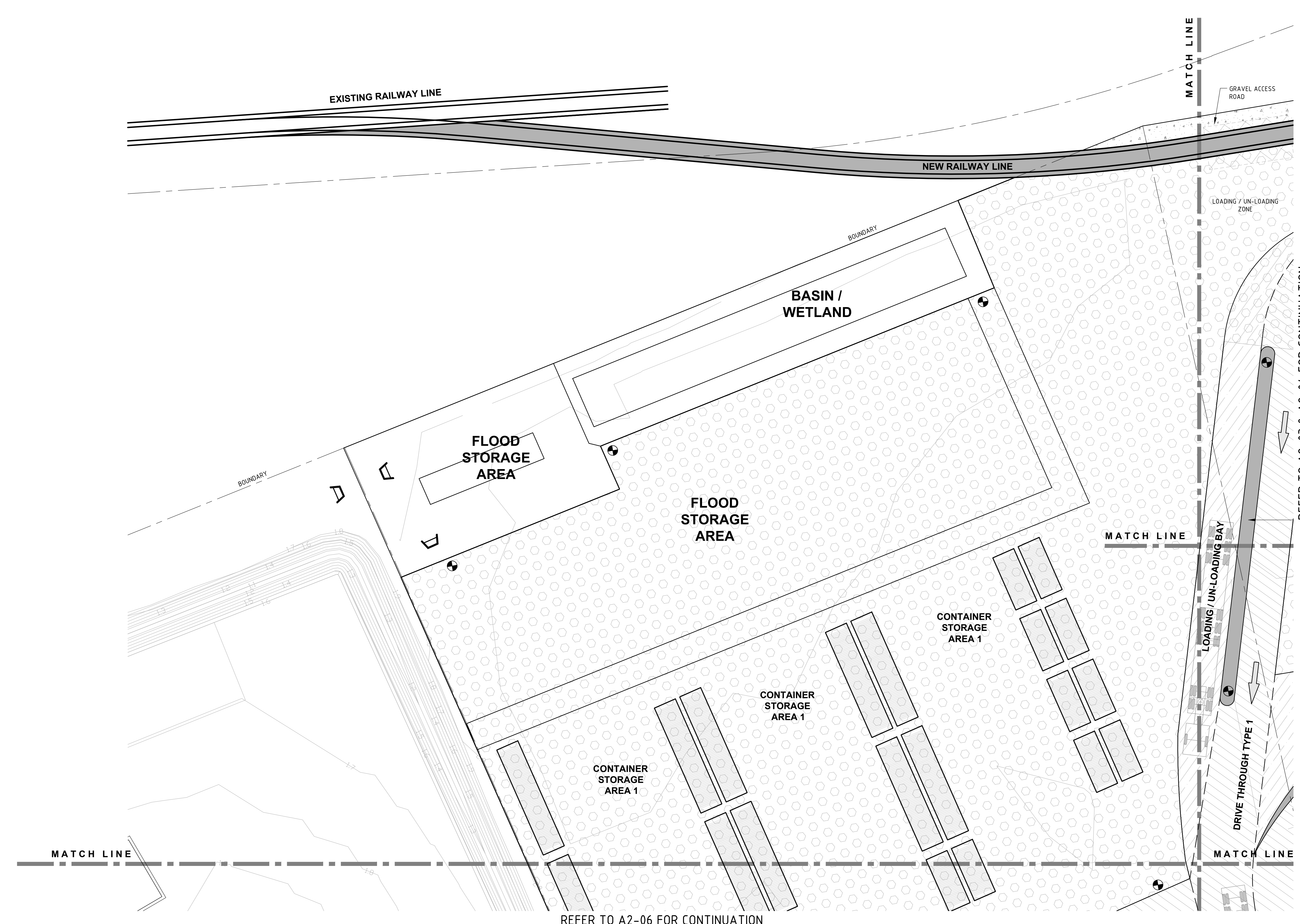
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WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GRIS
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WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH



KEY DIAGRAM
NOT TO SCALE



REFER TO A2-06 FOR CONTINUATION

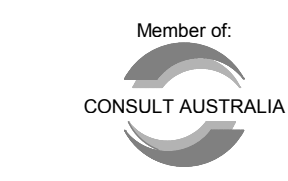
REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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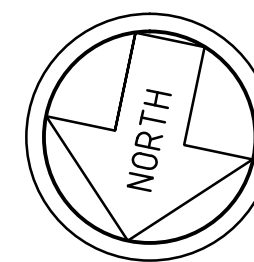
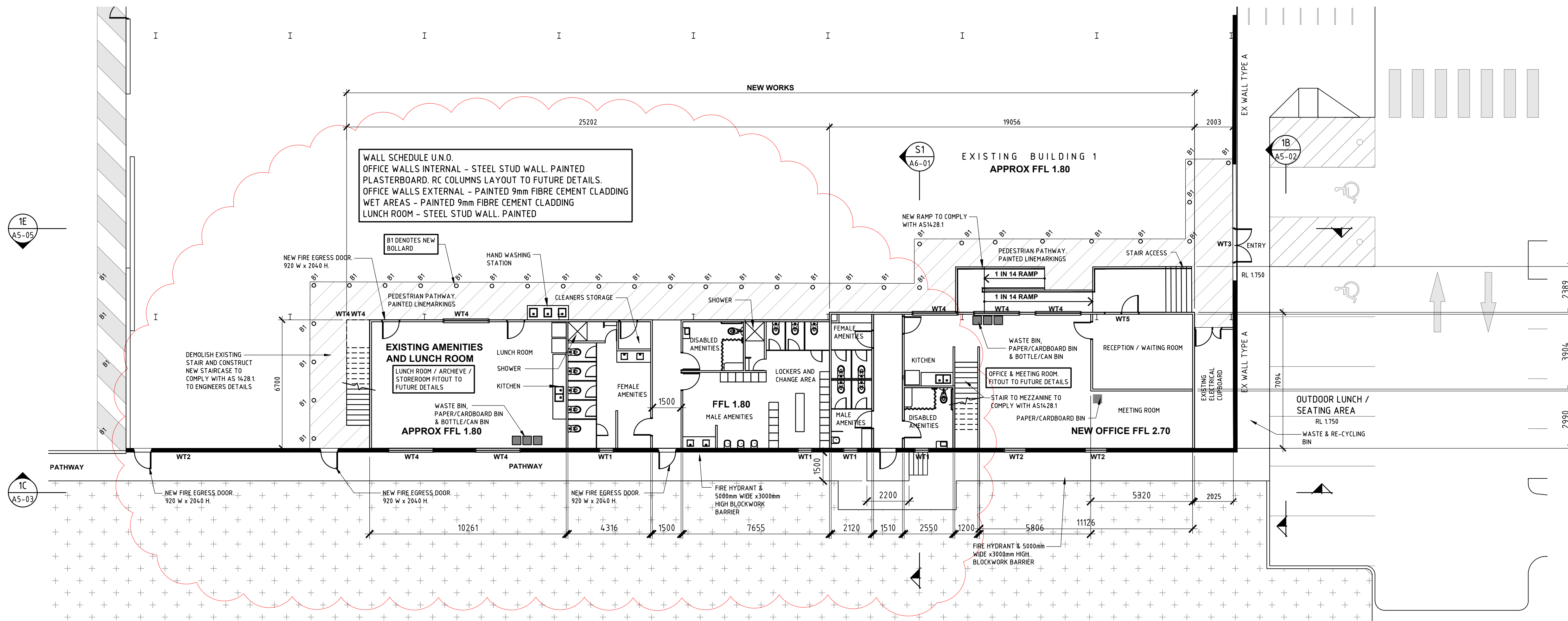


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PROJECT
CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET

CLIENT
SELL AND PARKER

DRAWING TITLE SITE / GROND FLOOR PLAN SHEET 7		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A2-07		REVISION 1		



OFFICE AND LUNCH ROOM PLAN (BUILDING 1)

SCALE 1:25

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
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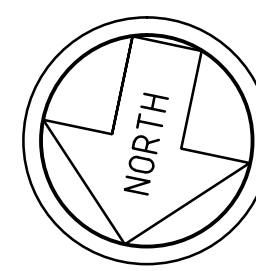
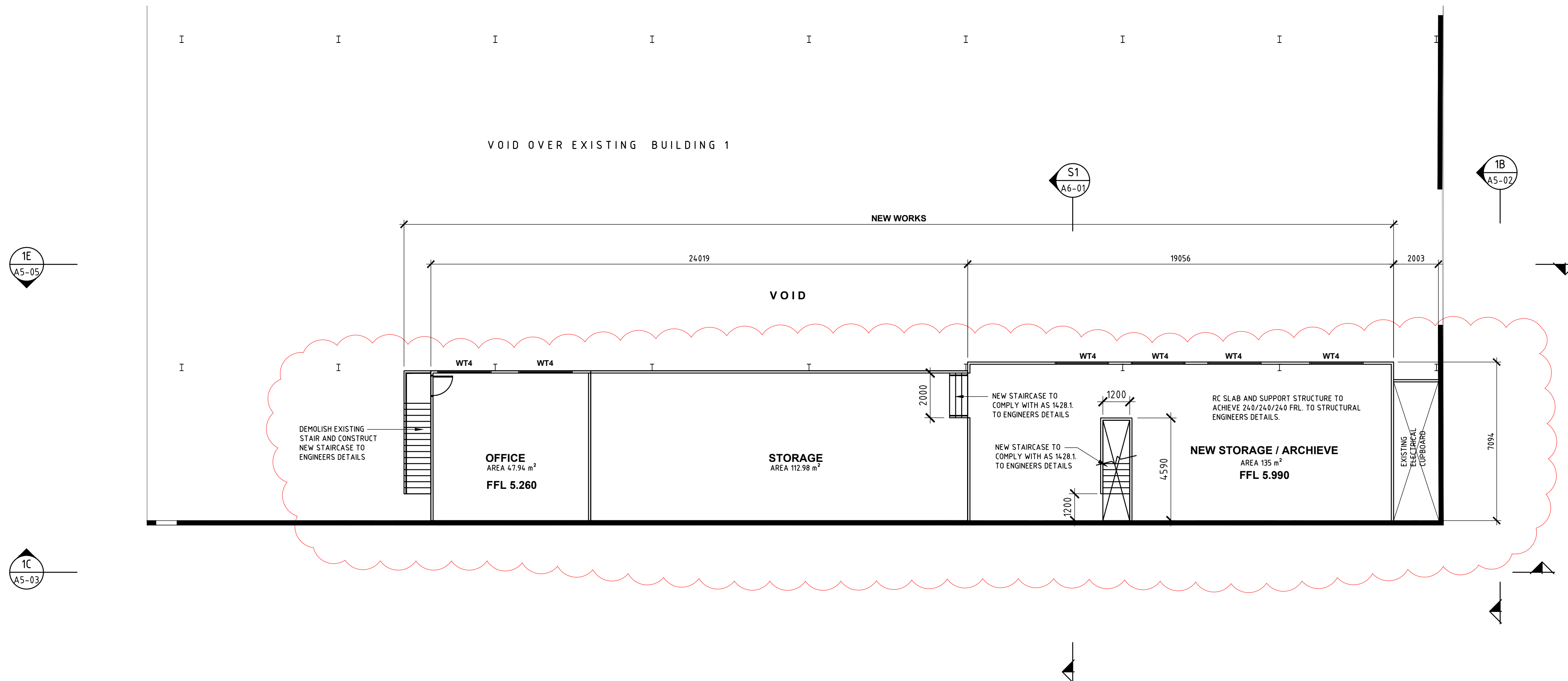


