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**DAC 20/10/2020 – DA2020/00443 – 9 BEACH STREET NEWCASTLE
EAST – DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

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**DAC 20/10/2020 – DA2020/00443 – 9 BEACH STREET NEWCASTLE
EAST – DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-37 **Attachment A:** Submitted Plans

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01. location plan n.t.s



PROJECT REFERENCE NO. 83
9 BEACH STREET, NEWCASTLE, N.S.W.
 RESIDENTIAL DWELLING & ASSOC. LANDSCAPING
 FOR PENNY & OLIVER & MARY & TOM

drawings & documents

- 83dwg01 - site plan
- 83dwg02 - existing plans
- 83dwg03 - existing sections and elevations
- 83dwg04 - existing form perspectives
- 83dwg05 - proposed plan
- 83dwg06 - proposed sections and elevations
- 83dwg07 - proposed form perspectives
- 83dwg08 - proposed form perspectives
-
- 83ser01 - services
-
- 83cal01 - council and construction calculations
-
- 83img01 - finishes
-
- 83sd01 - shadow diagrams
-
- 83np01 - notification plan
- 83np02 - notification elevations
-
- basic statement of environmental effects
- waste management plan

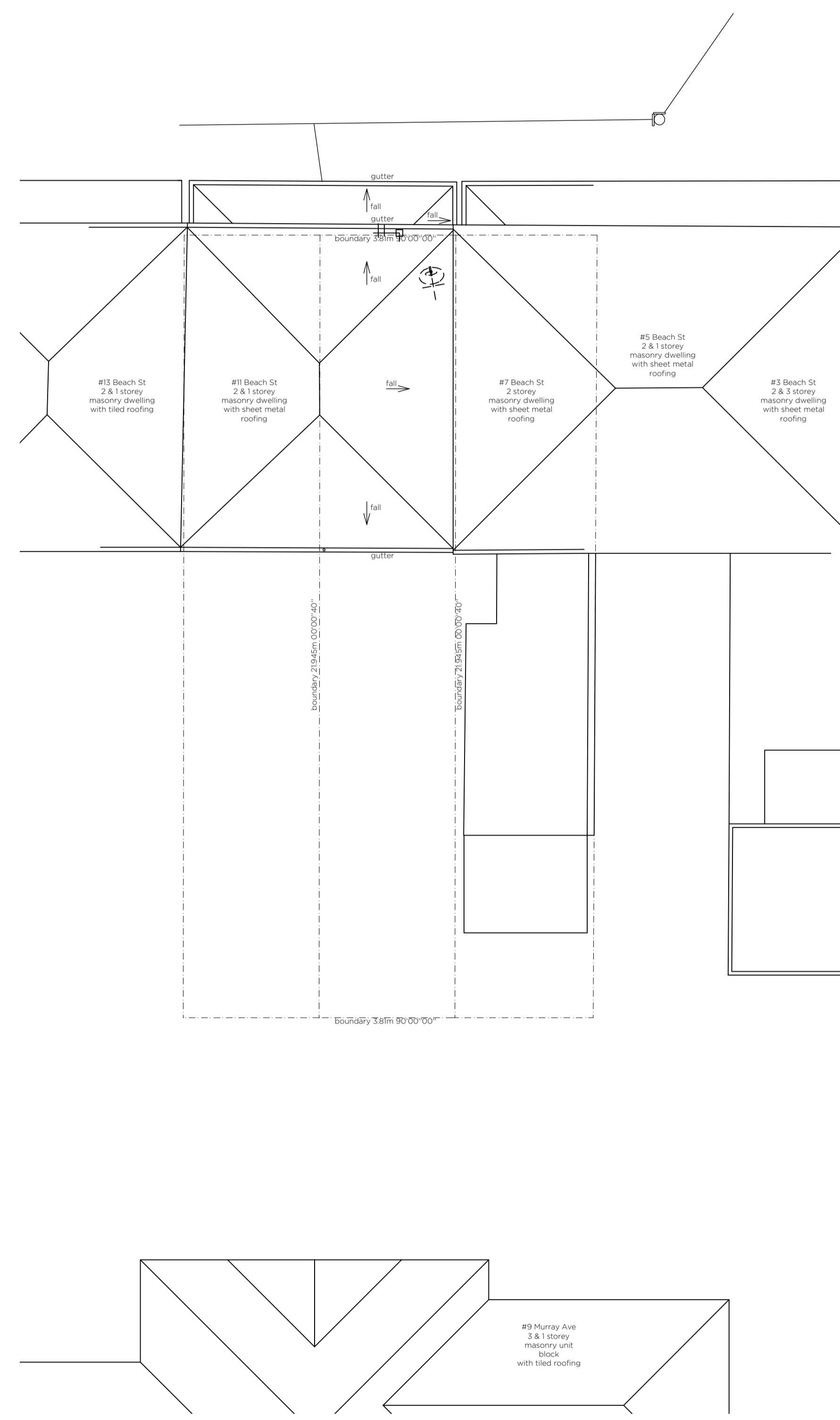
local council/shire
 newcastle city council

local services
 sewer & water - hunter water
 electrical - ausgrid
 gas & petroleum - jemena
 communications - telstra

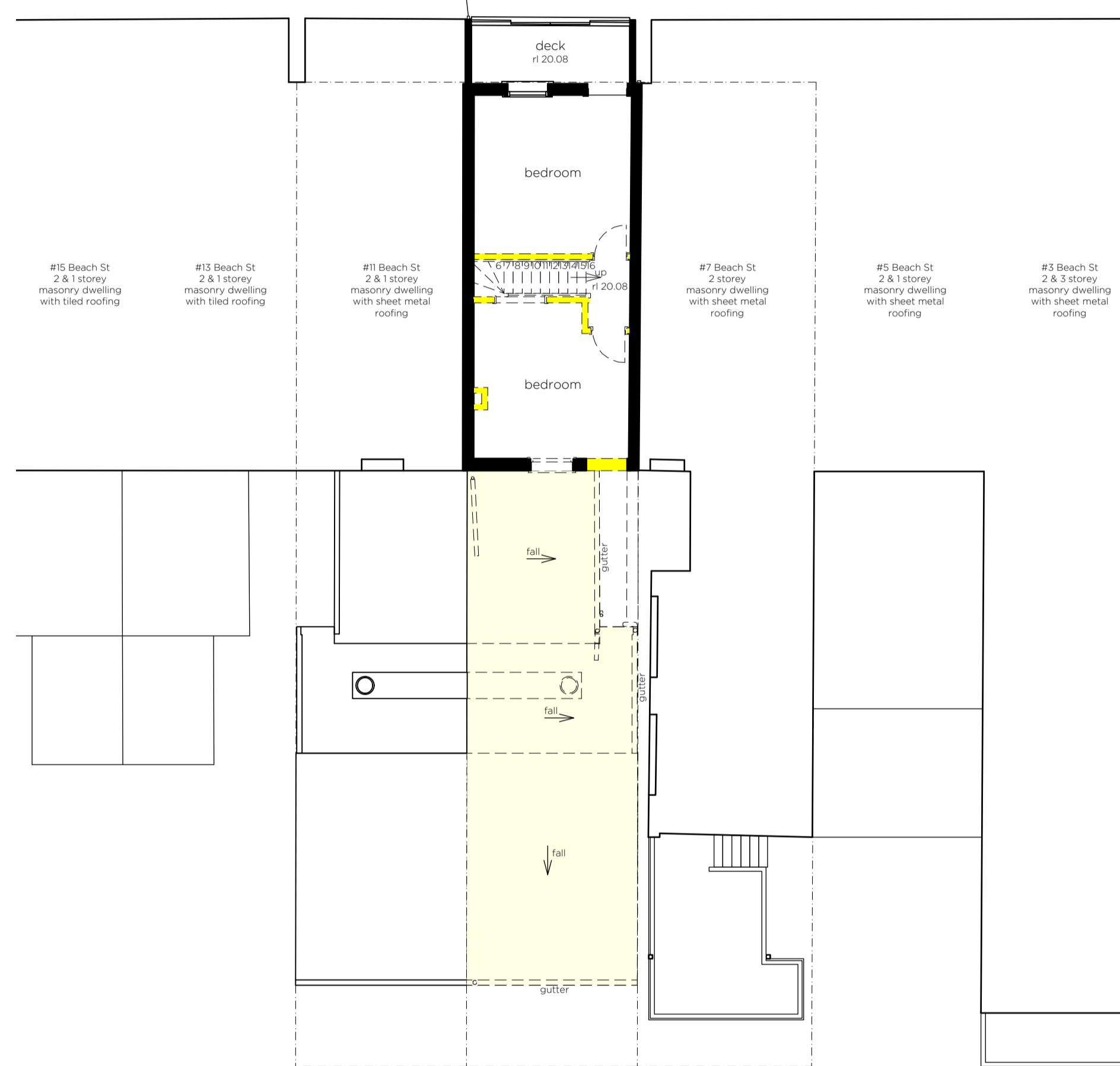
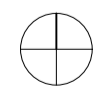
consultants
 surveyor - land development solutions
 heritage - amenity urban and natural environments

j.p.hellowell

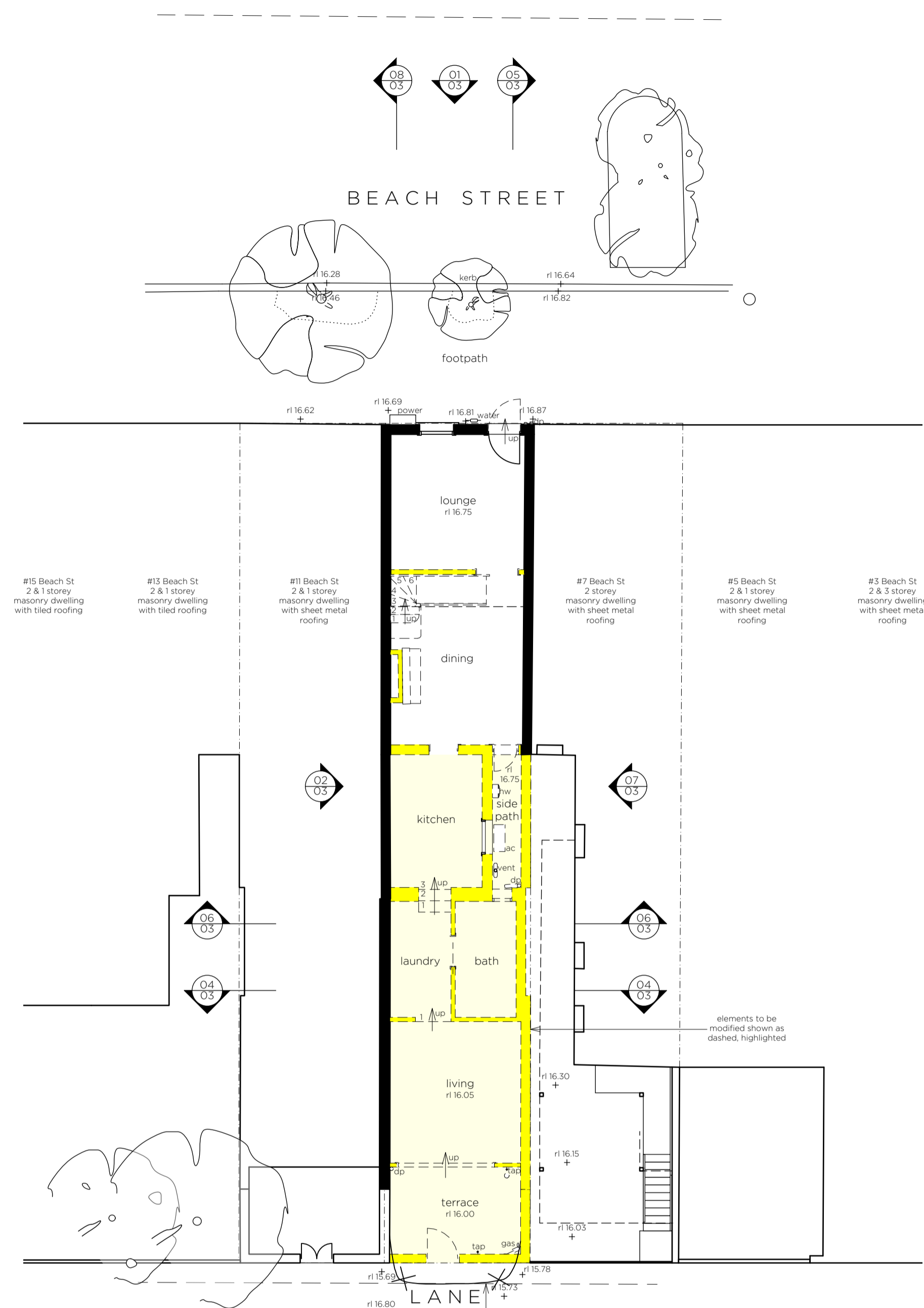
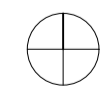
jon@jphellowell.com
 jphellowell.com
 0431 050 215