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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 OFFICE AND AMENITIES PLANS				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:125 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A3-01	REVISION 2	



OFFICE MEZZANINE PLAN (BUILDING 1)
SCALE 1:125

WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL, PAINTED PLASTERBOARD CLADDING.
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0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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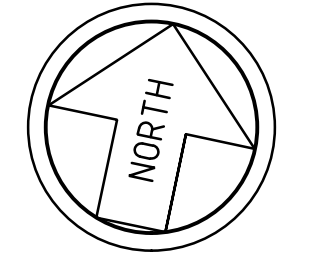
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 OFFICE MEZZANINE STORAGE LAYOUT				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:125 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A3-02	REVISION 2	

REFER TO A4-02 FOR CONTINUATION

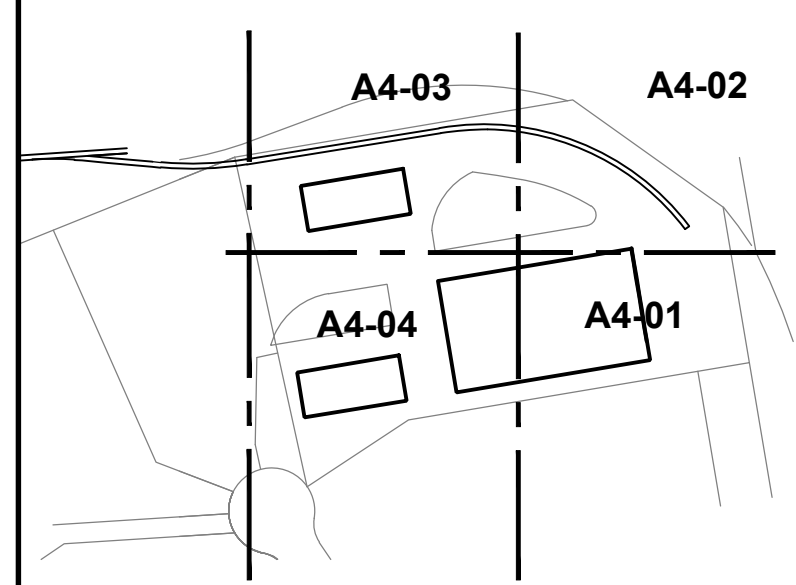


**ROOF ALTERATION
PLAN - SHEET 1**

SCALE 1:200

REFER TO SURVEY DRAWING BY ADW
JOHNSON, REFERENCE No. 239384-DET-001
FOR ALL CONTOURS, SPOT LEVELS etc.

REFER TO A4-04 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				
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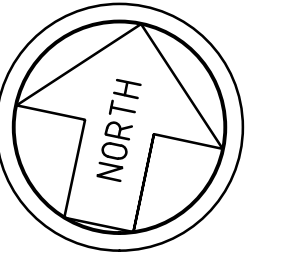
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE
**ROOF PLAN
SHEET 1**

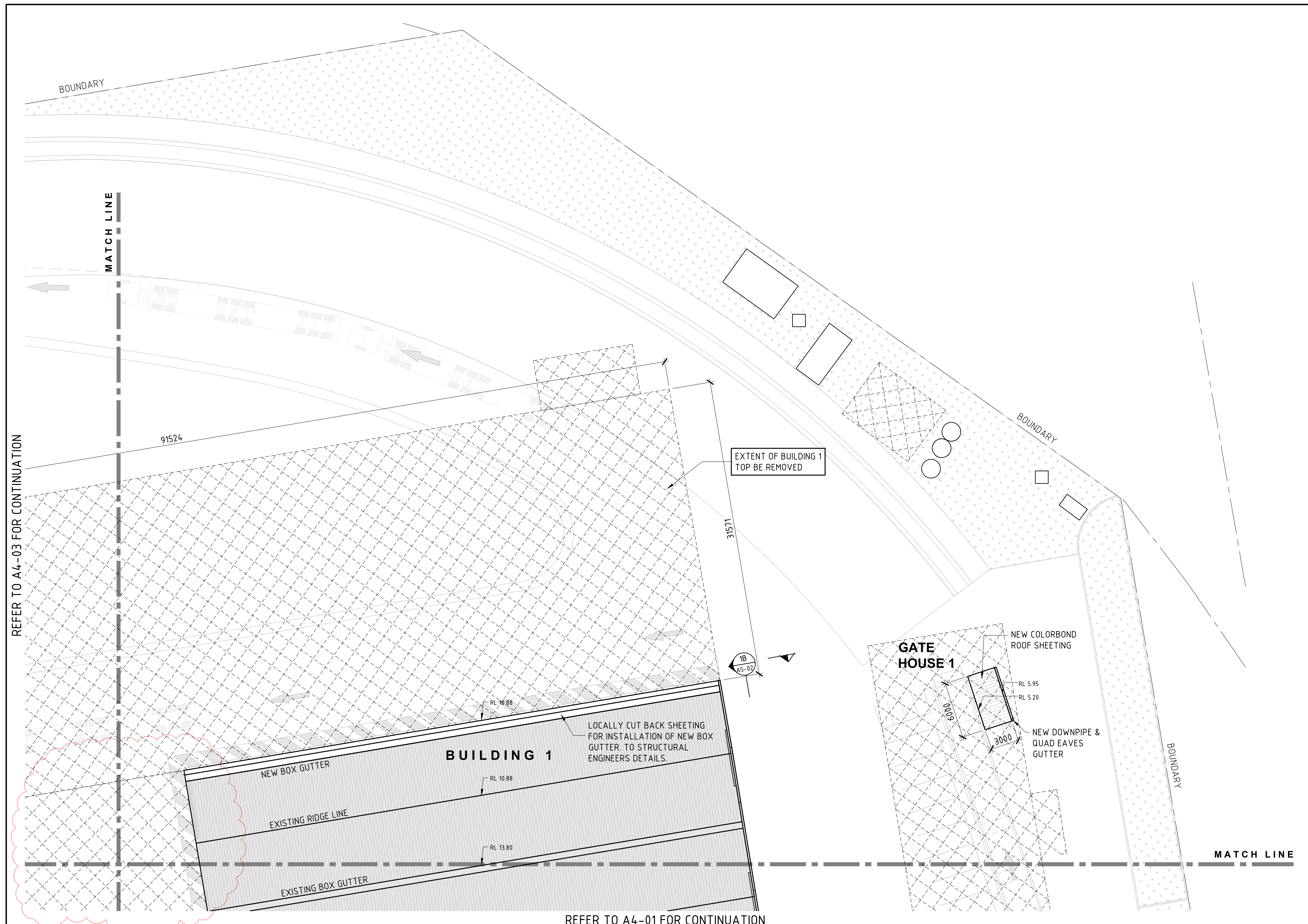
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-01	REVISION 1	



ROOF ALTERATION PLAN - SHEET 2

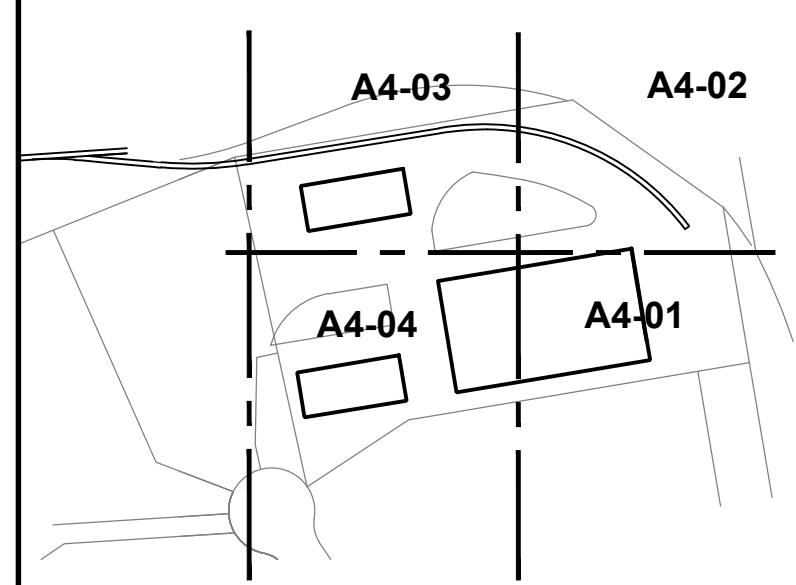
SCALE 1:200

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REFER TO A4-03 FOR CONTINUATION

REFER TO A4-01 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
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B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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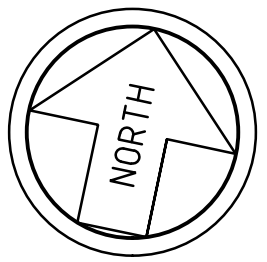
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

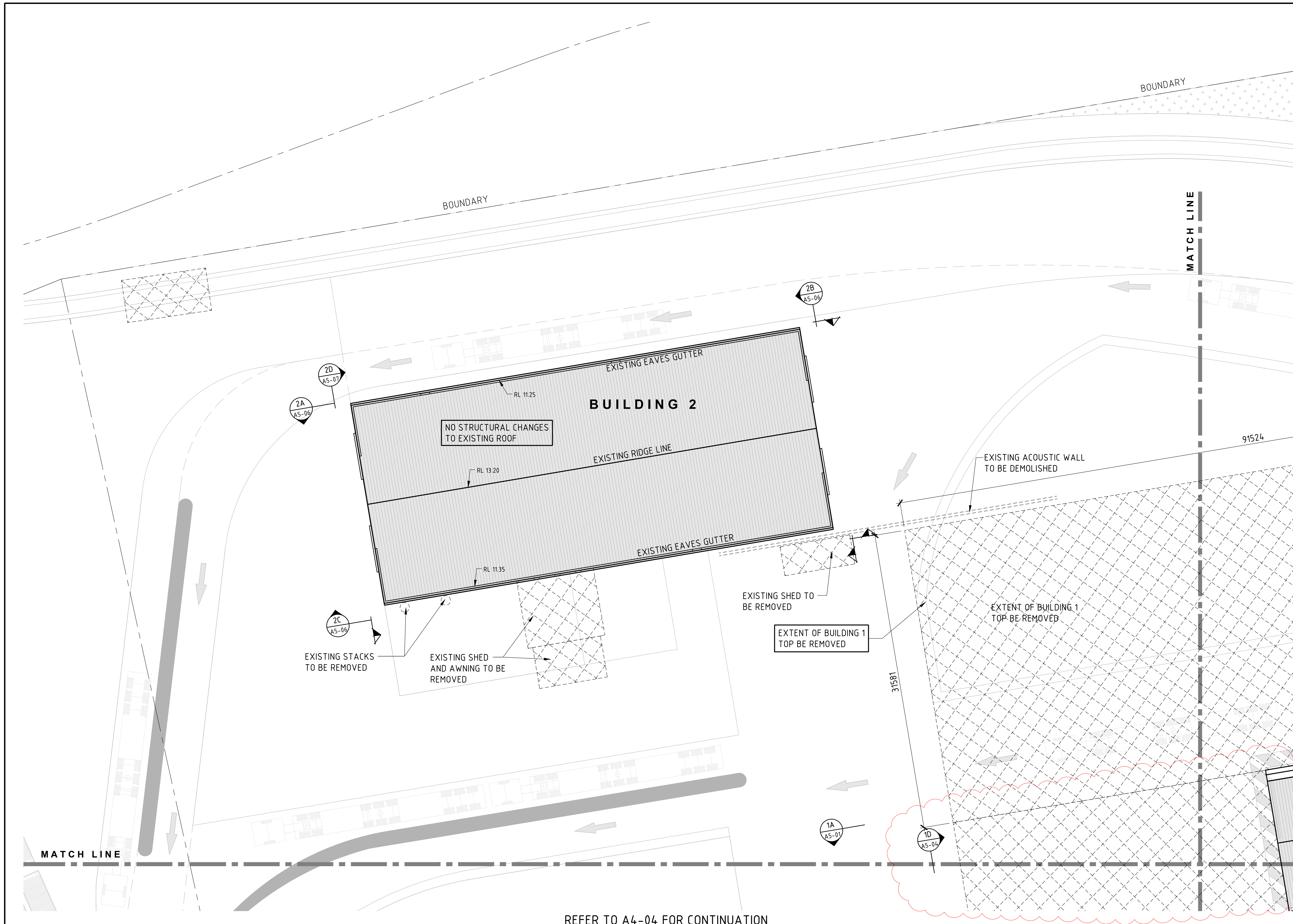
DRAWING TITLE ROOF PLAN SHEET 2		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-02		REVISION 1		



ROOF ALTERATION PLAN - SHEET 3

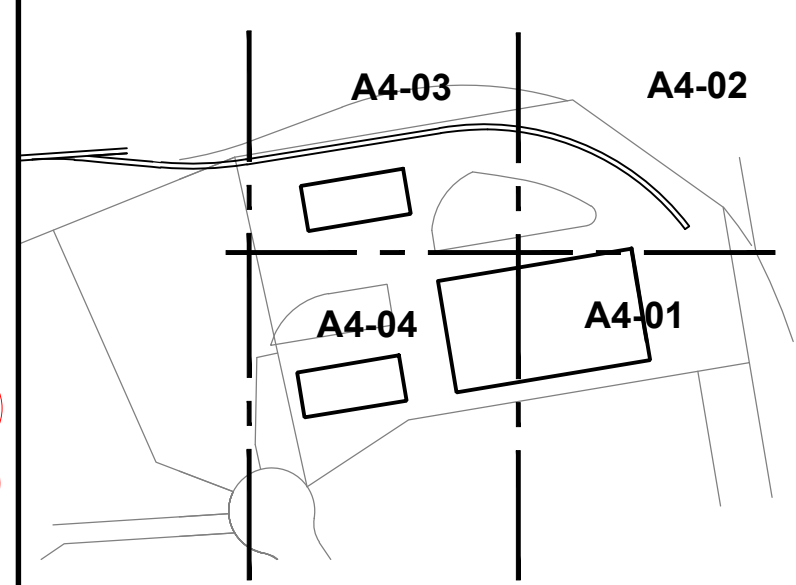
SCALE 1:200

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REFER TO A4-02 FOR CONTINUATION

REFER TO A4-04 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
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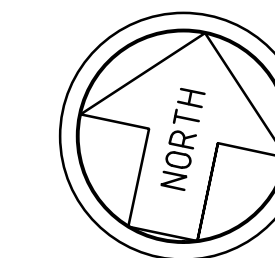
PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

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DRAWING TITLE ROOF PLAN SHEET 3		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-03		REVISION 1		

REFER TO A4-03 FOR CONTINUATION

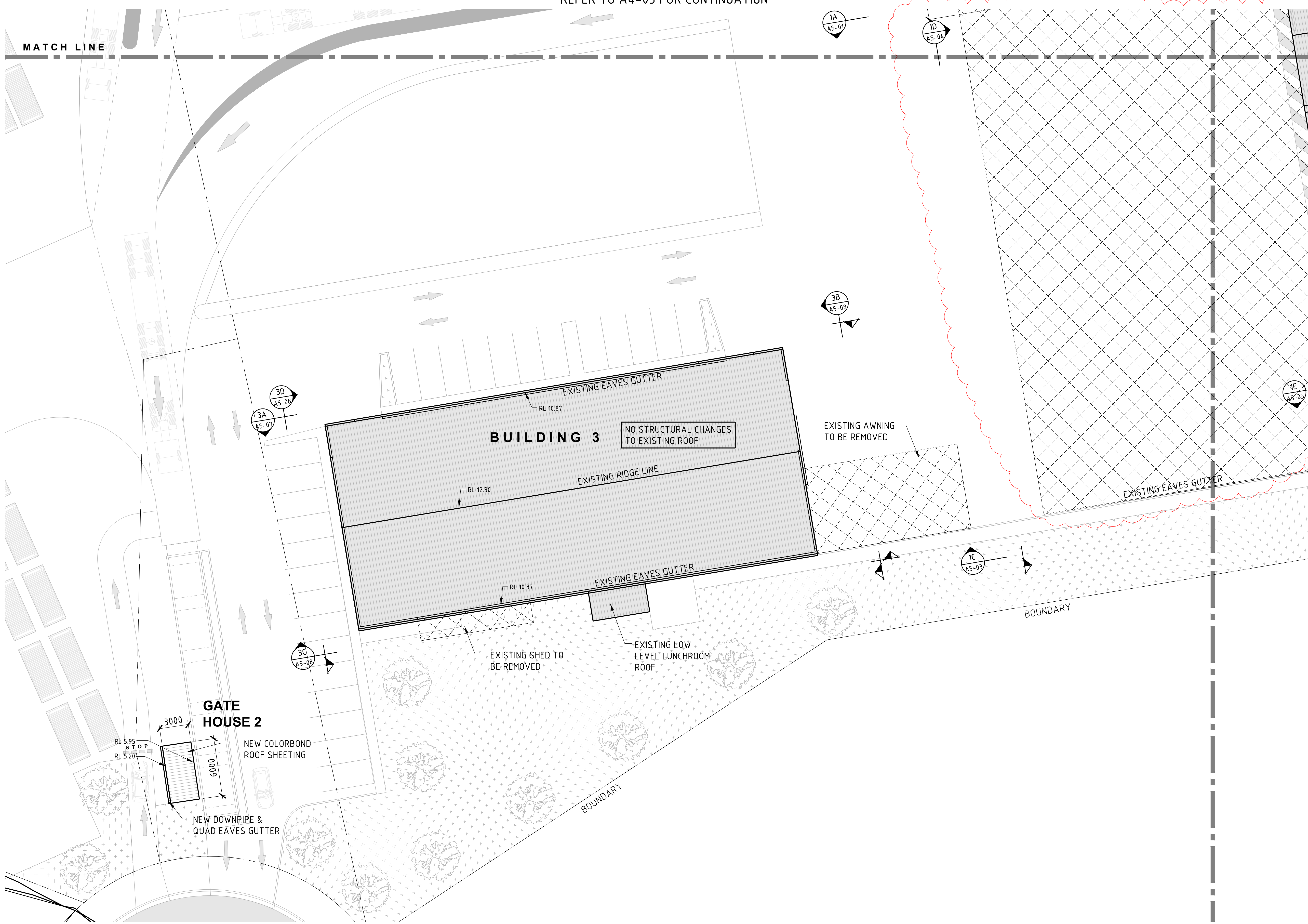
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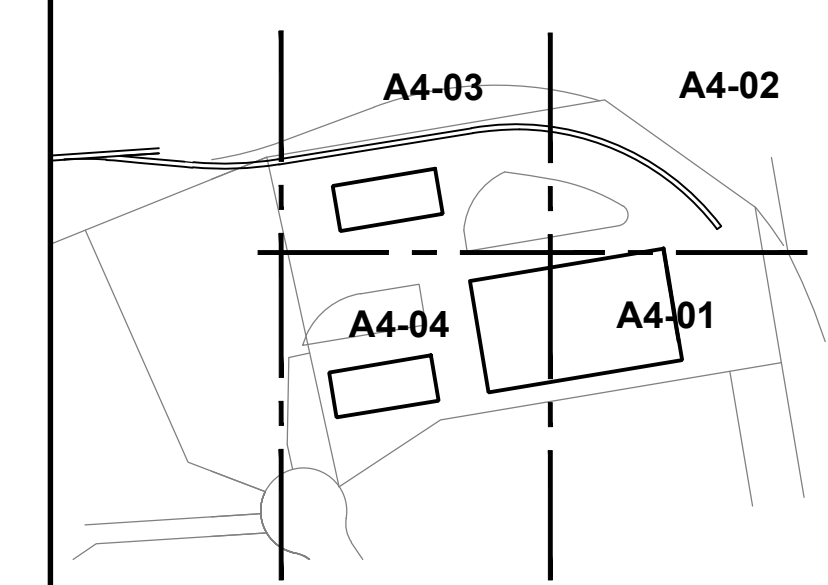
**ROOF ALTERATION
PLAN - SHEET 4**