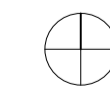
01. existing roof plan 1:100



02. existing upper floor plan 1:100



03. existing ground plan 1:100

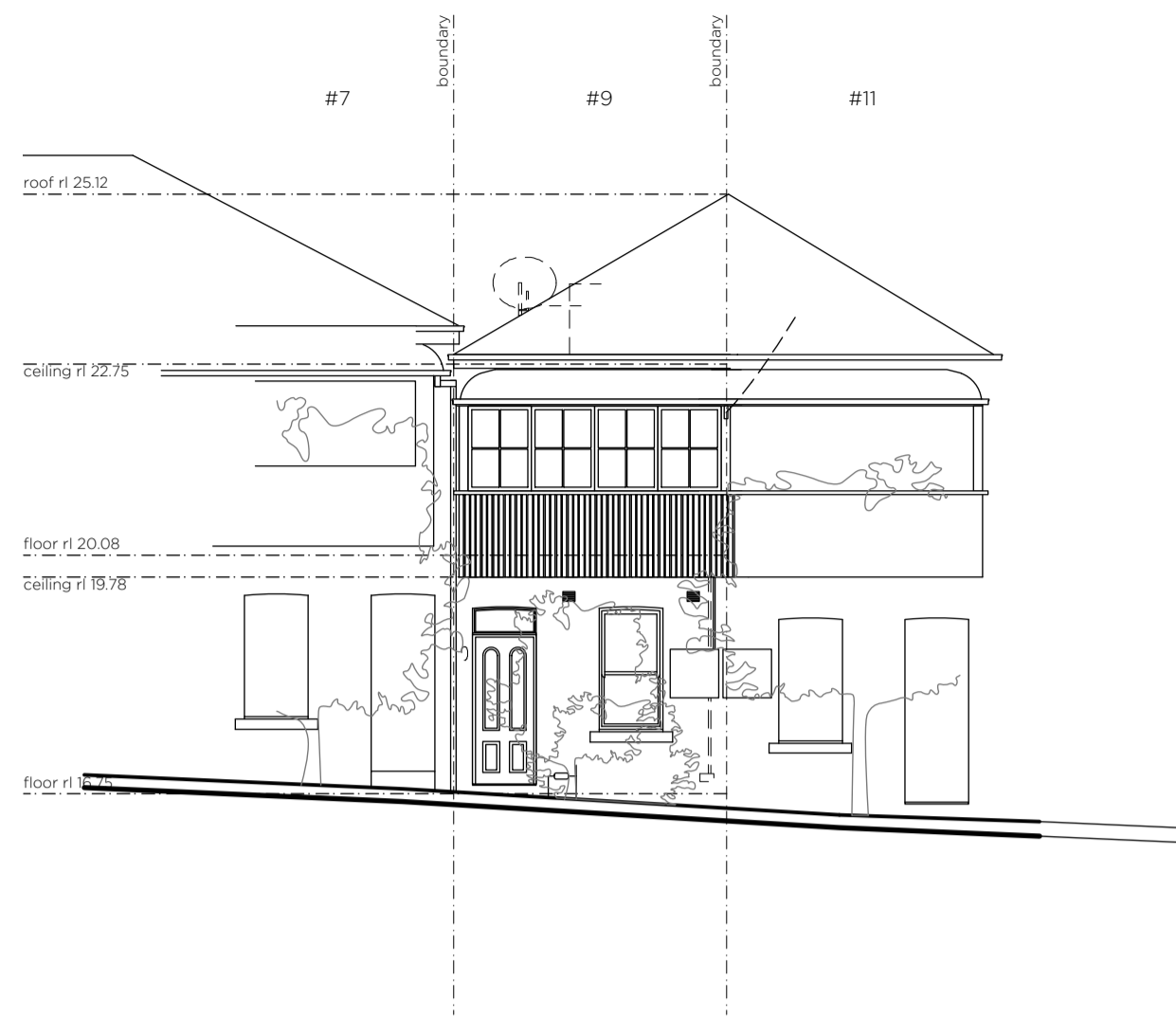


demolition notes
 (refer 1:100 drawings existing plans)
 Preliminary investigation
 1. Run preliminary investigation of the site to:
 - identify principal structural materials.
 - identify and locate service supply mains such as water, electricity, gas and the extent of the relocation of these services.
 - identify the extent and location of other services such as sewerage and drainage.
 - identify and locate underground services and their entry points to and from the site.
 - Builder to utilize dial before dig service - DIAL 1100.
 - Remove existing trimmings, light fittings, power switch and gpo faces generally within scope of works.
 - Builder to retain and make good existing connection to the stormwater and sewerage system.
 - Builder to terminate services relevant to proposed works.
 - Elements to be removed as required for proposed works indicated by dotted lines generally.
 - The public will be excluded from the site by maintaining locked house-hold doors whilst internal demolition occurs.
 - Construction is carried out within 7:00am to 6:00pm Monday to Friday and 8:00am to 10:00pm Saturday. No work is to be carried out on Sunday or on Public holidays.
 - Builder to engage a qualified surveyor to setout the proposed works and to also survey the completed works at the end of the project as per the requirements of the construction and occupation certificates. The cost is to be included in the builder's pricing.
 - Builder to submit a demolition plan as required for obtaining the construction certificate.
 - Should any relics Aboriginal or otherwise be discovered then all excavations or disturbance to the area shall cease immediately and the NSW office of environment and heritage shall be informed in accordance with section 93A of the national parks and wildlife act 1974.
 Street Environment
 - The planning of the proposed work is to limit interference with the street. Storage and working areas are to be on site for the duration of the project.
 Rubbish Removal
 - The process which is most likely to lead to littering of adjacent spaces is the removal of rubbish. This will be avoided by the following:
 1. Storage of rubbish as far from the neighbouring boundaries as possible.
 2. Removal of rubbish in skip bins. The proposed rubbish removal company would be experienced in this work and will ensure that all loads are covered.
 3. Regular house keeping of the skip area. This will remove any material which may have tracked away from the site.
 4. When finishing trades are active on the site any loose material or litter will be retained within the assigned storage area and removed by skip bin.
 Waste Management
 - During the construction phase of the project, the builder is required to minimize the waste produced by promoting the EPA Waste Management hierarchy which include avoiding waste production where possible which will be promoted by early planning, in general and for all activities, particularly assist:
 1. Ordering the correct quantity of materials.
 2. Safe storage and protection of new materials.
 3. Good access, improving the efficiency of the waste processing cycle.
 4. The possibility of using prefabricated items.
 5. Specification and use of high quality materials and materials that all loads are covered.
 6. The return of reusable packaging.
 7. Identification of major waste producing activities and possible recycling streams.
 8. Segregation that all subcontractors become involved in the process.
 - Where waste is produced on site it will be removed by truck and skip bins from the street side kerb, pick up access along Beach Street.
 - Materials from the demolished walls will where possible be resold for use (sponery), or reused (internal doors, timber materials to be cut and used as fire wood) or given to a second hand dealer.
 Construction Management Plan
 - The dwelling and rear yard will be utilized for site storage until completion. This allows materials to be contained on site, minimizing the risk of material washing or blowing into adjoining properties.
 Tree Protection
 - Trees required to be protected must be undertaken in accordance with the Australian Standard 4370 Protection of Trees on Development Sites. All trees noted for retention, including street trees must be protected during the construction works as follows:
 1. Tree trunk and major limb protection must be undertaken prior to or during the installation of any hoarding or scaffolding. The protection must be installed by a qualified Arborist and must include:
 - an adequate clearance, minimum 250mm, must be provided between the structure and tree branches, limbs and trunk at all times.
 - tree trunks and other major branches, located within 500mm of any hoarding or scaffolding structure, must be protected by wrapped hessian or similar material to limit damage, and
 - timber planks (50mm x 75mm or similar) must be placed around tree trunks. The timber planks must be spaced at 200mm intervals, and must be fixed against the trunk with tie wire, or strapping. The hessian and timber planks must not be fixed to the tree in any instance, or in any fashion.
 - tree trunk and major branch protection is to remain in place for the duration of construction and development works, and must be removed at the completion of the project.
 2. All hoarding support columns are to be place a minimum of 300mm from the edge of the existing tree sets. Supporting columns must not be placed on any tree roots that are exposed.
 3. Materials or goods, including site sheds, must not be stored or placed:
 - around or under tree canopy, or
 - within two meters of tree trunks or branches of any street trees.
 4. Any damage sustained to street trees as a result of the erection of hoardings, scaffolding, or due to the loading/unloading of vehicles adjacent the site, must be immediately reported to the Council's Coordinator on 02 49742000, in order to determine the appropriate action for maintaining the health and structural integrity of any damaged street tree.

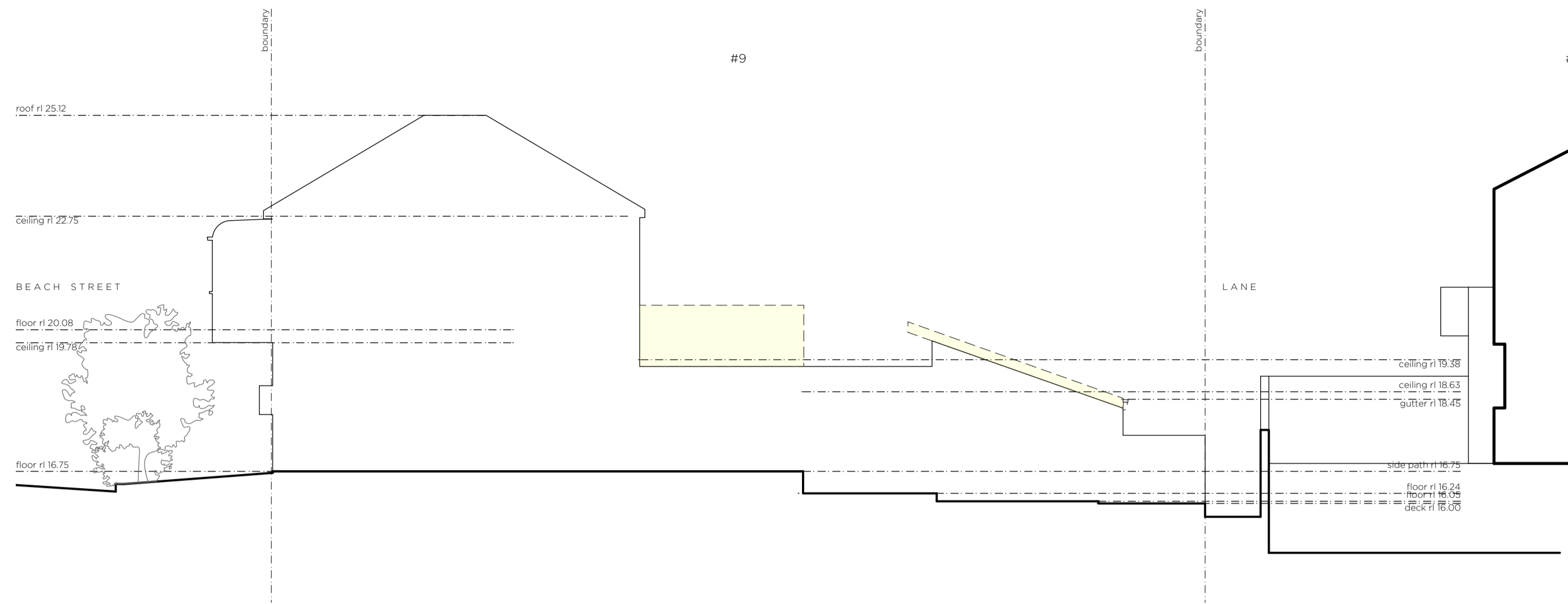
general notes
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 Issue DA date 29-04-20
 project no. 83
 location LOT 1, DP 104145 9 BEACH ST, NEWCASTLE, NSW, 2300
 client PENNY & OLIVER COAKES
 project ALTERATIONS AND ADDITIONS
 scale 1:100 @ A1
 sheet title 83dwg02 - EXISTING PLANS
 sheet no. 2 of 8
 date APRIL 2020

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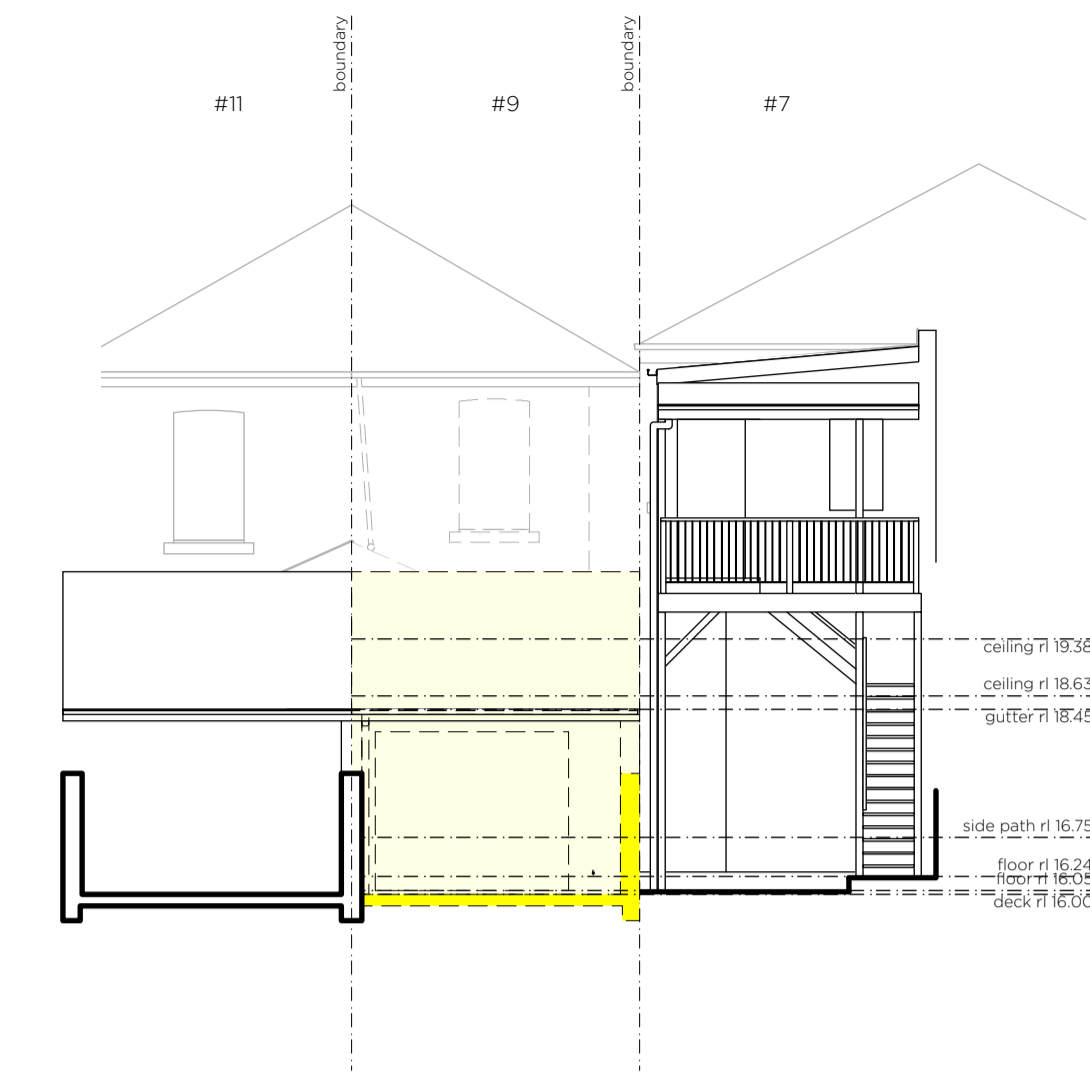
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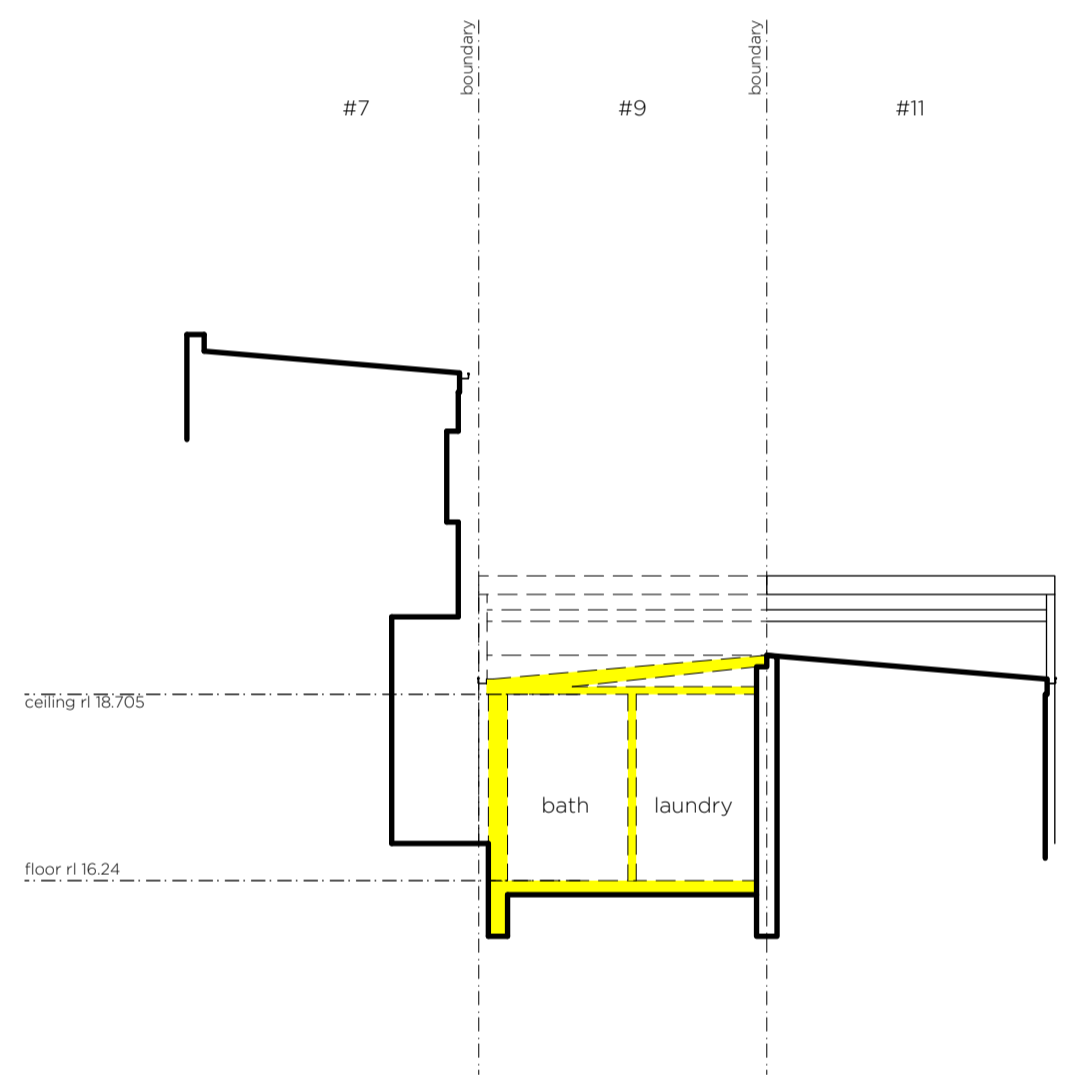
01. existing northern elevation 1:100