SCALE 1:200

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REFER TO A4-01 FOR CONTINUATION



KEY DIAGRAM
NOT TO SCALE

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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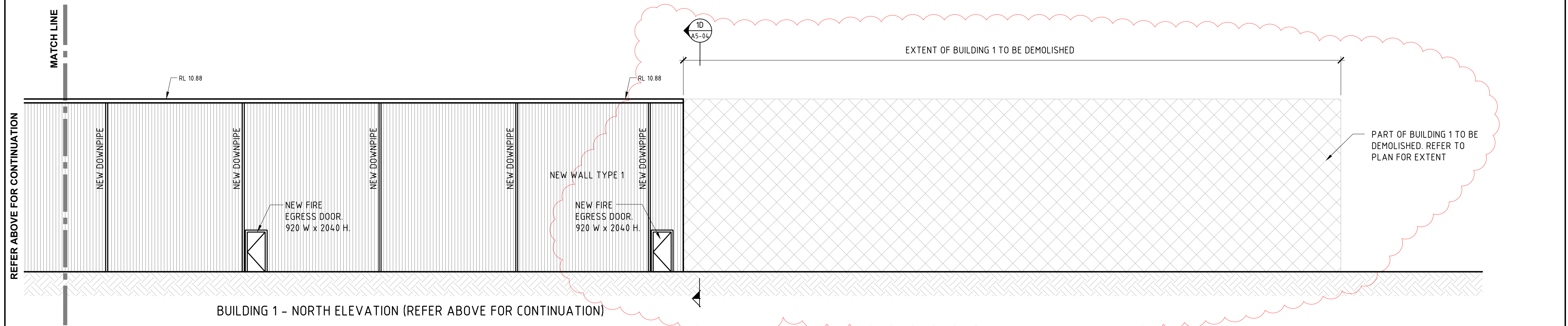
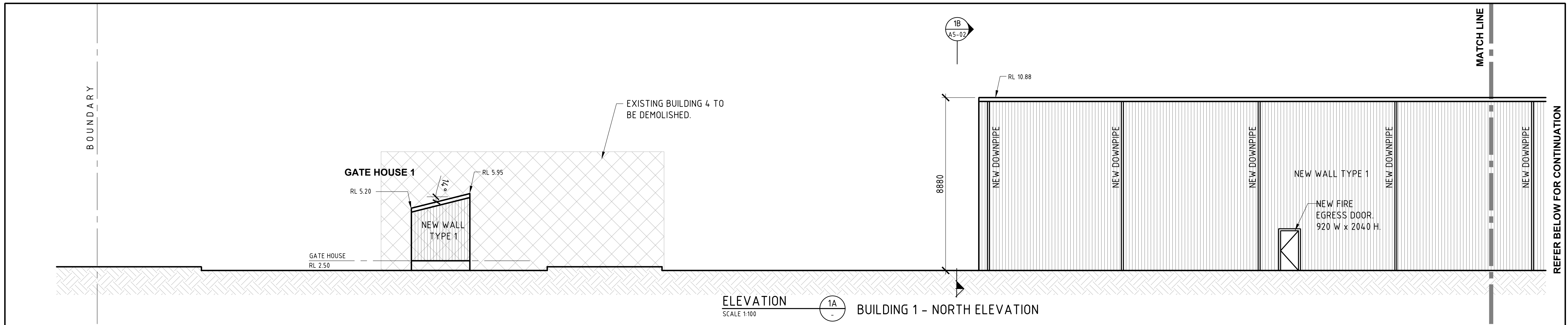
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

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DRAWING TITLE ROOF PLAN SHEET 4		DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:200 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A4-04	REVISION 1			



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL
WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
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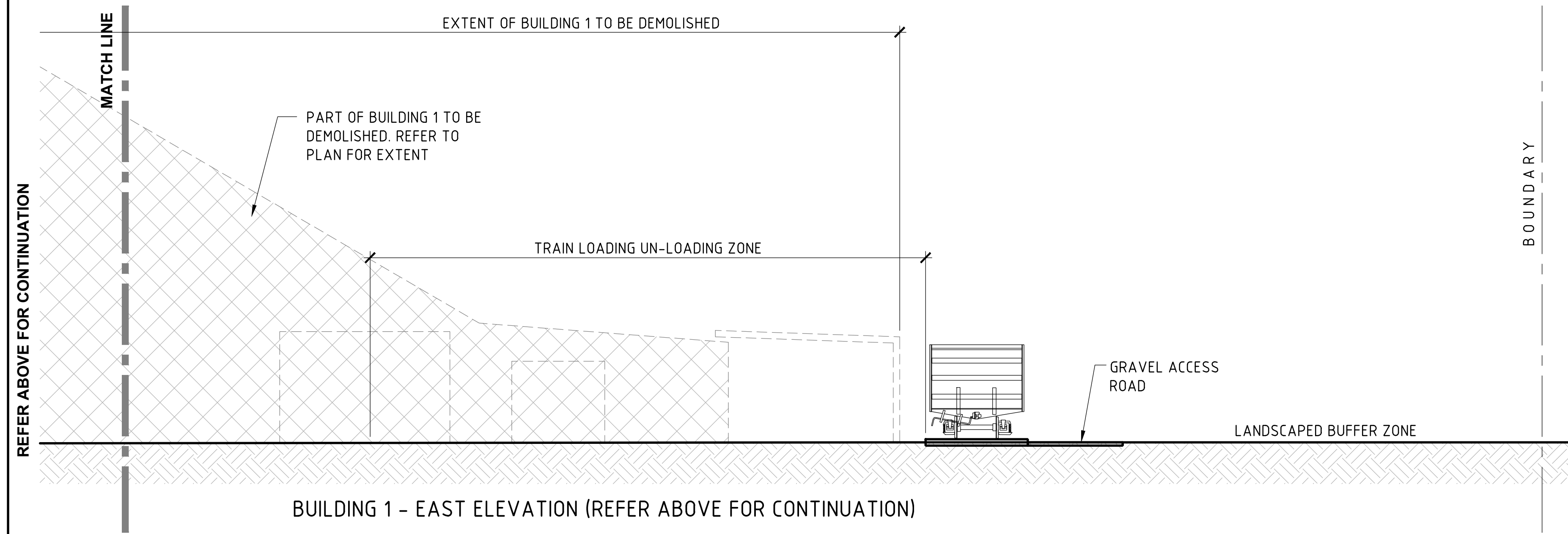
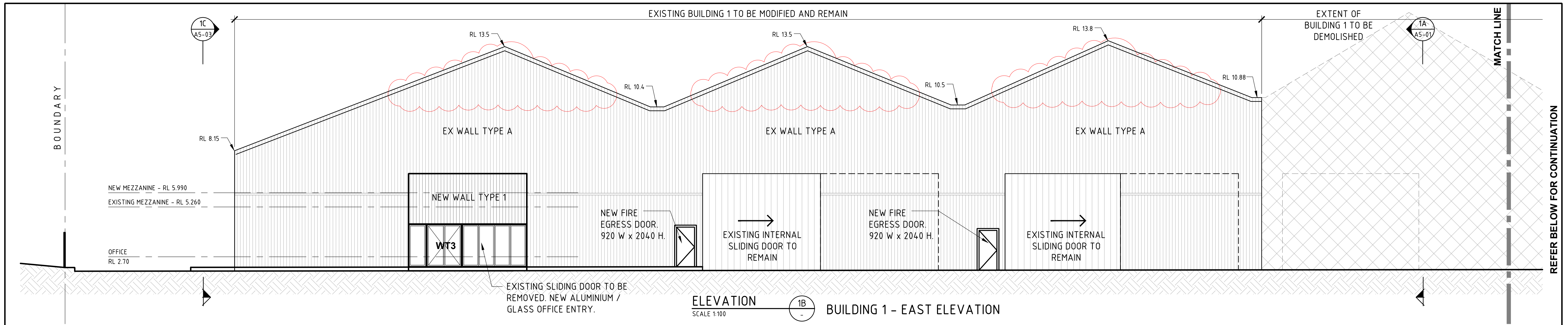
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 1				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-01	REVISION 1	



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL
WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
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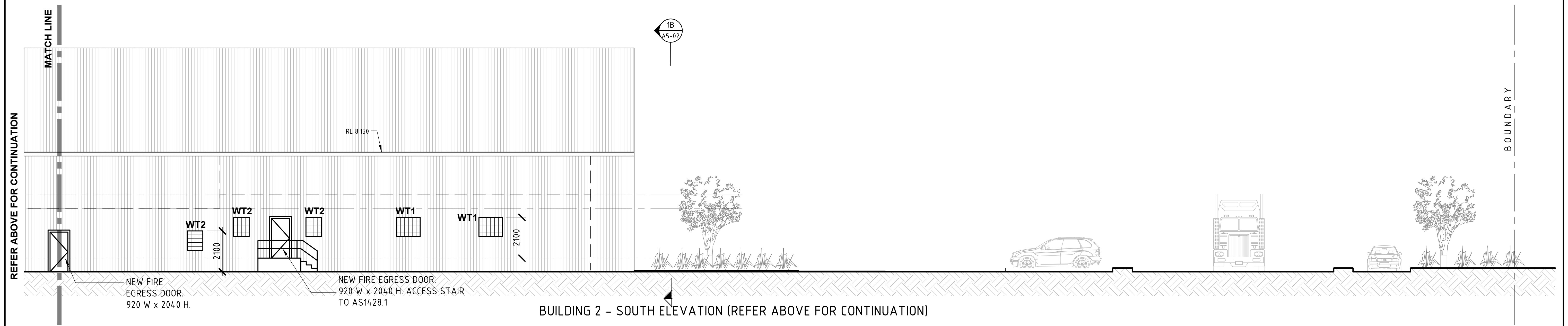
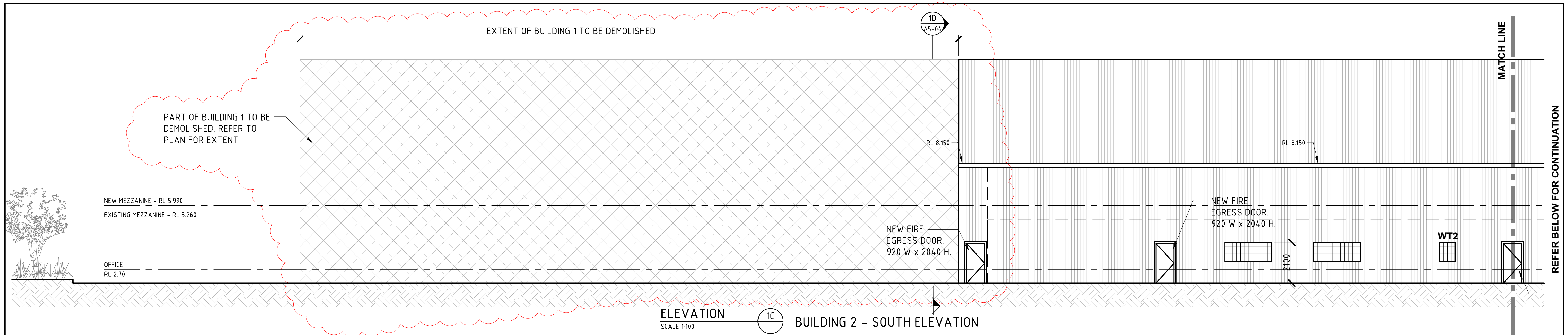
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 2				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-02	REVISION 1	



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

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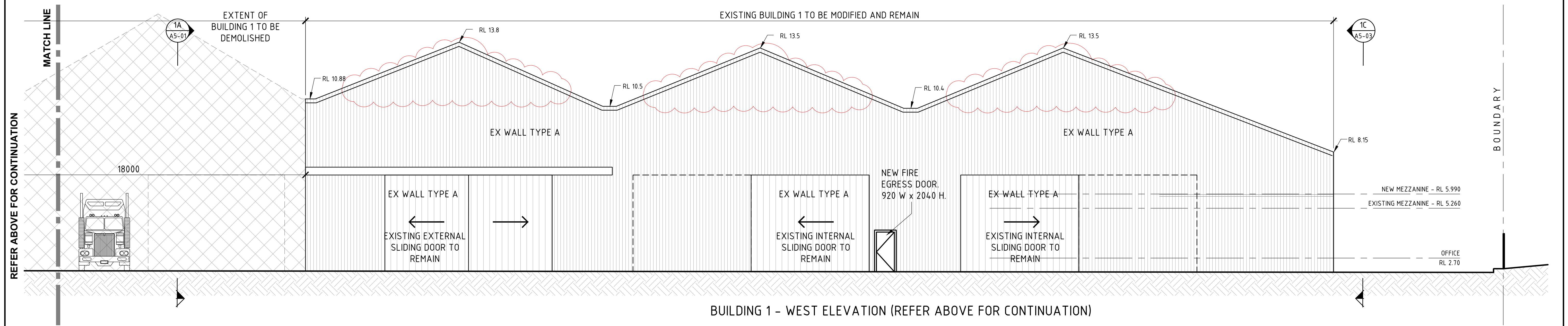
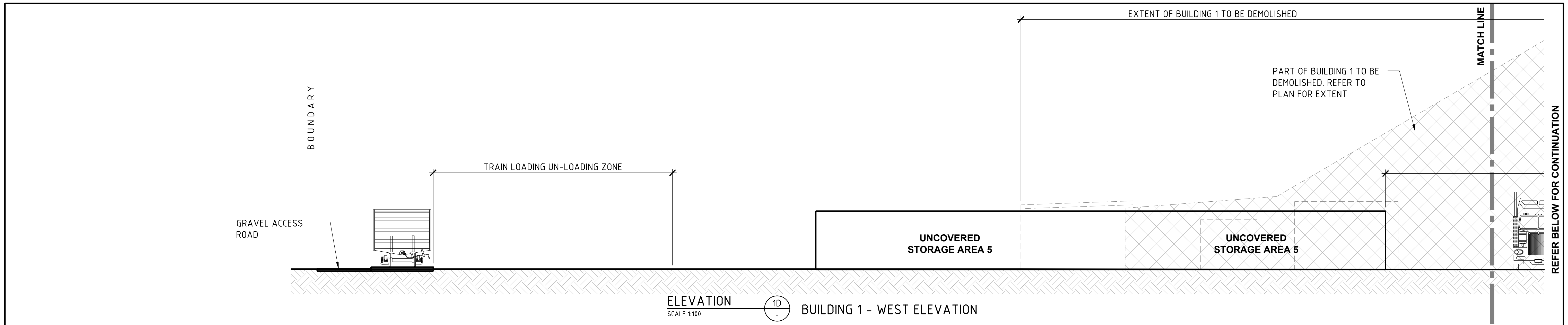
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PROJECT
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PRECINCT
52 PARKER STREET**

CLIENT
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DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 3				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-03	REVISION 1	



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
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WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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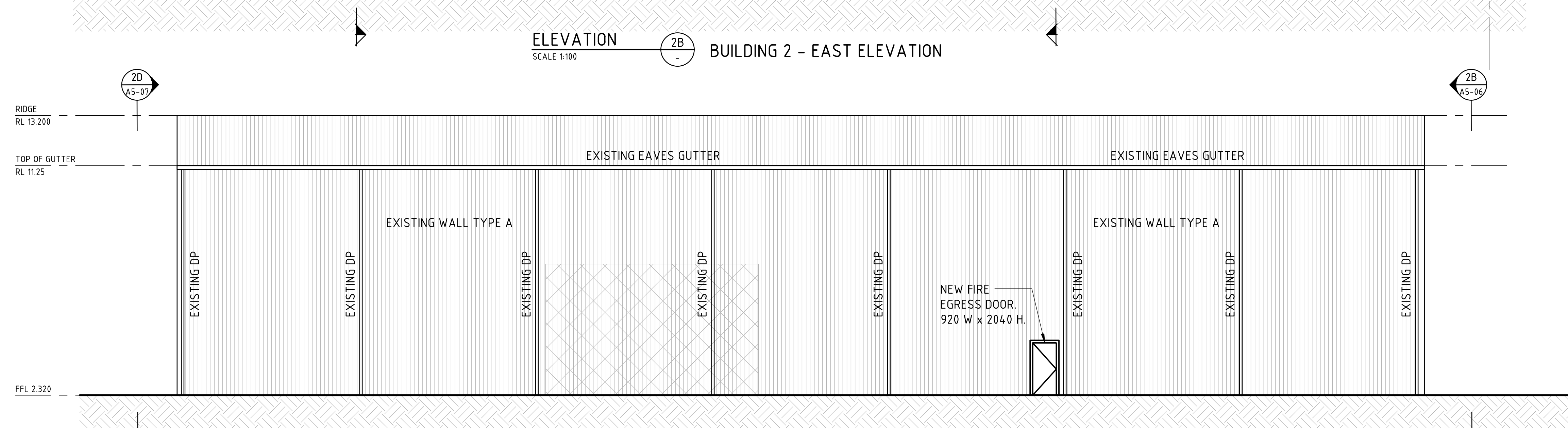
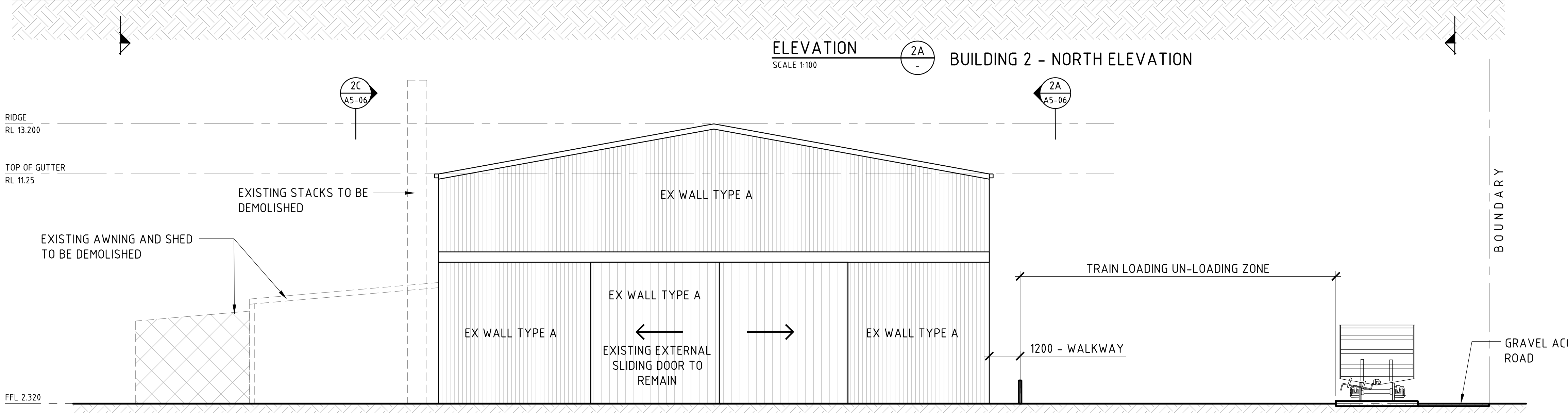
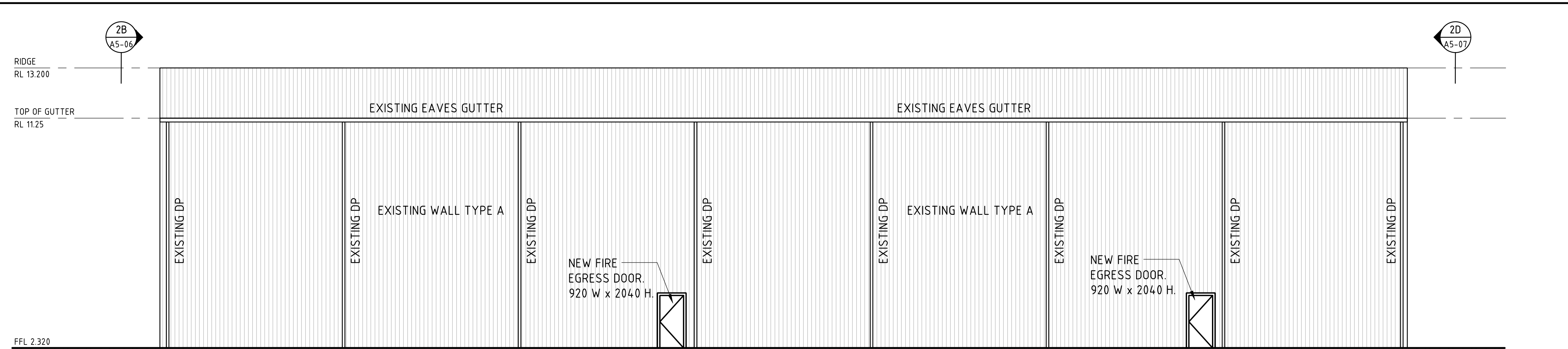
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 1 ELEVATIONS - SHEET 4				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-04	REVISION 1	