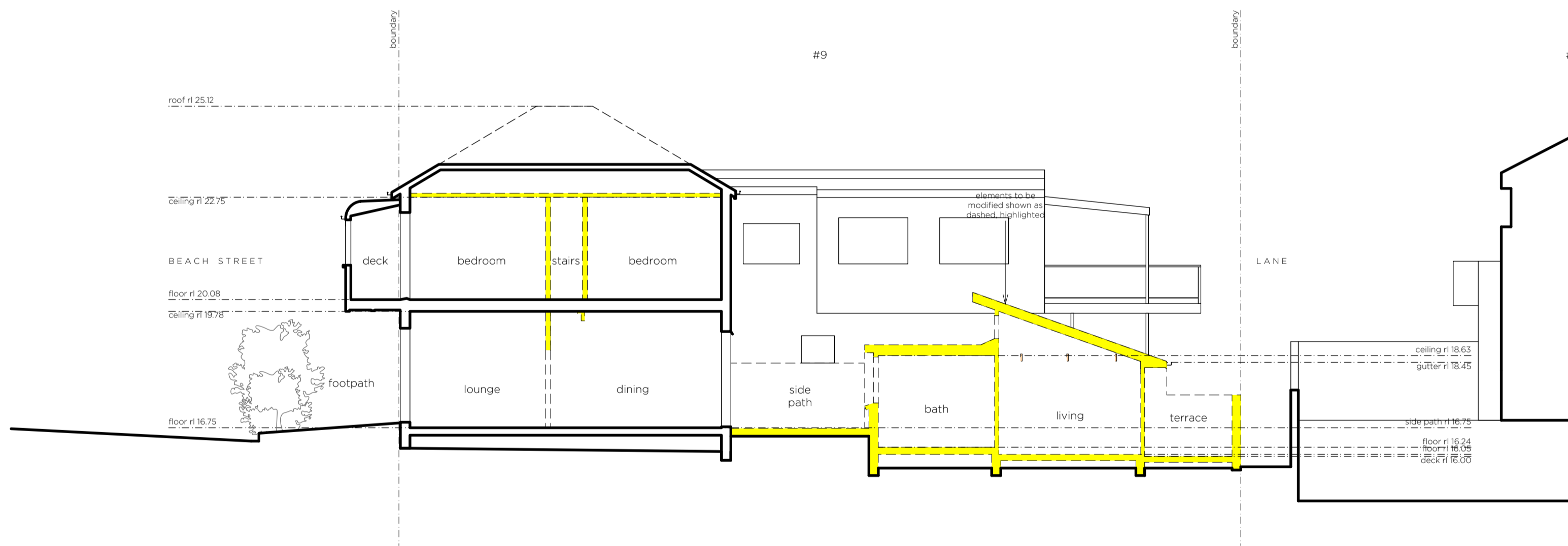
02. existing western elevation 1:100



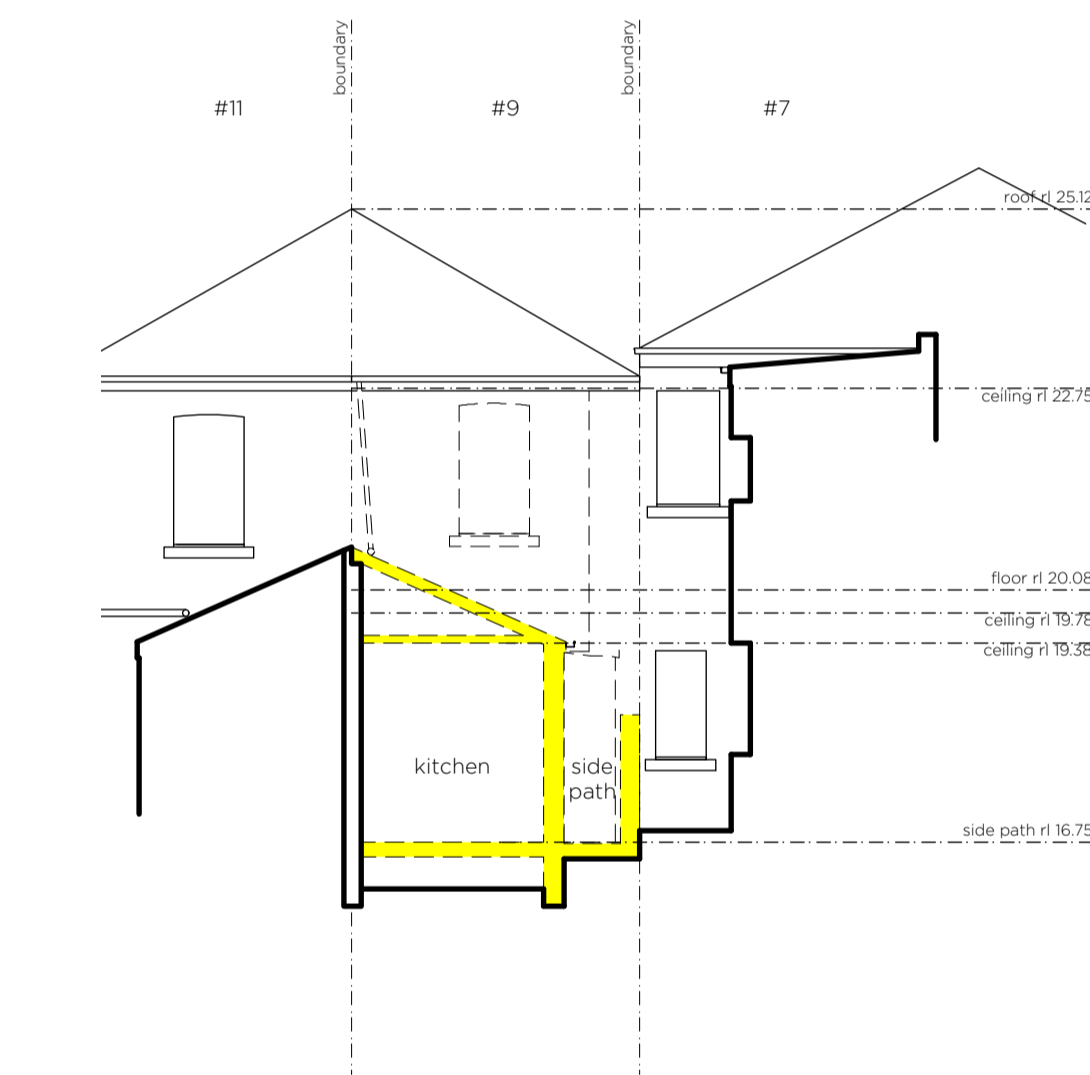
03. existing southern elevation 1:100



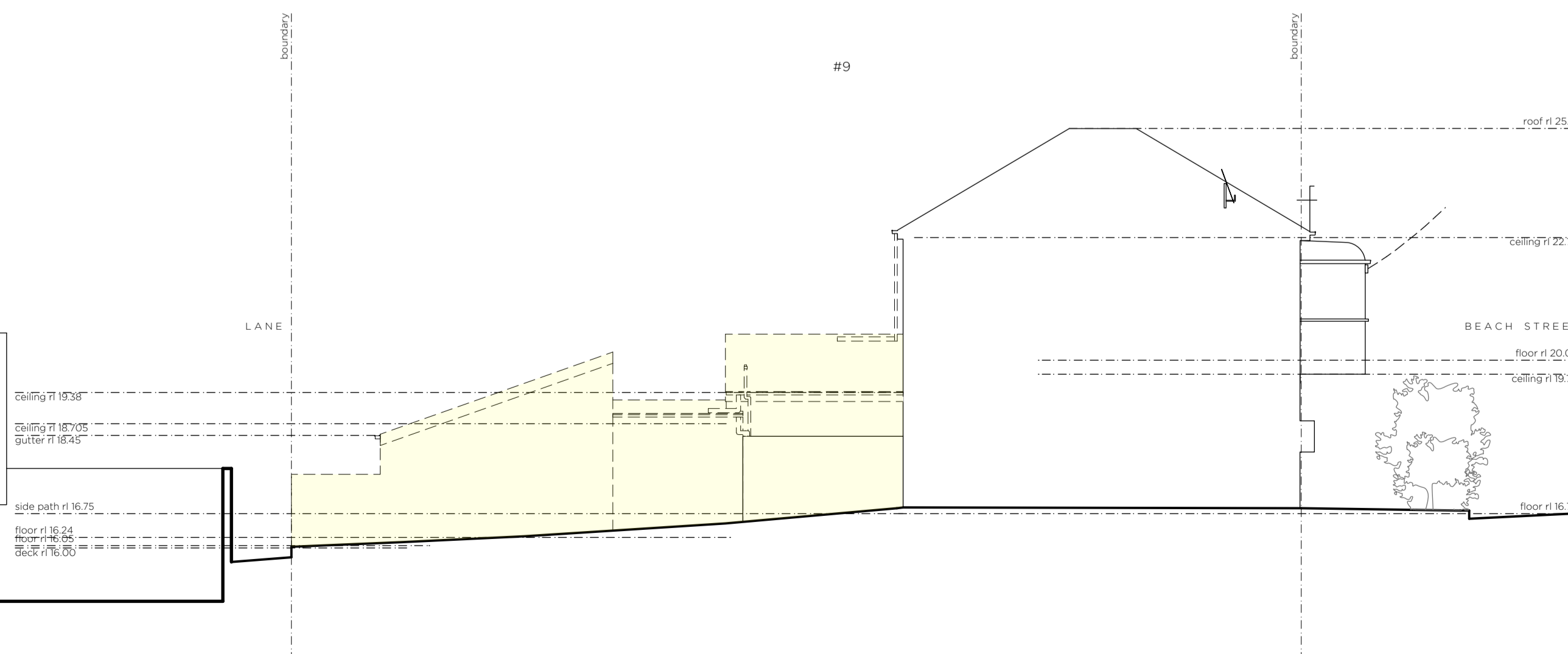
04. existing section A 1:100



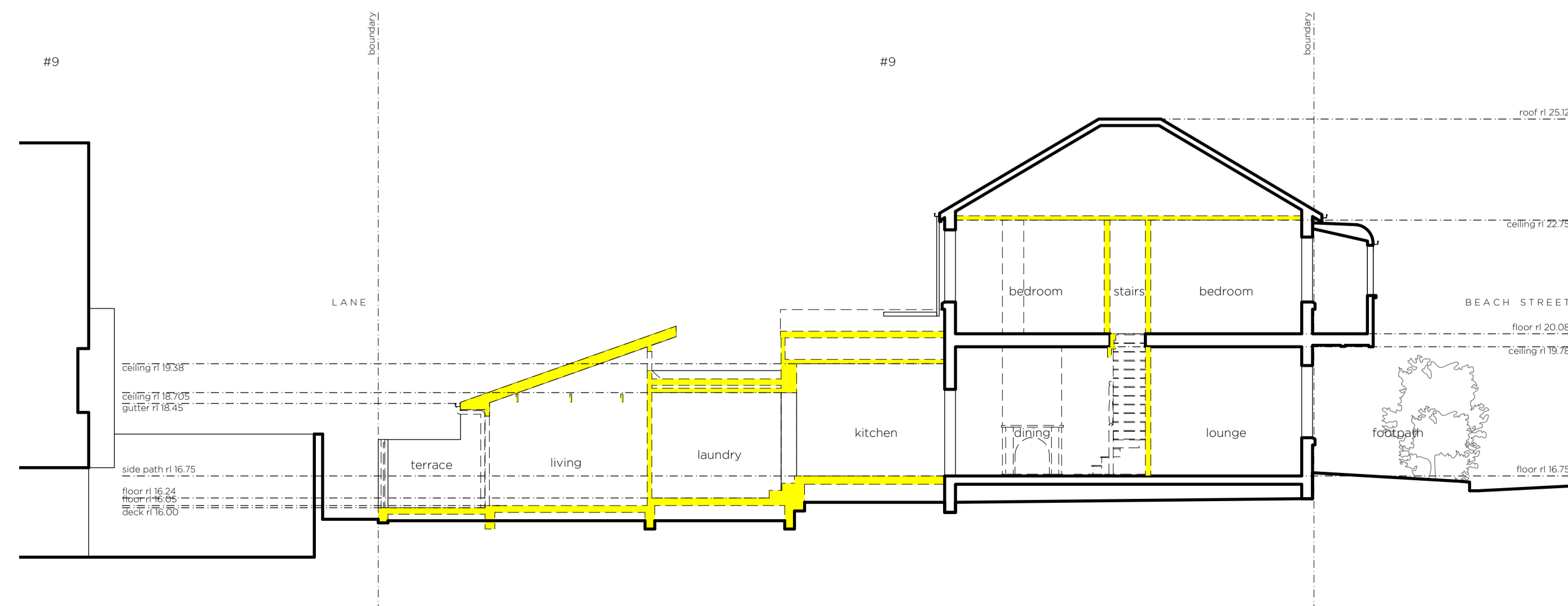
05. existing section B 1:100



06. existing section C 1:100



07. existing eastern elevation 1:100



08. existing section D 1:100

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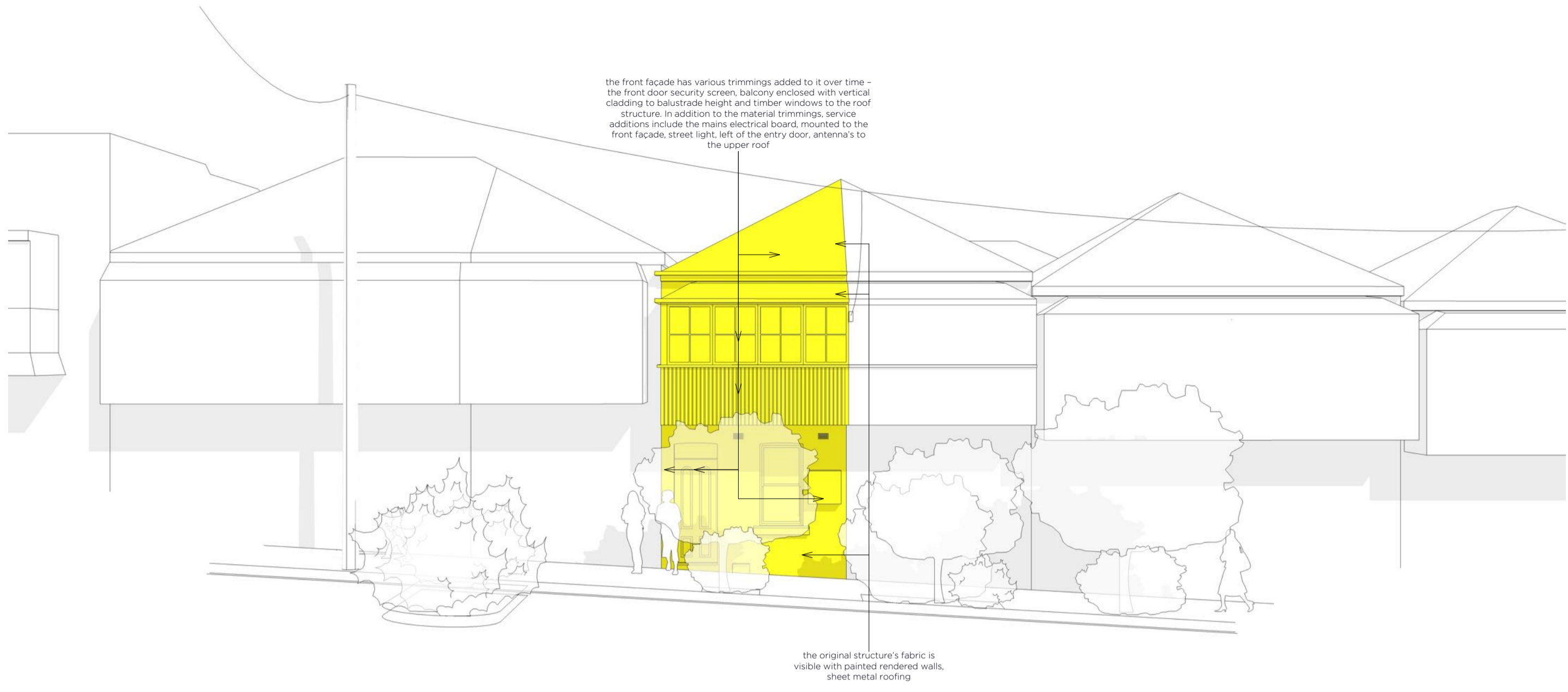
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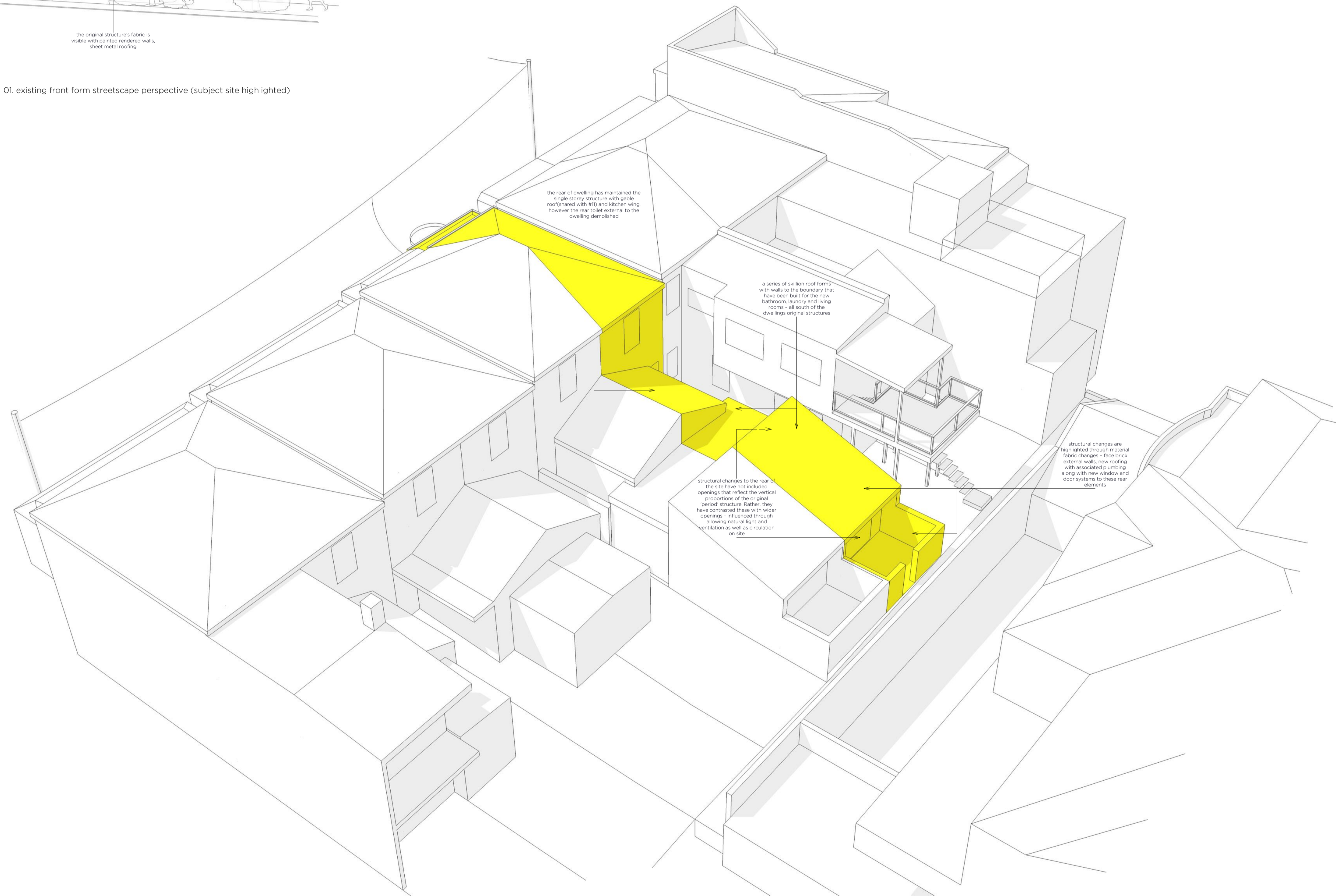
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general notes
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 Issue DA date 29-04-20
 project no. 83
 location LOT 1, DP 104145 9 BEACH ST, NEWCASTLE, NSW, 2300
 client PENNY & OLIVER COAKES
 project ALTERATIONS AND ADDITIONS
 scale 1:100 @ A1
 sheet title 85dwg03 - EXISTING SECTIONS & ELEVATIONS
 sheet no 3 of 8
 date APRIL 2020



01. existing front form streetscape perspective (subject site highlighted)



02. existing rear upper form perspective (subject site highlighted)

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issue	date