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS - 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS - 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

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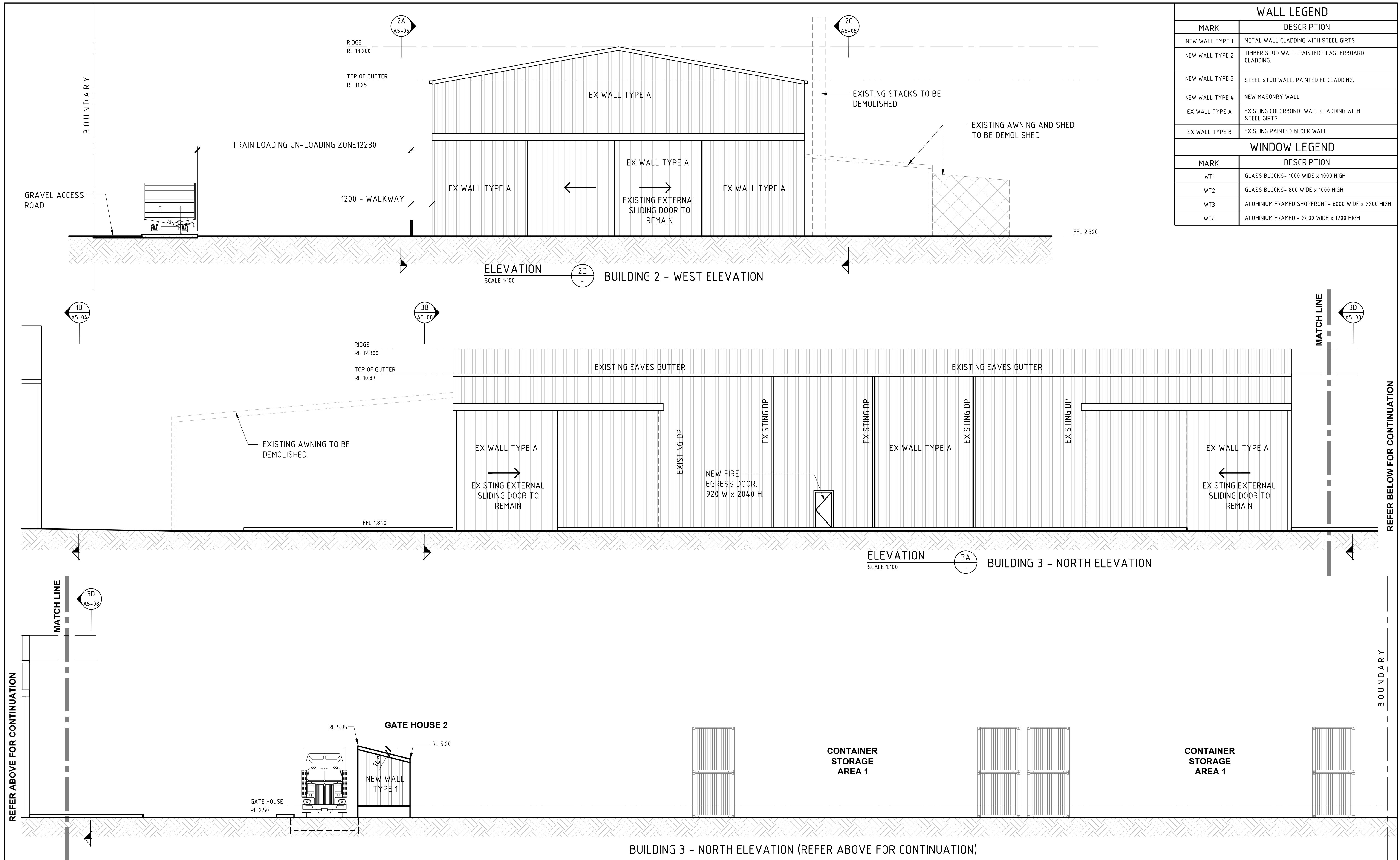
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 2 & 3 ELEVATIONS - SHEET 1				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-06	REVISION 1	



WALL LEGEND	
MARK	DESCRIPTION
NEW WALL TYPE 1	METAL WALL CLADDING WITH STEEL GIRTS
NEW WALL TYPE 2	TIMBER STUD WALL. PAINTED PLASTERBOARD CLADDING.
NEW WALL TYPE 3	STEEL STUD WALL. PAINTED FC CLADDING.
NEW WALL TYPE 4	NEW MASONRY WALL
EX WALL TYPE A	EXISTING COLORBOND WALL CLADDING WITH STEEL GIRTS
EX WALL TYPE B	EXISTING PAINTED BLOCK WALL

WINDOW LEGEND	
MARK	DESCRIPTION
WT1	GLASS BLOCKS- 1000 WIDE x 1000 HIGH
WT2	GLASS BLOCKS- 800 WIDE x 1000 HIGH
WT3	ALUMINIUM FRAMED SHOPFRONT - 6000 WIDE x 2200 HIGH
WT4	ALUMINIUM FRAMED - 2400 WIDE x 1200 HIGH

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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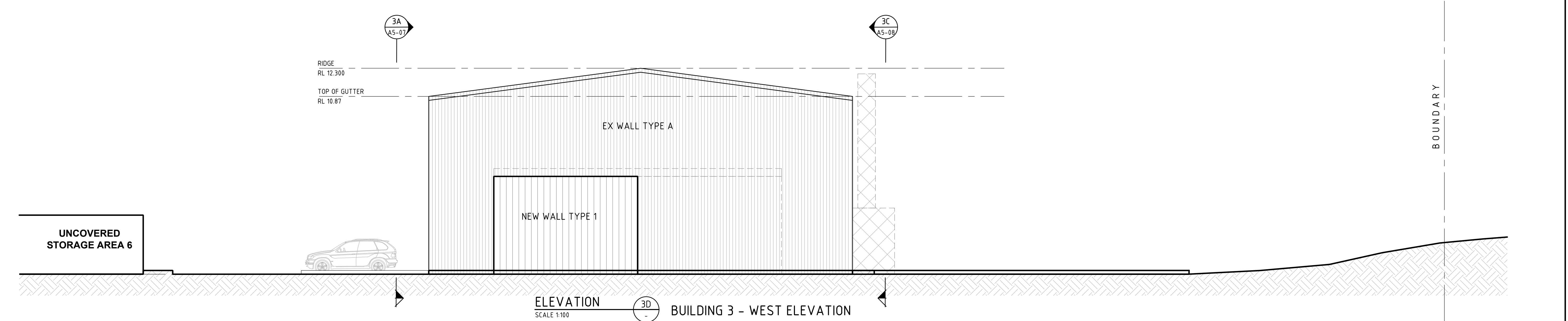
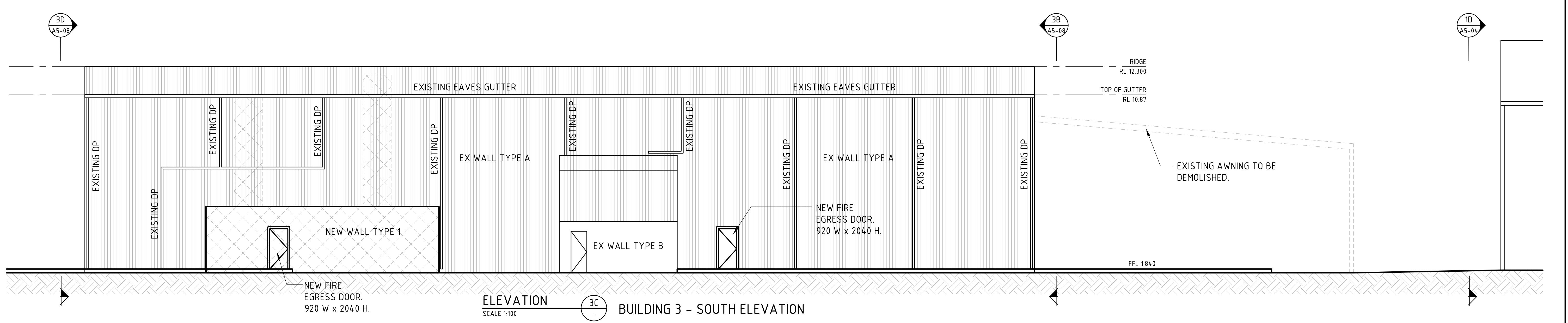
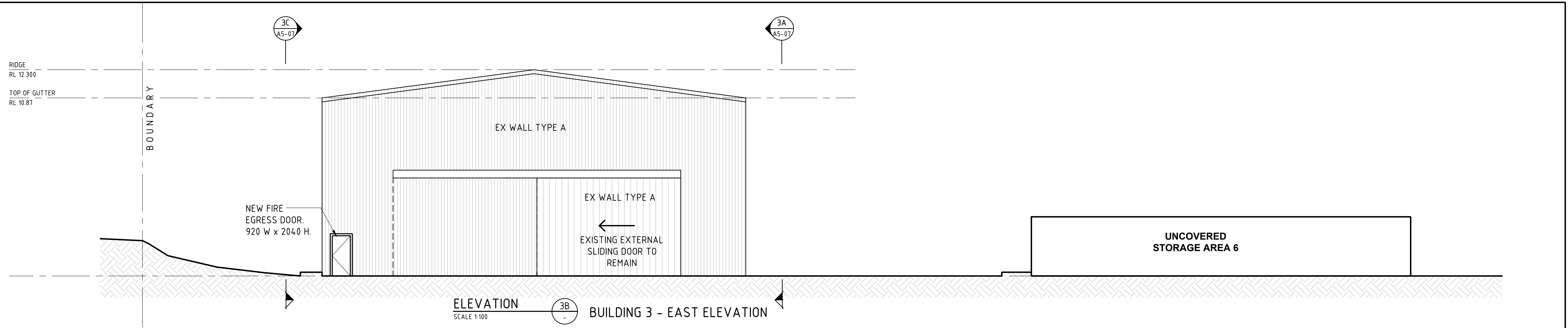
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 2 & 3 ELEVATIONS - SHEET 2				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-07	REVISION 1	



REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
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A	30/03/2017	ISSUED FOR FINAL CO-ORDINATION	B.B.				

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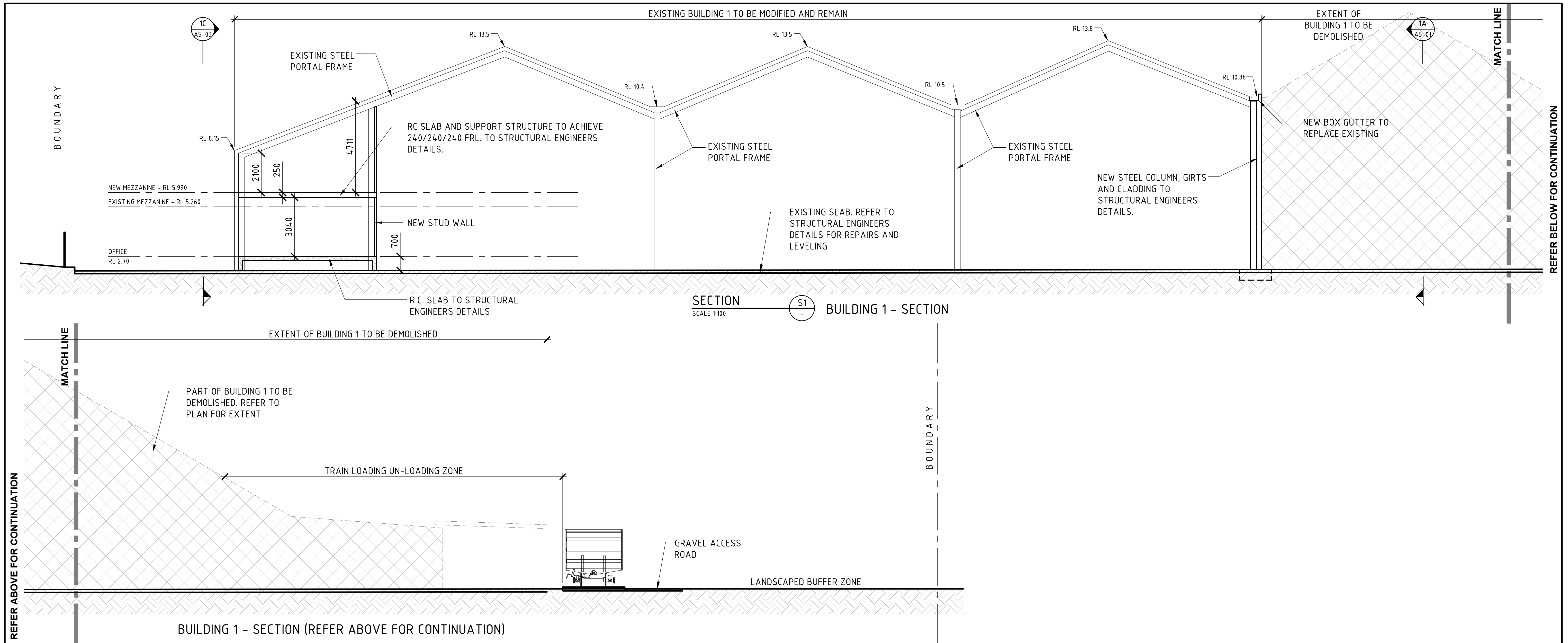
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE				
BUILDING 2 & 3 ELEVATIONS - SHEET 3				
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.	A1 801x554
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A5-08	REVISION 1	



SECTION SCALE 1:100 S1 BUILDING 1 - SECTION

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
1	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				

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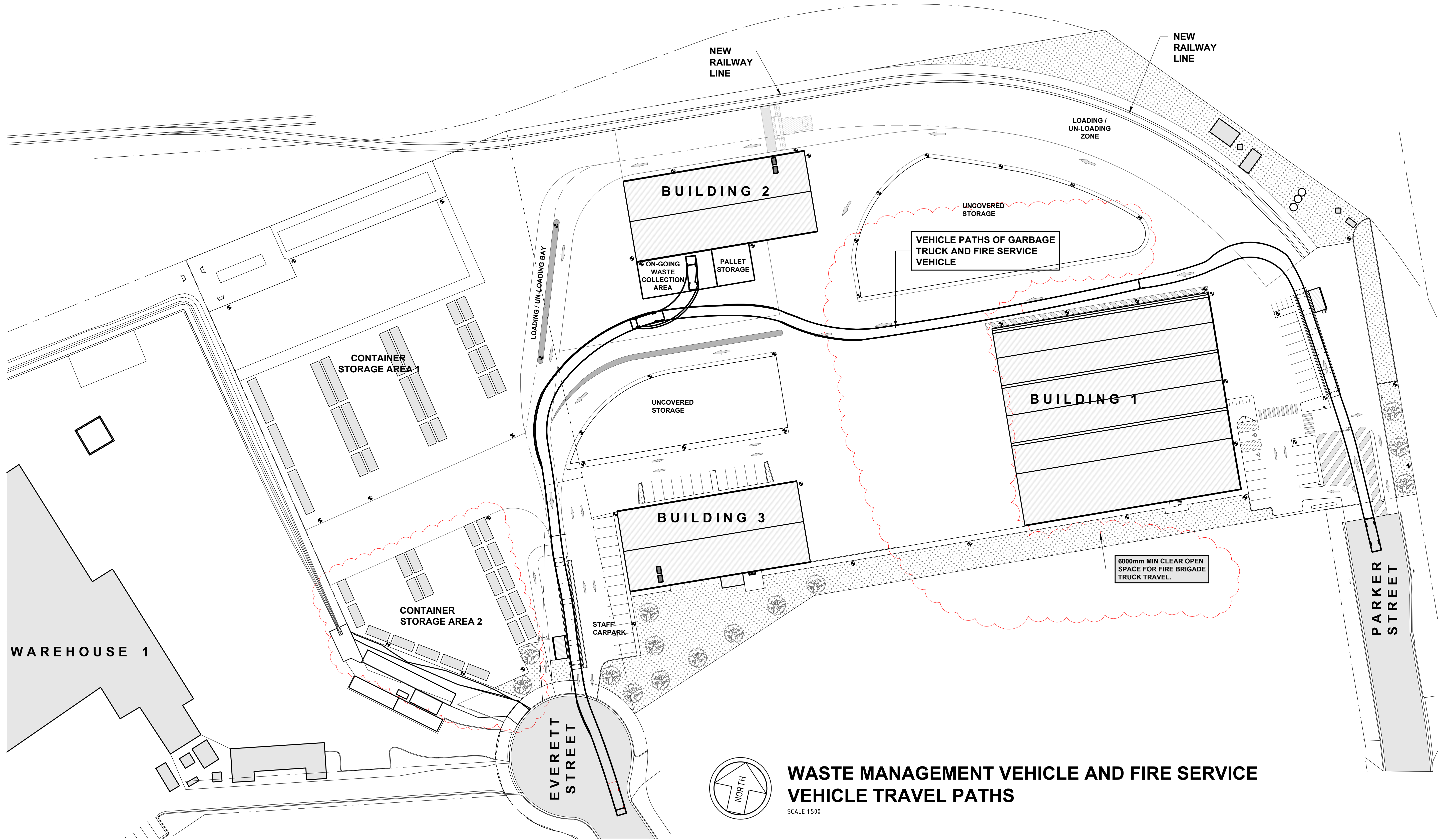
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PROJECT
**CARRINGTON INTERMODAL FREIGHT
PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE			
BUILDING 1 BUILDING SECTION			
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	SCALE 1:100 U.N.O.
DATE MARCH 2017	JOB NUMBER J5183	DRAWING NUMBER A6-01	REVISION A1 801x554
			1



WASTE MANAGEMENT VEHICLE AND FIRE SERVICE VEHICLE TRAVEL PATHS

SCALE 1:500

REV	DATE	AMENDMENT	BY	REV	DATE	AMENDMENT	BY
2	16/02/2018	RE-ISSUED FOR DA APPROVAL	W.M.				
1	23/11/2017	RE-ISSUED FOR DA APPROVAL	R.E.				
0	28/04/2016	ISSUED FOR DA APPROVAL	B.B.				
C	06/03/2017	VEHICLE TRAVEL PATH REVISED	B.B.				
B	13/02/2017	RE-ISSUED FOR PRE-DA DISCUSSION	B.B.				
A	20/12/2016	ISSUED FOR PRE-DA DISCUSSION	B.B.				