DA	29-04-20

project no.
83

location
LOT 1, DP 104145 9 BEACH ST, NEWCASTLE, NSW, 2300

client
PENNY & OLIVER COAKES

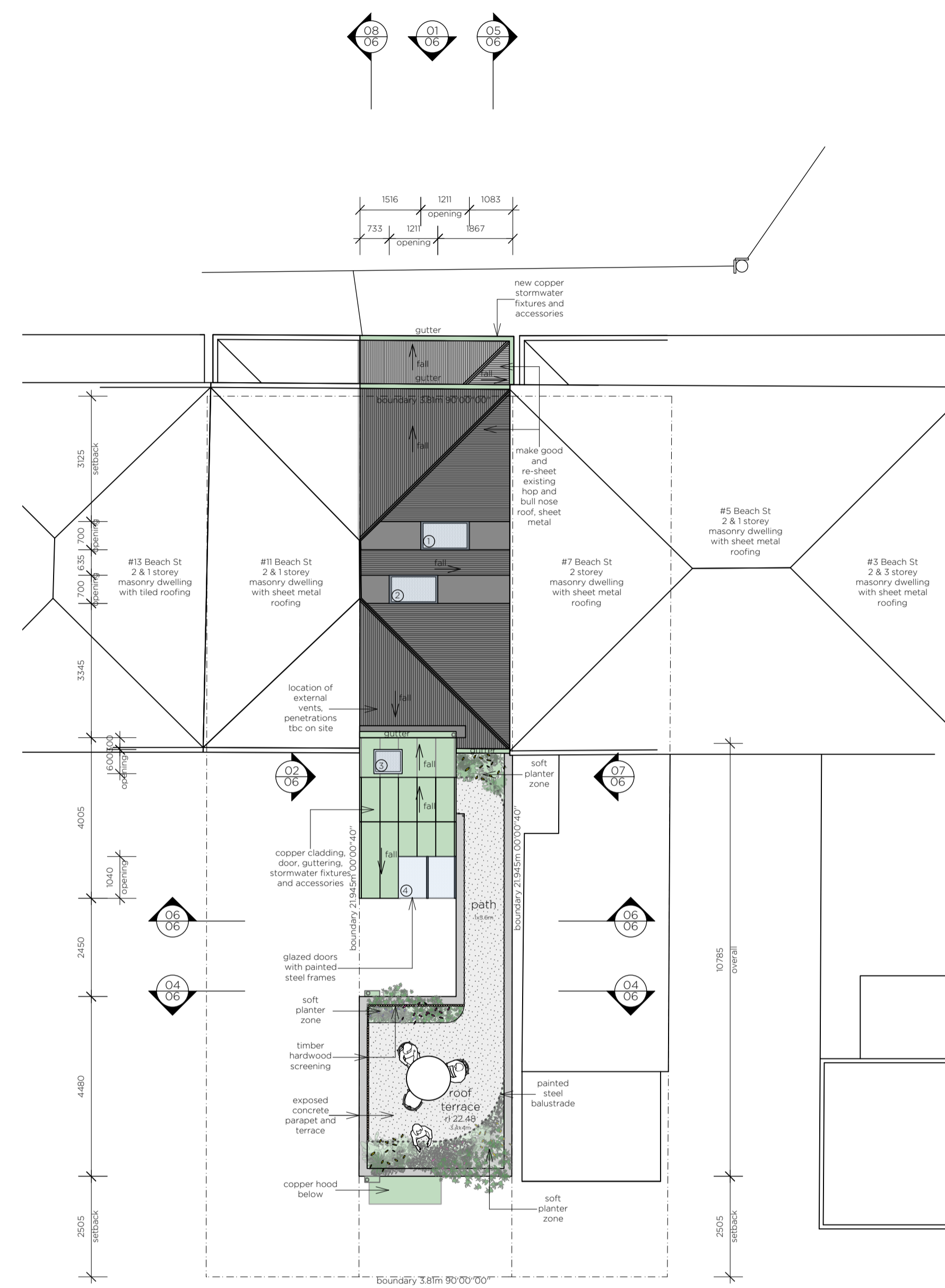
project
ALTERATIONS AND ADDITIONS

scale
n/a @ A1

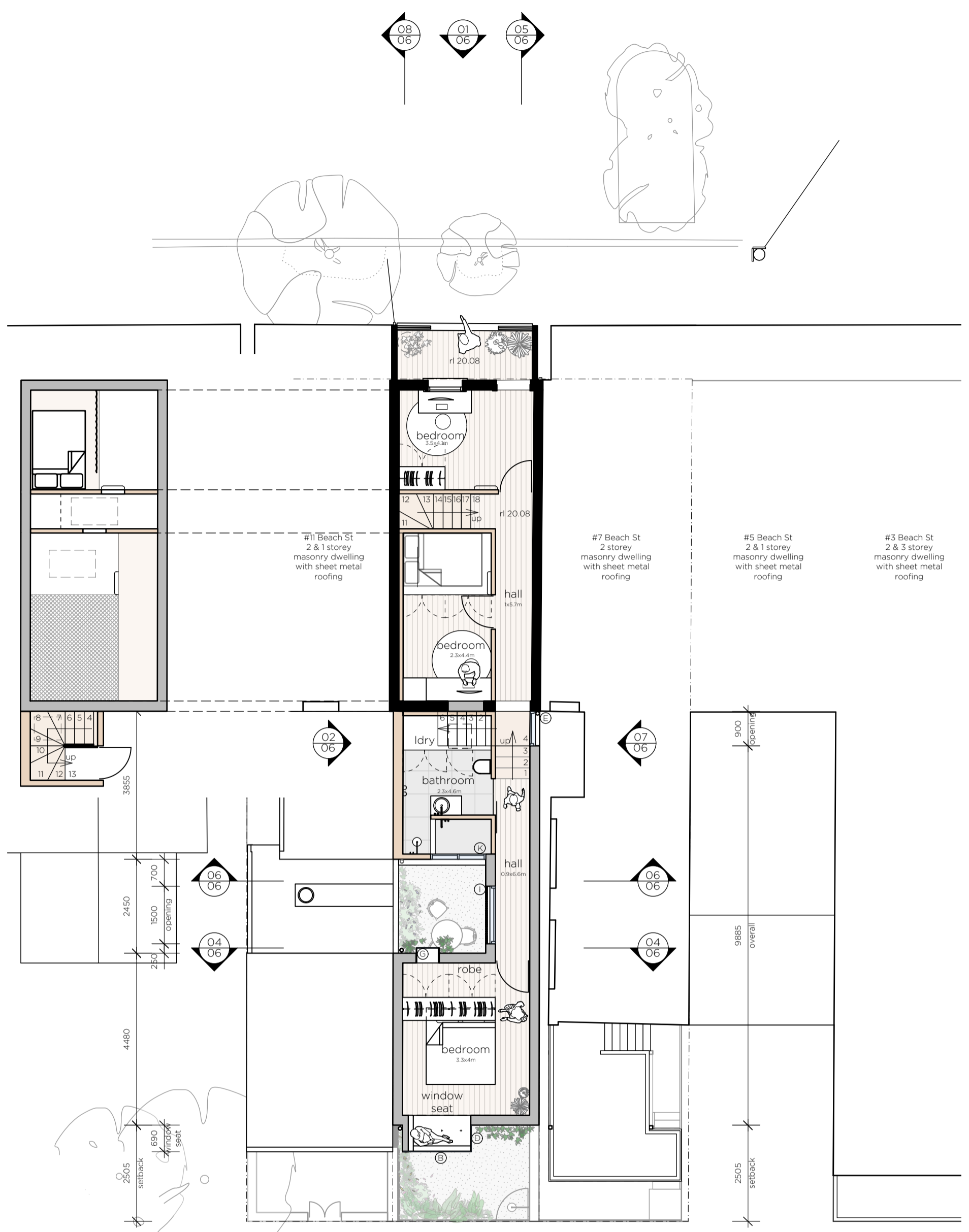
sheet title
83dwg04 - FORM PERSPECTIVES

sheet no.
4 of 8

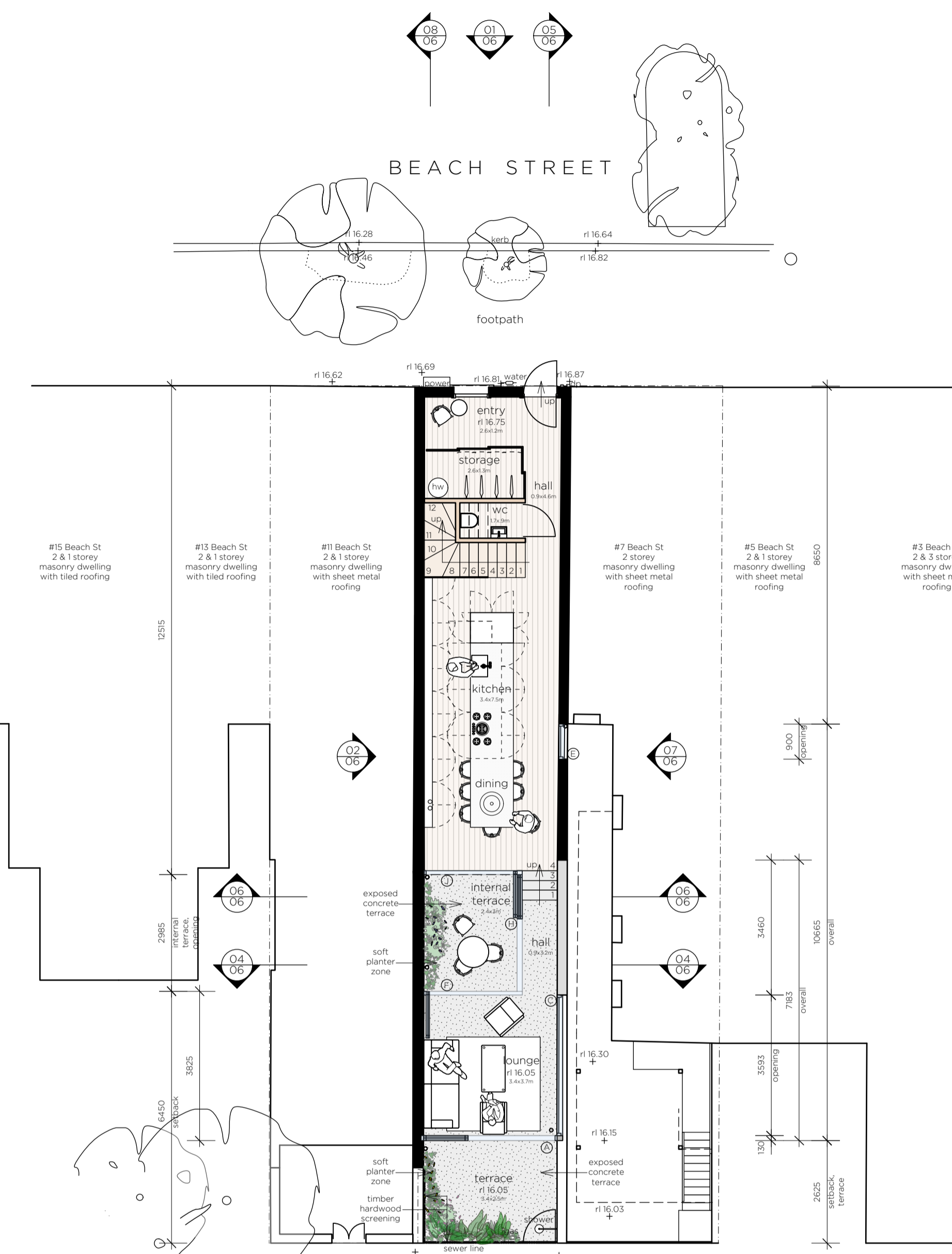
date
APRIL 2020



01. proposed roof plan 1:100



02. proposed upper floor plan 1:100



03. proposed ground plan 1:100

basic notes
(over black certificate)
HOTWATER
Hot water system to be gas storage

INSULATION
The applicant must construct the new construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed:
- concrete floor on slab, nil
- floor above existing dwelling or building, nil
- external wall brick veneer, R1.65 or R1.7 (incl const.)
- external wall framed, R1.30 or R1.70 (incl const.)
- gabled ceiling, pitched/flat roof, framed, R1.24 (incl const.)
- roof, foil backed blanket (75mm), medium absorbency greater than 0.475
- flat ceiling, flat roof, concrete/plasterboard internal ceiling, R0.40 (incl const.)
- roof, foil backed blanket (75mm), light absorbency greater than 0.475