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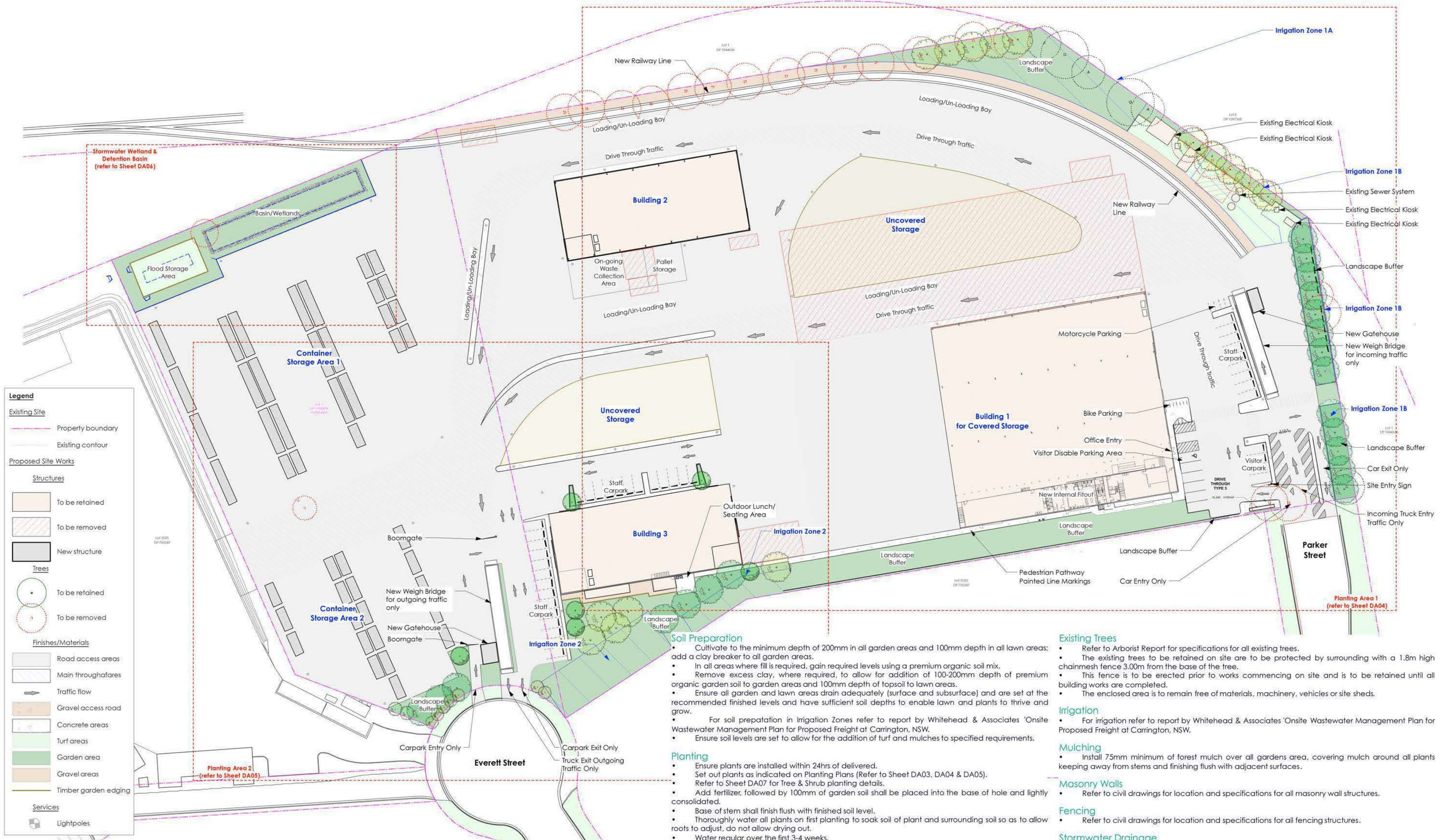
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PROJECT
**CARRINGTON INTERMODAL FREIGHT PRECINCT
52 PARKER STREET**

CLIENT
SELL AND PARKER

DRAWING TITLE		SCALE		REVISION
WASTE MANAGEMENT VEHICLE AND FIRE SERVICE VEHICLE TRAVEL PATHS		1:500	U.N.O.	A1 801x554
DESIGN P.F.	DRAWN B.B.	CHECKED P.F.	DRAWING NUMBER A7-01	REVISION 2
DATE NOVEMBER 2015	JOB NUMBER J5183			

LANDSCAPE PLAN - SITE PLAN



Legend

Existing Site

- Property boundary
- Existing contour

Proposed Site Works

Structures

- To be retained
- To be removed
- New structure

Trees

- To be retained
- To be removed

Finishes/Materials

- Road access areas
- Main thoroughfares
- Traffic flow
- Gravel access road
- Concrete areas
- Turf areas
- Garden area
- Gravel areas
- Timber garden edging

Services

- Lightpoles

LANDSCAPE PLAN - SITE PLAN
SCALE 1: 500

- Specifications**
- Initial Preparation**
- Verify all dimensions on site prior to commencement; locate all underground services (Dial Before You Dig - phone: 1100) and ensure no damage occurs.
 - Comply with the requirements of the Council site guidelines in reference to erosion and sediment control regulations.
 - Spray weeds and unwanted planted material with approved herbicide weed killer to all proposed lawn and garden areas to manufactures directions.
 - Spray all weeds before commencement of any site works are carried and throughout the contract so as to suppress any weeds that may arise.
 - Excess soils and contaminated soil are to be removed within the guidelines of the council requirements to approved sites.

- Soil Preparation**
- Cultivate to the minimum depth of 200mm in all garden areas and 100mm depth in all lawn areas; add a clay breaker to all garden areas.
 - In all areas where fill is required, gain required levels using a premium organic soil mix.
 - Remove excess clay, where required, to allow for addition of 100-200mm depth of premium organic garden soil to garden areas and 100mm depth of topsoil to lawn areas.
 - Ensure all garden and lawn areas drain adequately (surface and subsurface) and are set at the recommended finished levels and have sufficient soil depths to enable lawn and plants to thrive and grow.
 - For soil preparation in Irrigation Zones refer to report by Whitehead & Associates 'Onsite Wastewater Management Plan for Proposed Freight at Carrington, NSW'.
 - Ensure soil levels are set to allow for the addition of turf and mulches to specified requirements.
- Planting**
- Ensure plants are installed within 24hrs of delivered.
 - Set out plants as indicated on Planting Plans (Refer to Sheet DA03, DA04 & DA05).
 - Refer to Sheet DA07 for tree & Shrub planting details.
 - Add fertilizer, followed by 100mm of garden soil shall be placed into the base of hole and lightly consolidated.
 - Base of stem shall finish flush with finished soil level.
 - Thoroughly water all plants on first planting to soak soil of plant and surrounding soil so as to allow roots to adjust, do not allow drying out.
 - Water regular over the first 3-4 weeks.
- Turf Areas**
- Turf areas to have suitable Kikuyu 'Kenda' instant turf laid over prepared soils.
- Gravel Areas**
- Use crushed rhyolite, 100mm thick, over a compacted road base. Contain areas between gardens & gravel with timber edging.
- Timber Edging**
- Min. 50mm x 100mm H4 treated pine timber edge to be located between all garden/turf areas and gravel/garden areas. Secure to 50mm x 50mm x 450mm hardwood timber pegs with galvanised nails, 2 per fixing.

- Existing Trees**
- Refer to Arborist Report for specifications for all existing trees.
 - The existing trees to be retained on site are to be protected by surrounding with a 1.8m high chainmesh fence 3.00m from the base of the tree.
 - This fence is to be erected prior to works commencing on site and is to be retained until all building works are completed.
 - The enclosed area is to remain free of materials, machinery, vehicles or site sheds.
- Irrigation**
- For irrigation refer to report by Whitehead & Associates 'Onsite Wastewater Management Plan for Proposed Freight at Carrington, NSW'.
- Mulching**
- Install 75mm minimum of forest mulch over all gardens area, covering mulch around all plants keeping away from stems and finishing flush with adjacent surfaces.
- Masonry Walls**
- Refer to civil drawings for location and specifications for all masonry wall structures.
- Fencing**
- Refer to civil drawings for location and specifications for all fencing structures.
- Stormwater Drainage**
- Refer to civil drawings for location and specifications for all stormwater specifications.
 - Plants to be located to accommodate any garden drainage swales.
- Maintenance**
- It is recommended that a 26-week maintenance period be undertaken to ensure the success of planting and landscape elements. During this maintenance period, these works shall include but not limited to watering, weeding, fertilizing, pest and disease control, re-turfing, staking and tying, replanting, cultivation, pruning, aerating, renovation, top dressing and the like.