WINDOWS AND GLAZED DOORS
- windows, glazed doors and shading devices, in accordance with the specifications listed below
- relevant overshadowing specifications must be satisfied for each window and glazed door
- the following requirements must also be satisfied in relation to each window and glazed door:
- each window or glazed door with improved frames, or synthetic lower glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
- for projections described in millimetres, the leading edge of each bank, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill
- pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must orient in plan view.
- framed and glass type:
A = B + C + D + E + F + G + H
U-value: 2.63, SHGC: 0.75
- shading devices as illustrated
- overhanging as illustrated
G = I
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.66)
- shading devices as illustrated
- overhanging as illustrated
H = I
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.47)
- shading devices as illustrated
- overhanging as illustrated

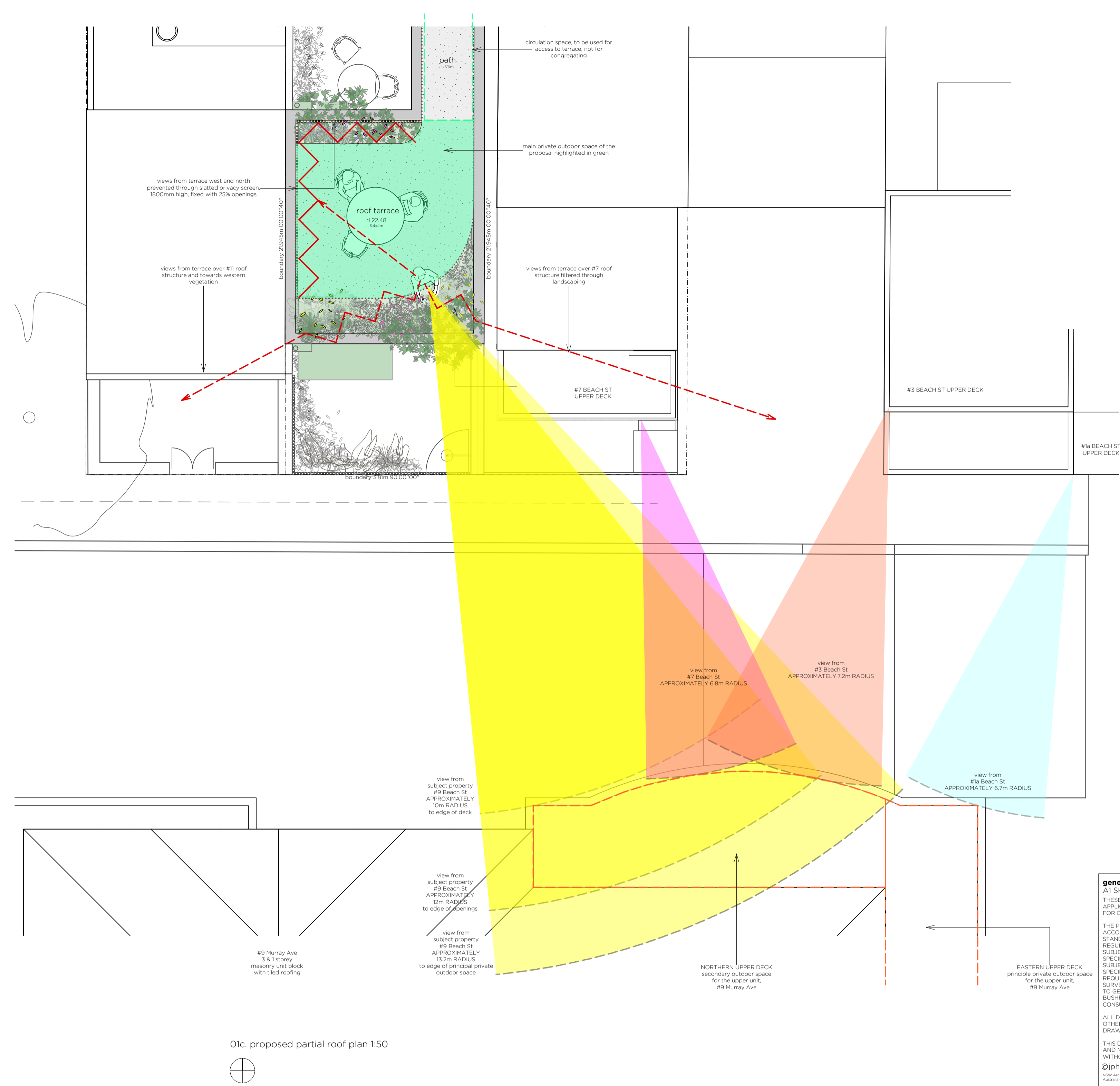
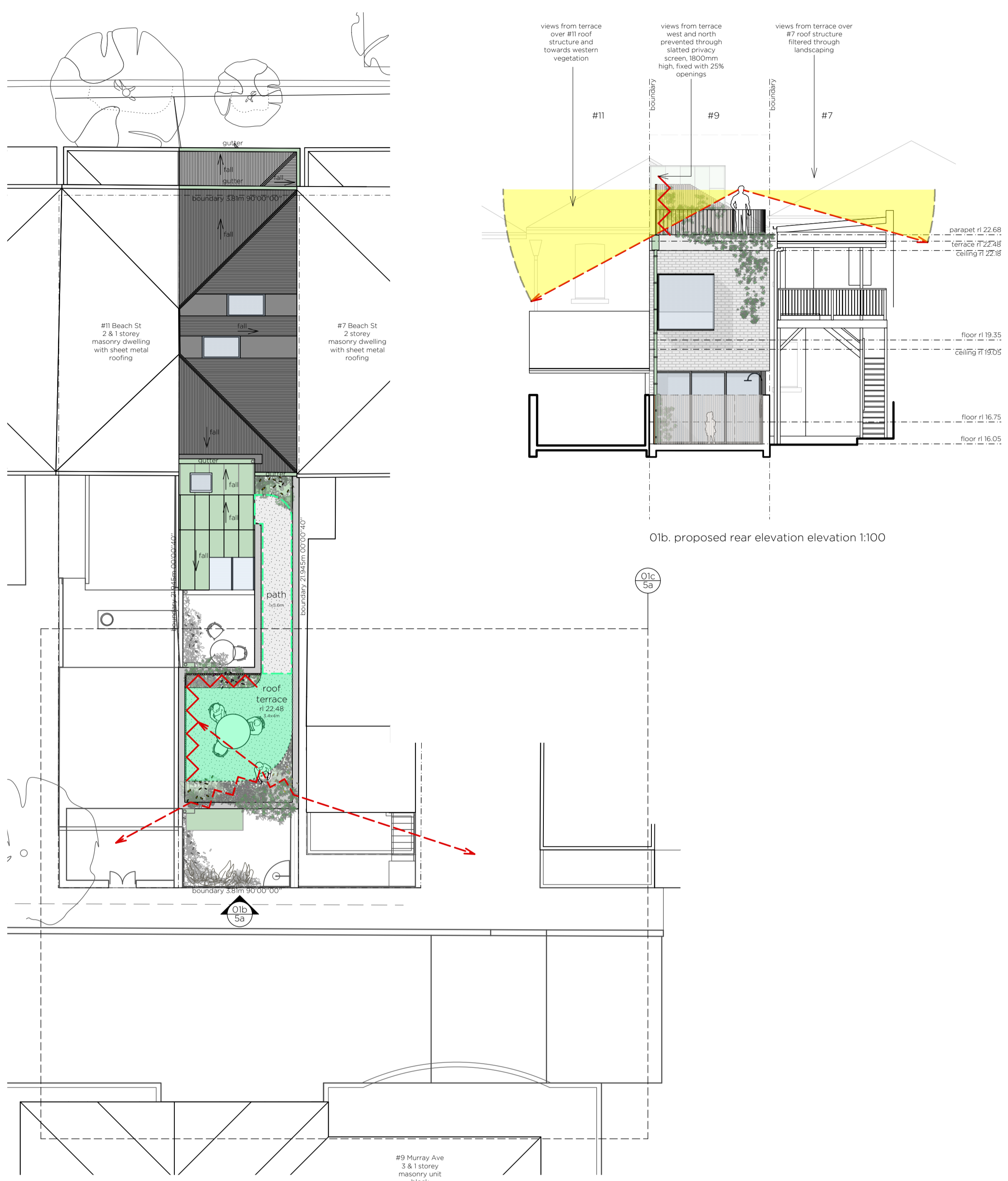
SKYLIGHTS
The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in below.
- timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
- shading devices as illustrated

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issue DA **date** 29-04-20

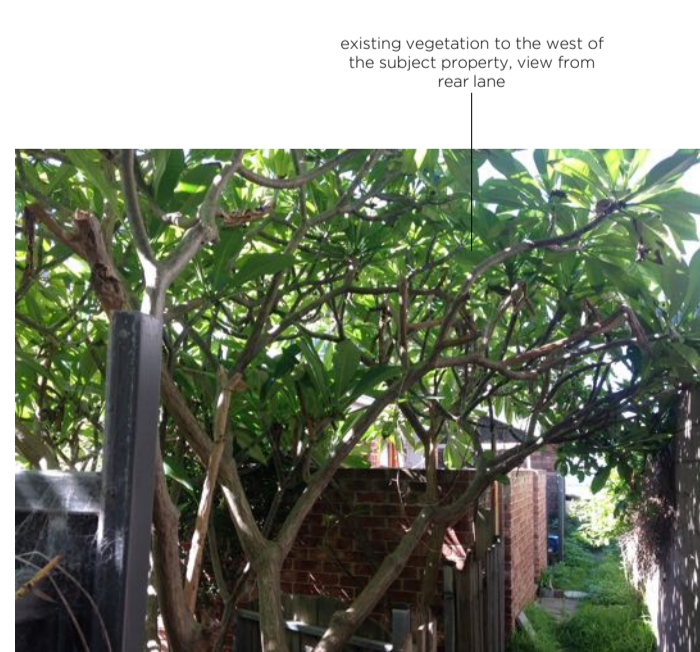
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location LOT 1, DP 104145
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client PENNY & OLIVER COAKES
project ALTERATIONS AND ADDITIONS
scale 1:100 @ A1
sheet title 83dwg05 - PROPOSED PLANS
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 NSW Architects Registration Number 9827
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Issue DA information request **date** 03/07/20
project no. 83
location LOT 1, DP 104145
 9 BEACH ST,
 NEWCASTLE, NSW, 2300
client PENNY & OLIVER COAKES
project ALTERATIONS AND ADDITIONS
scale 1:100, 50 @ A1
sheet title 83dwg05a - PRIVACY ASSESSMENT
sheet no. 5a of 8
date JULY 2020



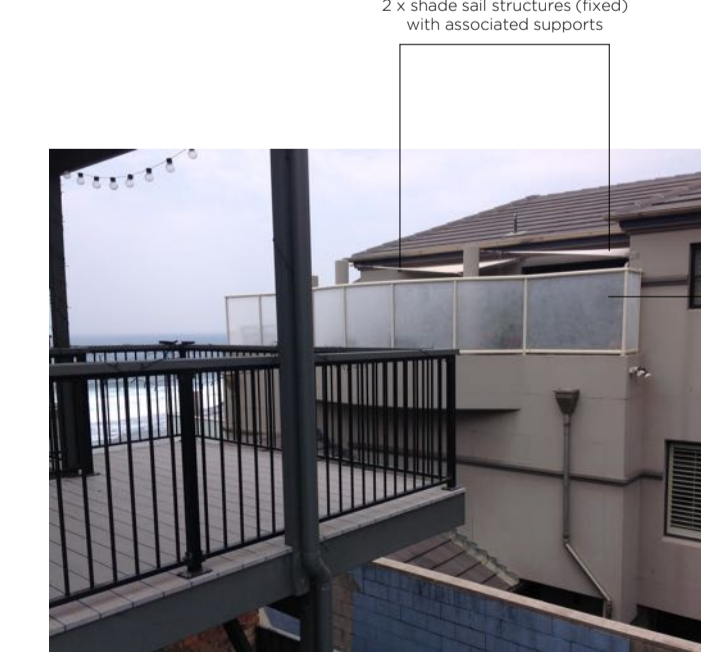
02. view under existing western vegetation



03. view over existing western vegetation



04. view of #7 Beach Street rear bulk



05. view south east



06. view south



07. view south west



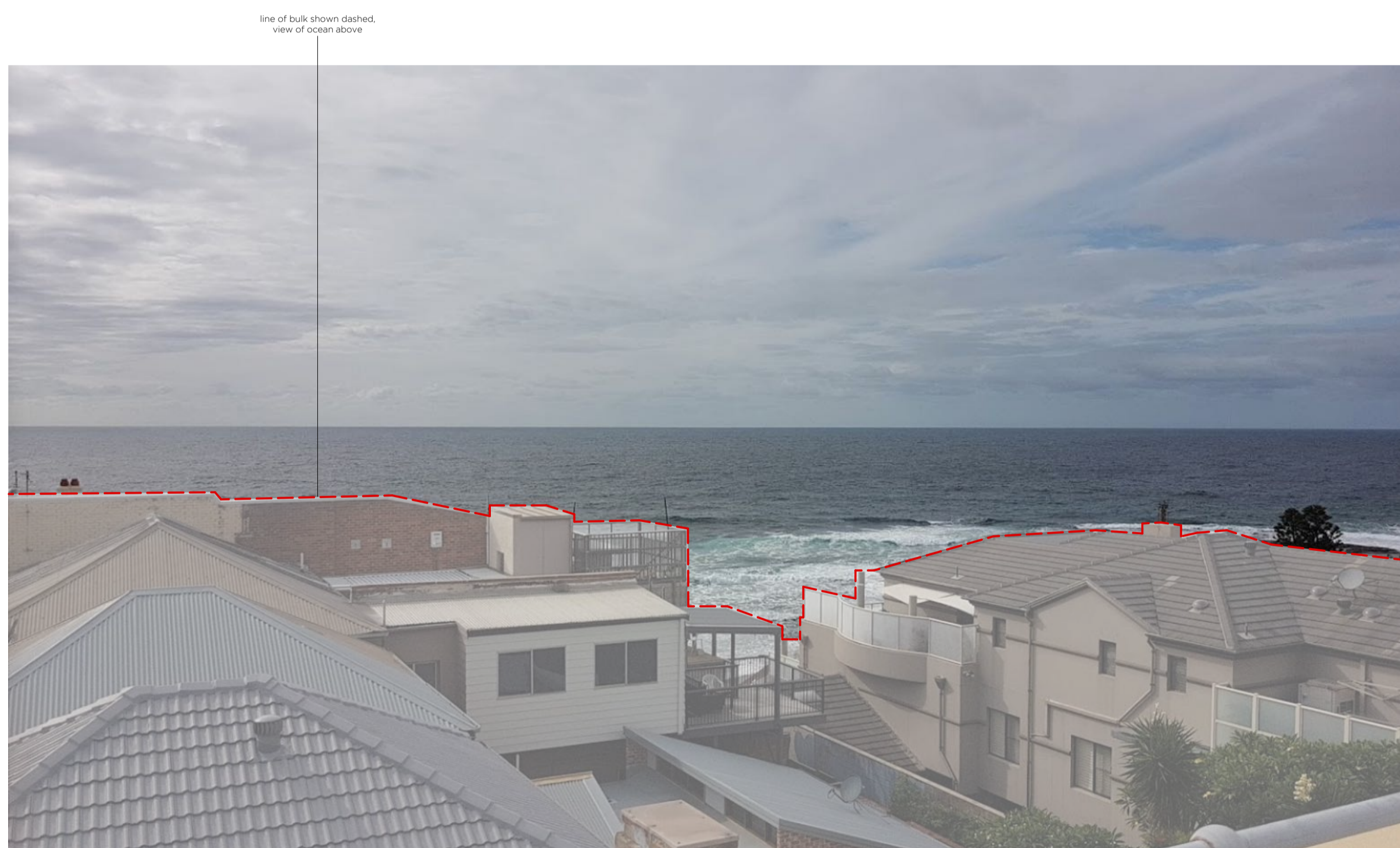
01. view of the Newcastle Hotel and rear facades of dwellings along Beach Street



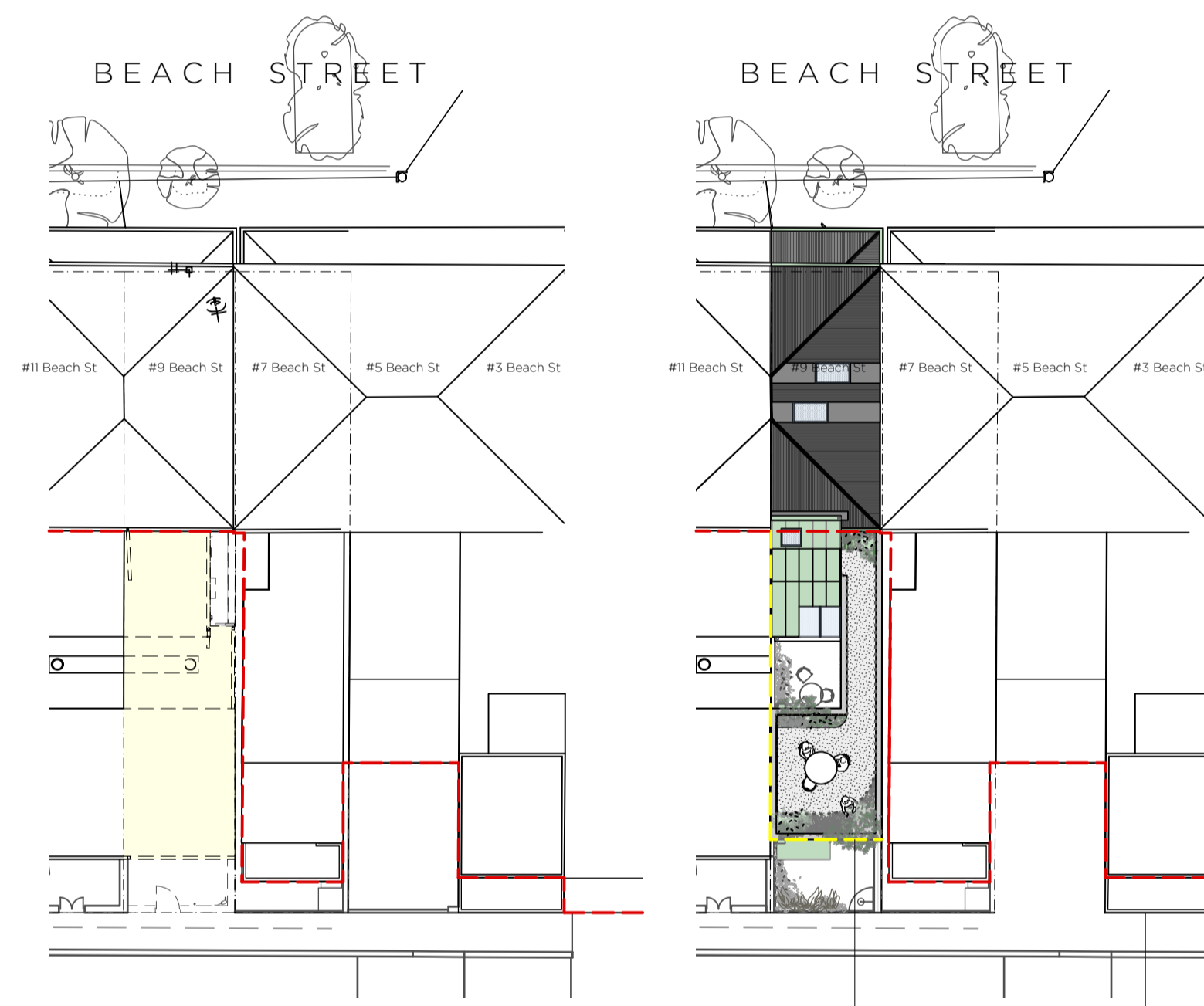
02. view of the Newcastle Hotel and rear facades of dwellings along Beach Street



03. existing satellite image



04. existing view from the Newcastle Hotel upper roof top terrace over the rear of dwellings along Beach Street to the ocean



05. existing site plan 1:200

06. proposed site plan 1:200



07. existing view diagram from the Newcastle Hotel upper roof top terrace over the rear of dwellings along Beach Street to the ocean



08. proposed view diagram from the Newcastle Hotel upper roof top terrace over the rear of dwellings along Beach Street to the ocean

general notes
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issue DA information request **date** 03.07.20

project no. 83

location LOT 1, DP 104145
 9 BEACH ST,
 NEWCASTLE, NSW, 2300

client PENNY & OLIVER COAKES

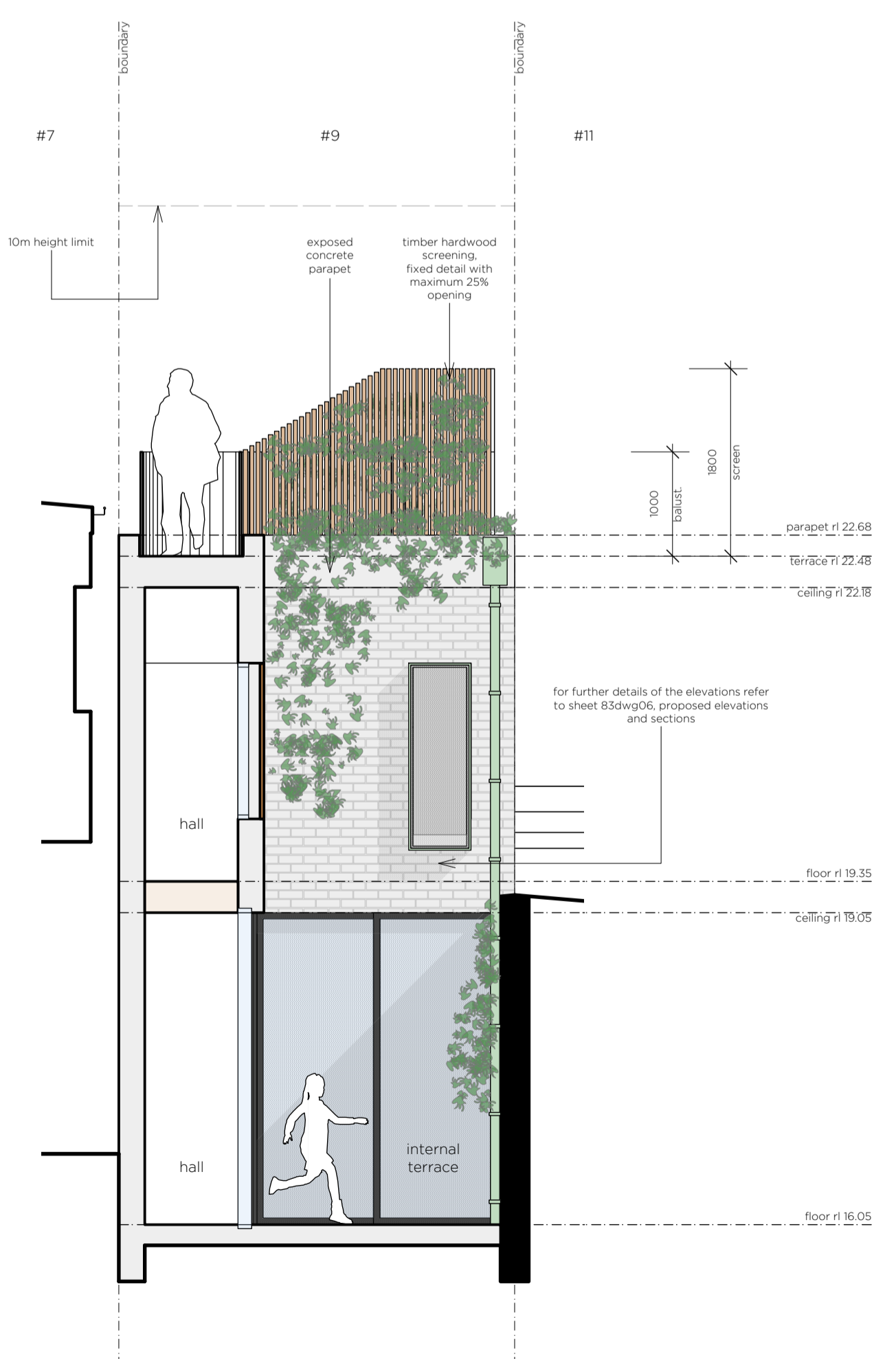
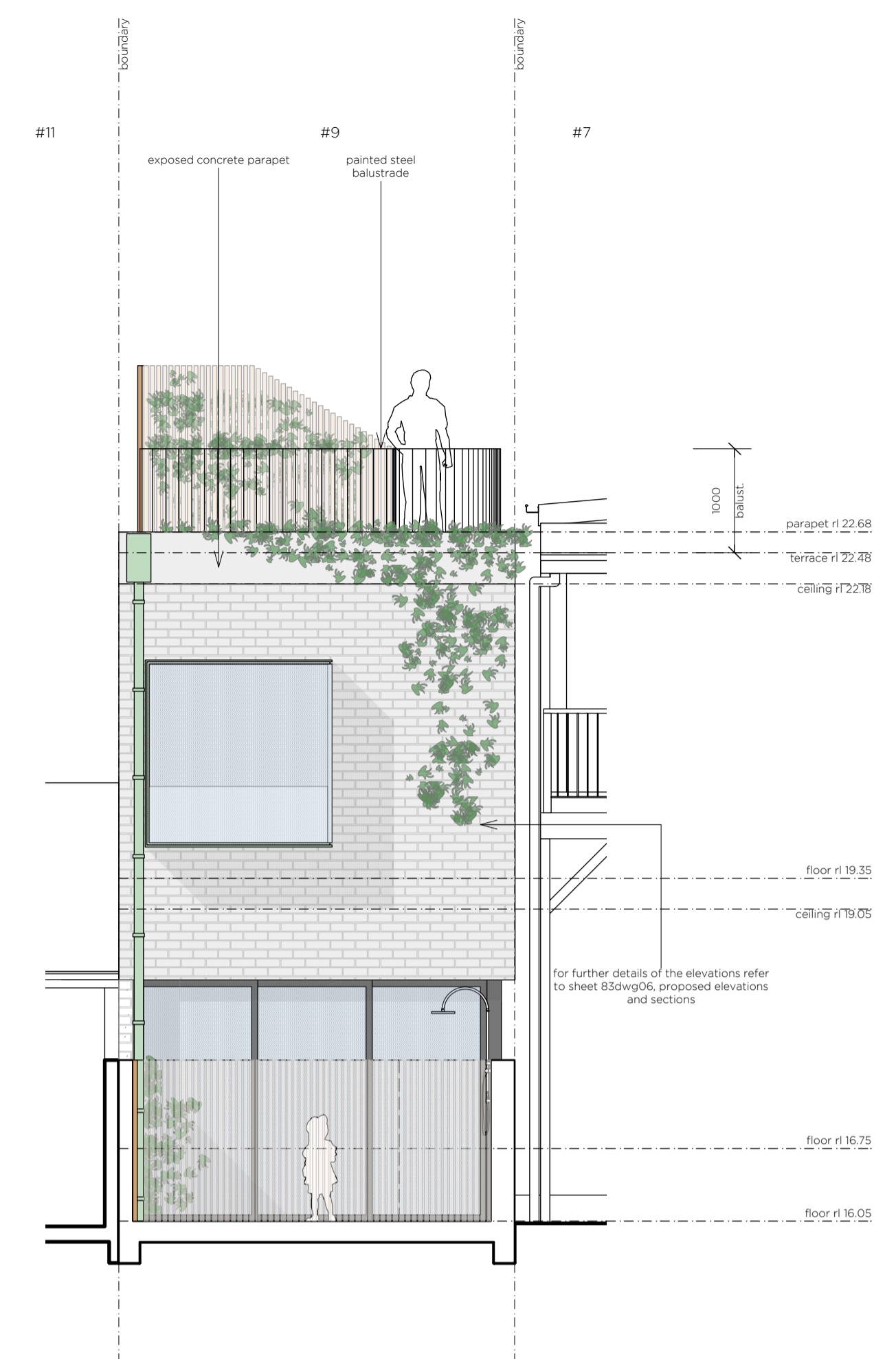
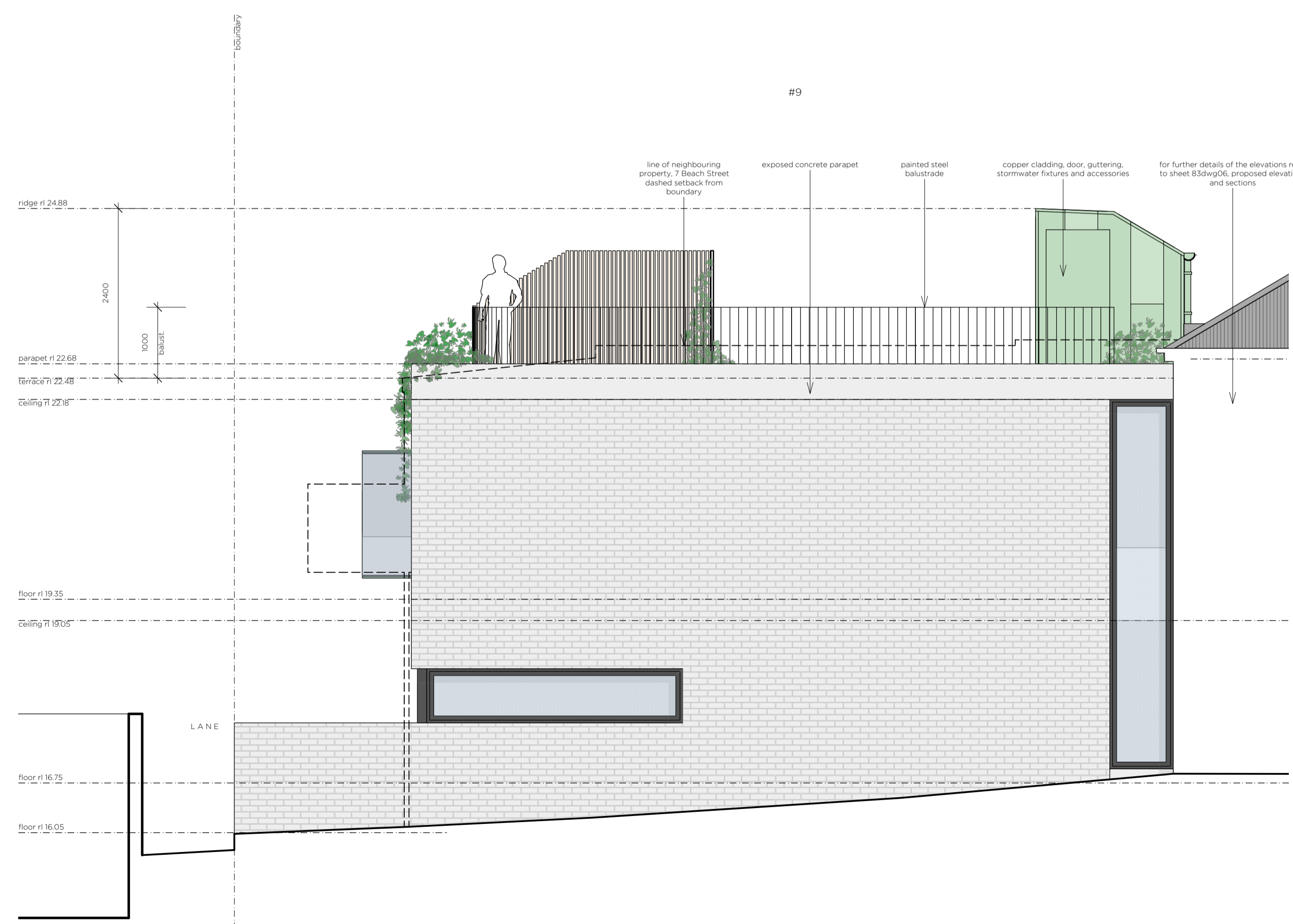
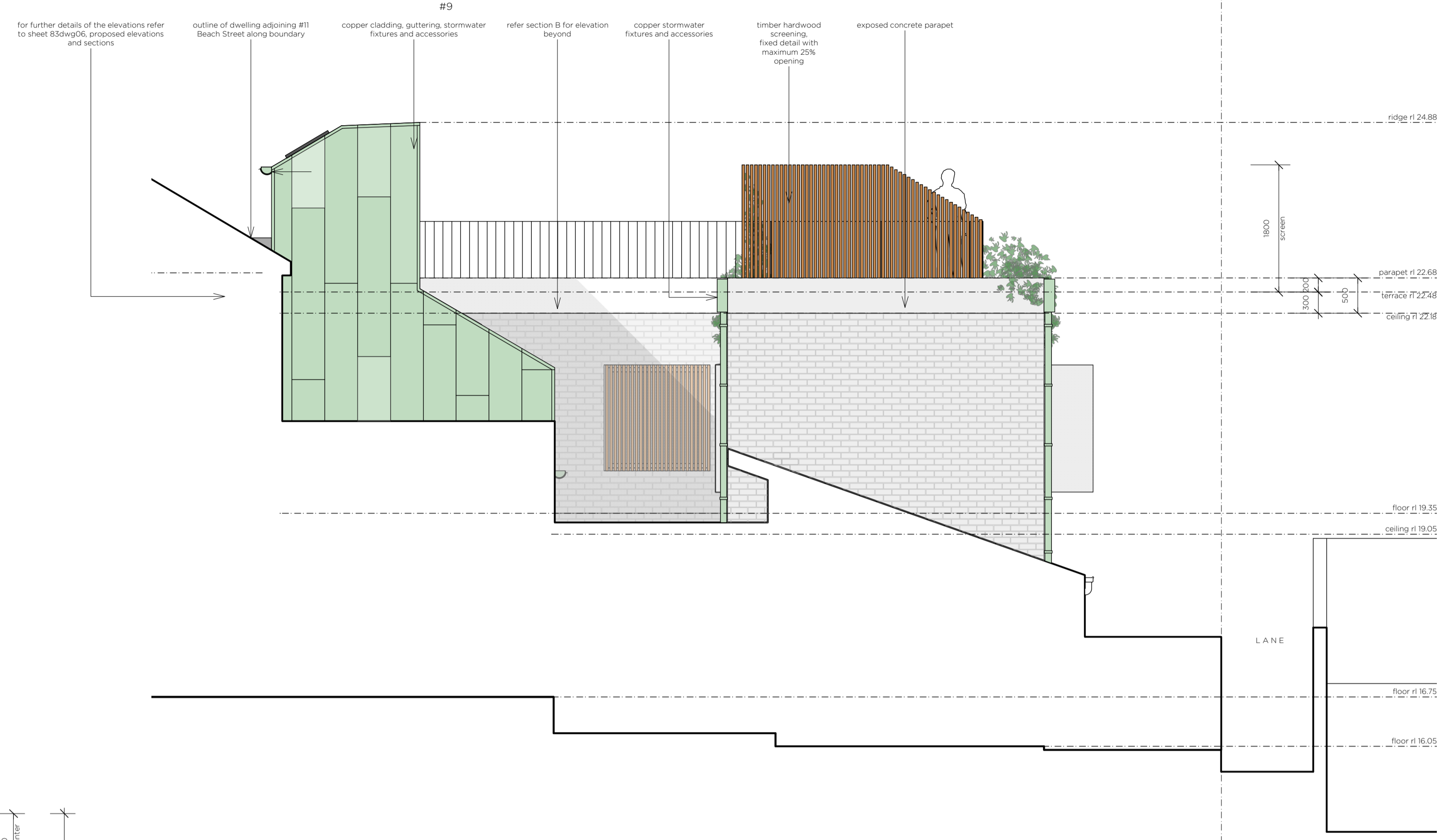
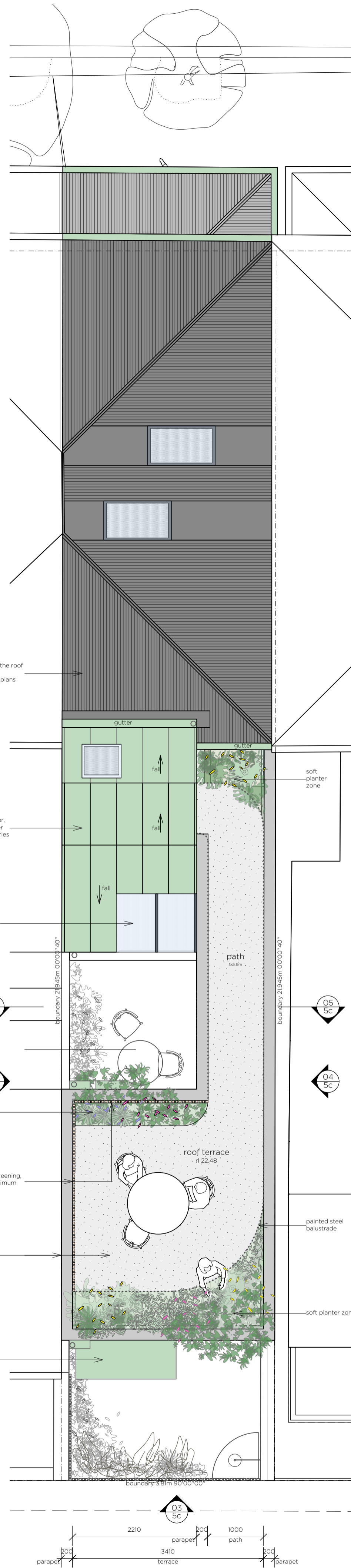
project ALTERATIONS AND ADDITIONS

scale 1:200 @ A1

sheet title 83dwg05b - VIEW SHARING ASSESSMENT

sheet no 5b of 8

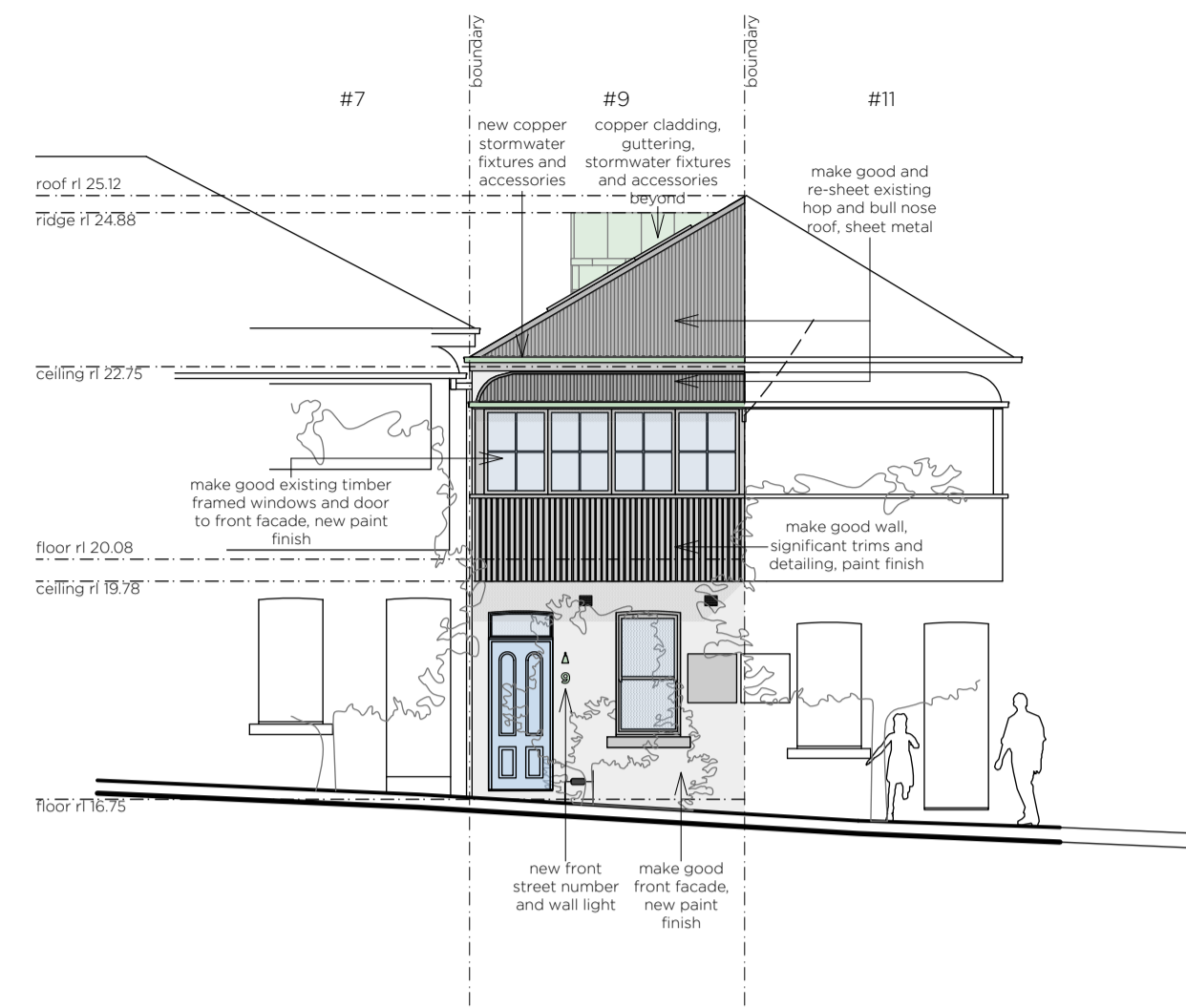
date JULY 2020



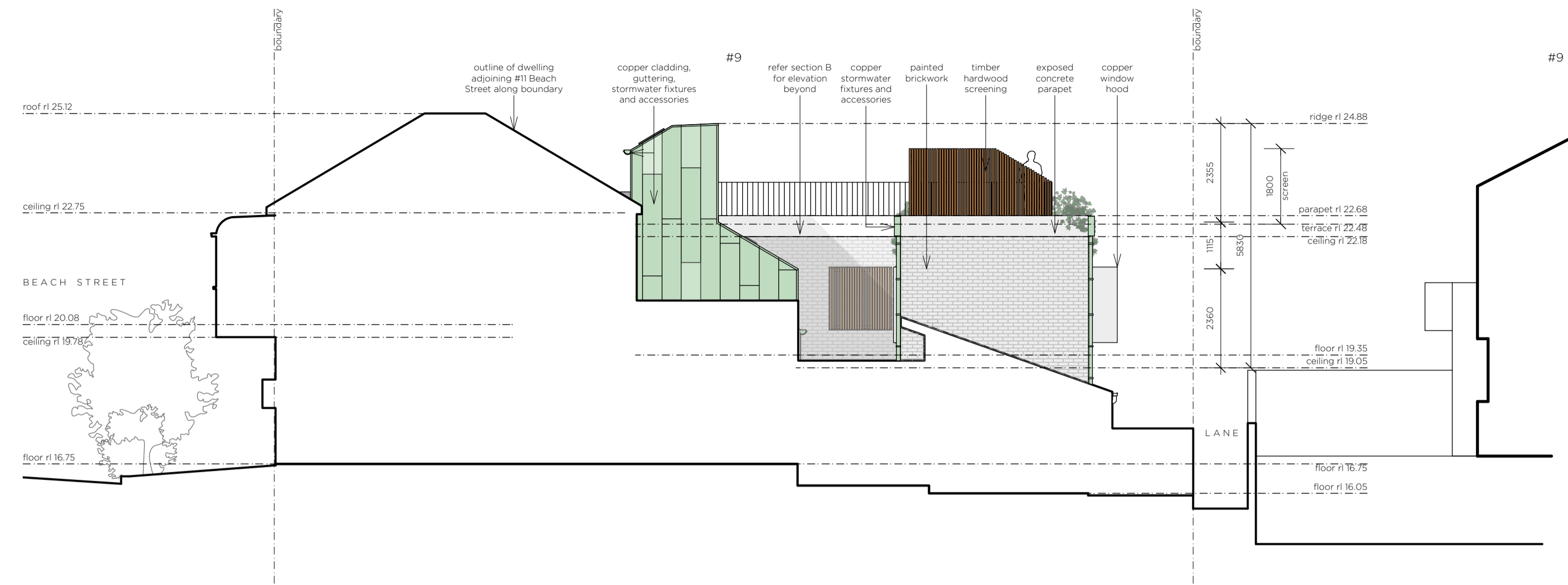
upper terrace notes
materials as referenced

general notes
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Member Institute of Architects (Member)

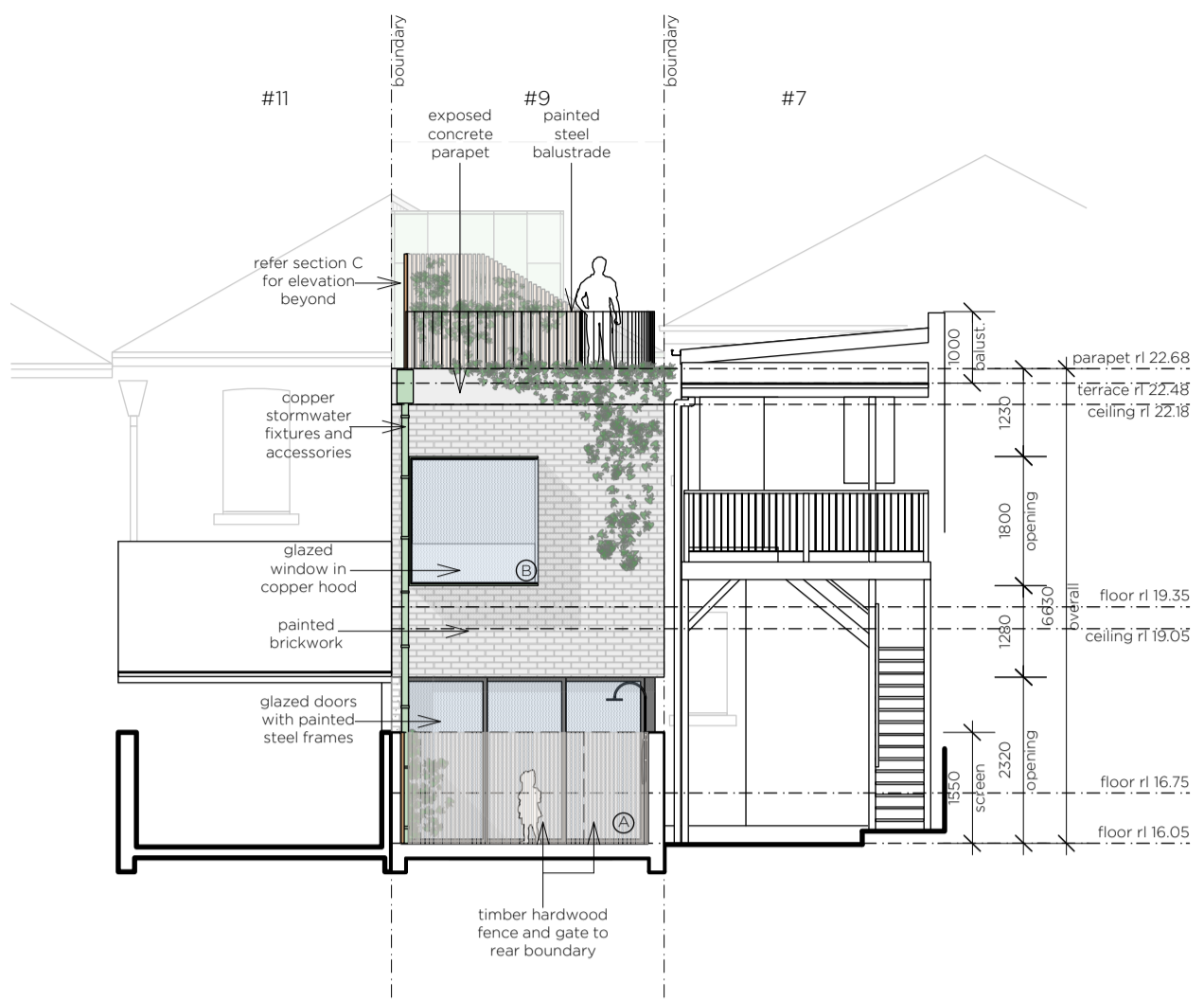
issue DA information request **date** 03.07.20
project no. 83
location LOT 1, DP 104145
9 BEACH ST,
NEWCASTLE, NSW, 2300
client PENNY & OLIVER COAKES
project ALTERATIONS AND ADDITIONS
scale 1:50 @ A1
sheet title 83dwg05c - ROOFTOP TERRACE
sheet no 5c of 8
date JULY 2020



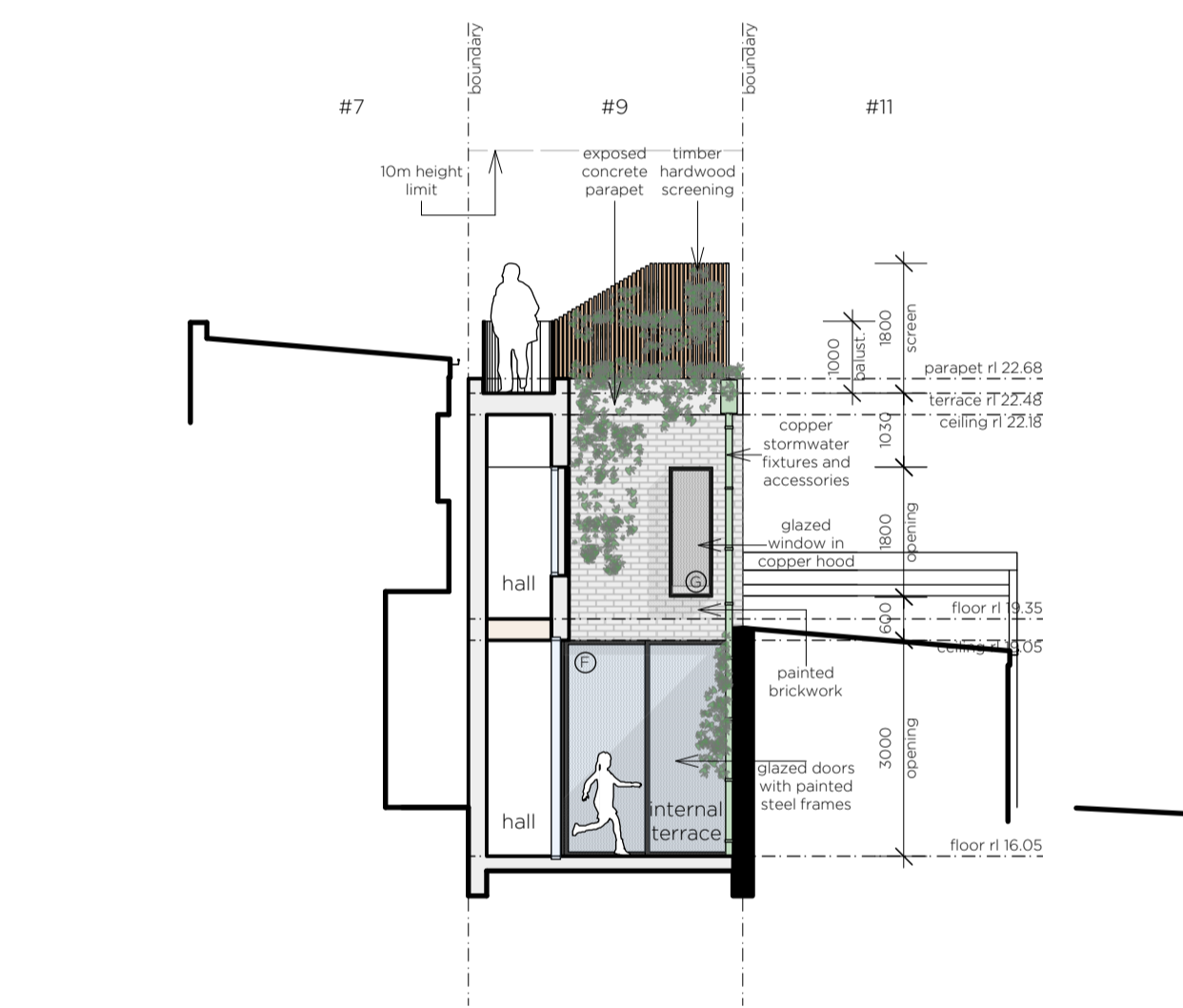
01. proposed northern elevation 1:100



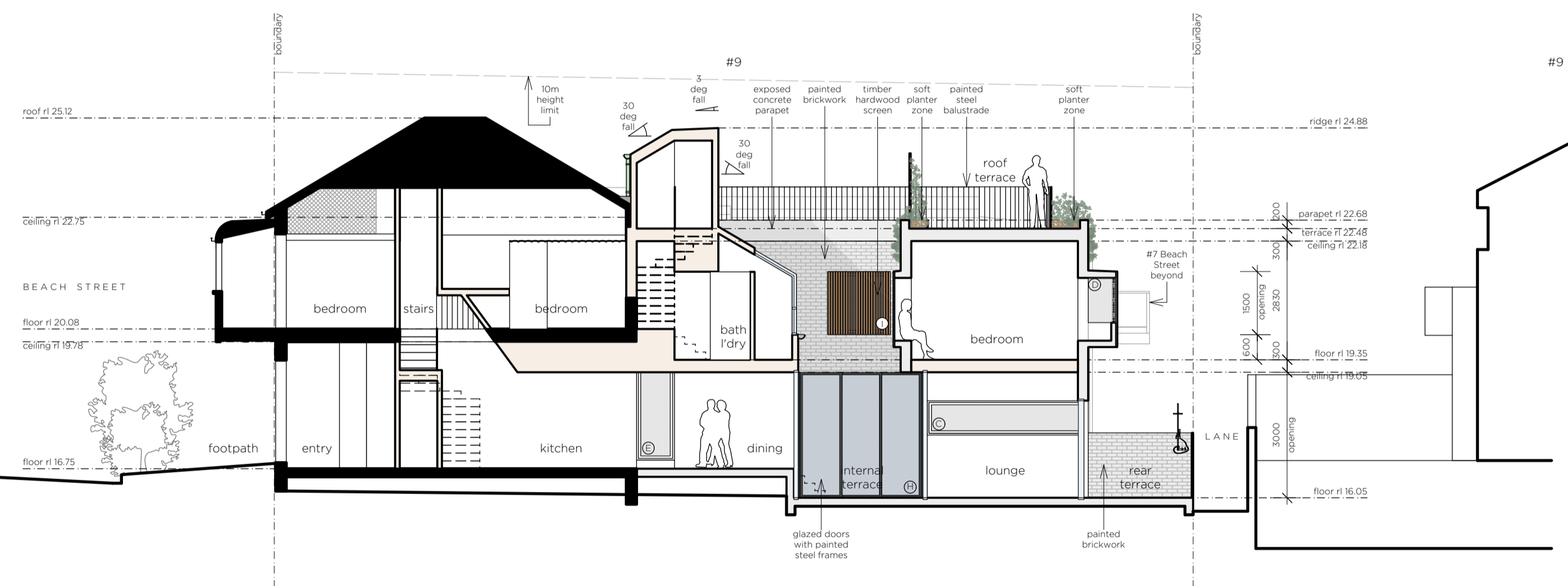
02. proposed western elevation 1:100



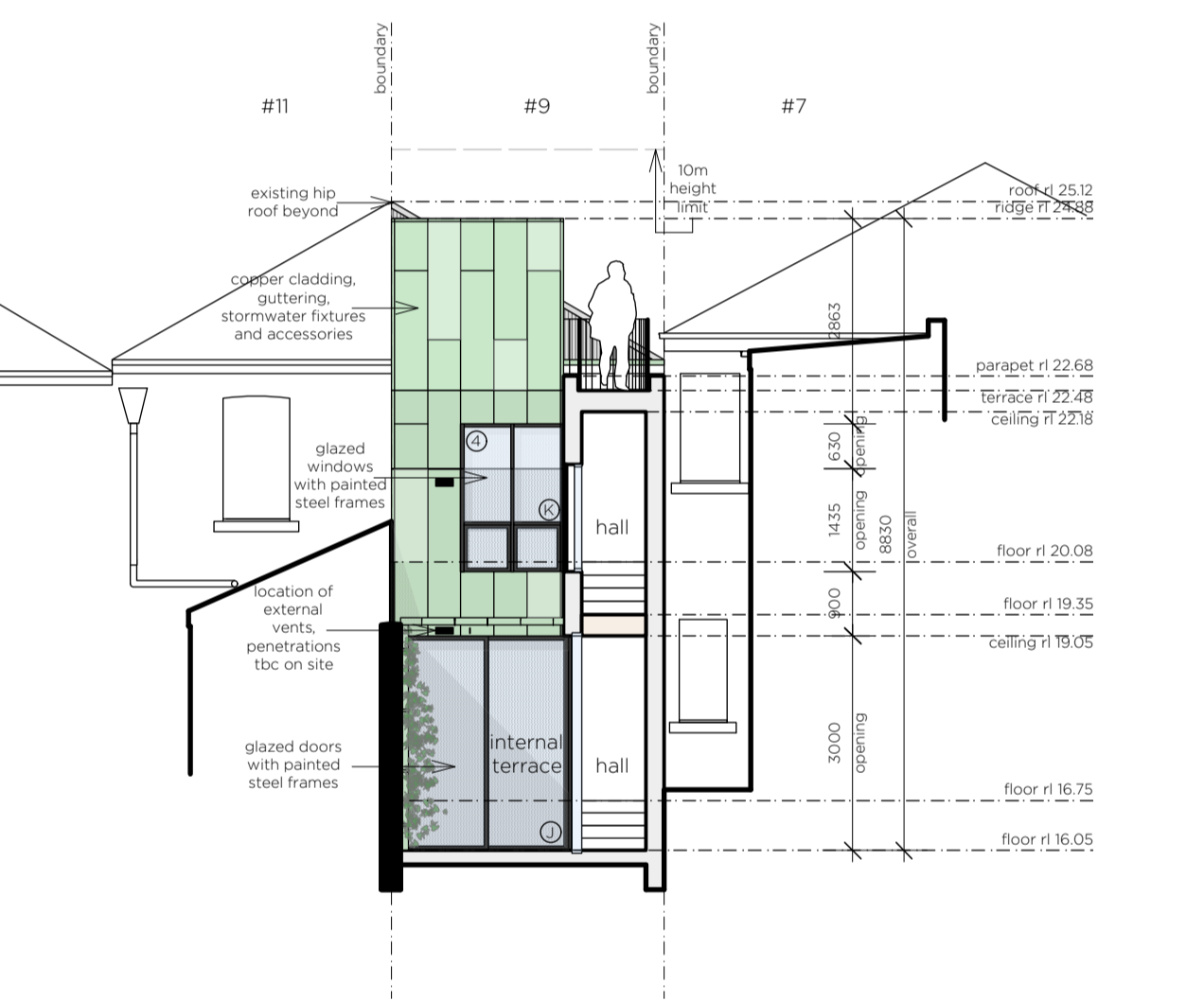
03. proposed southern elevation 1:100



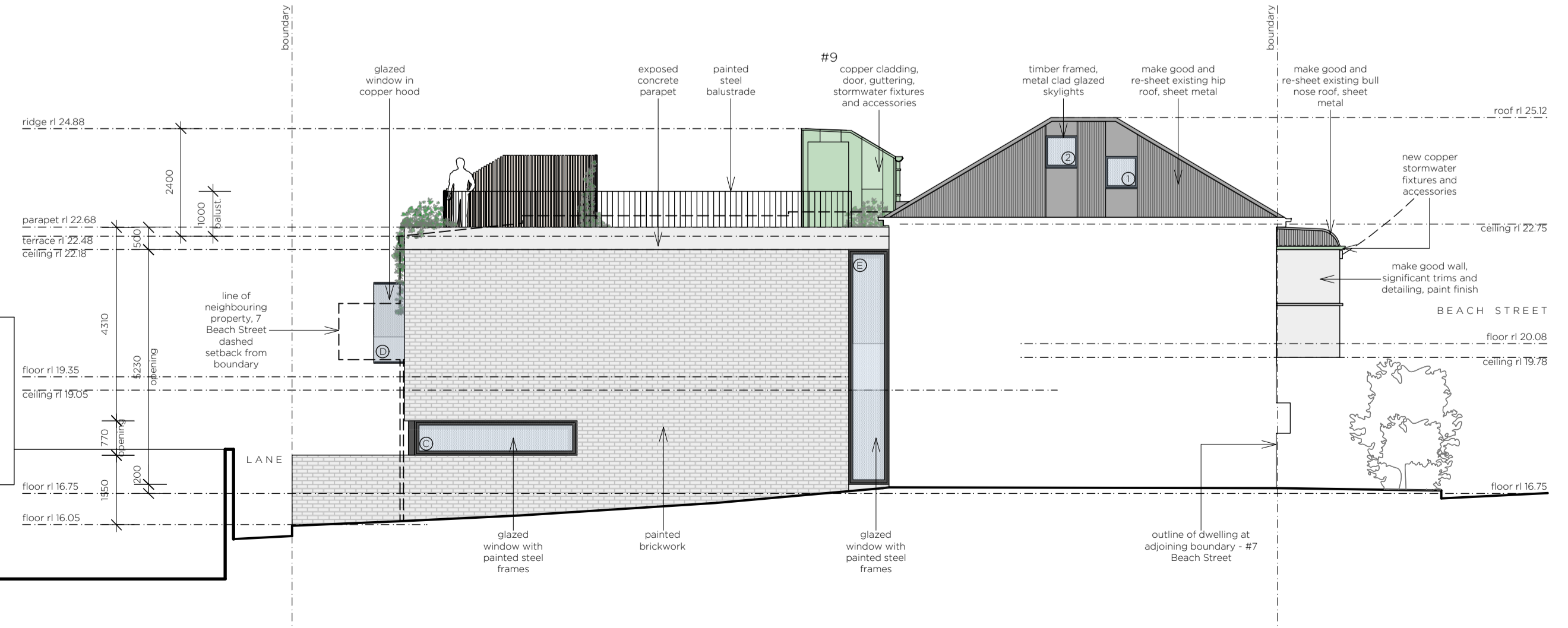
04. proposed section A 1:100



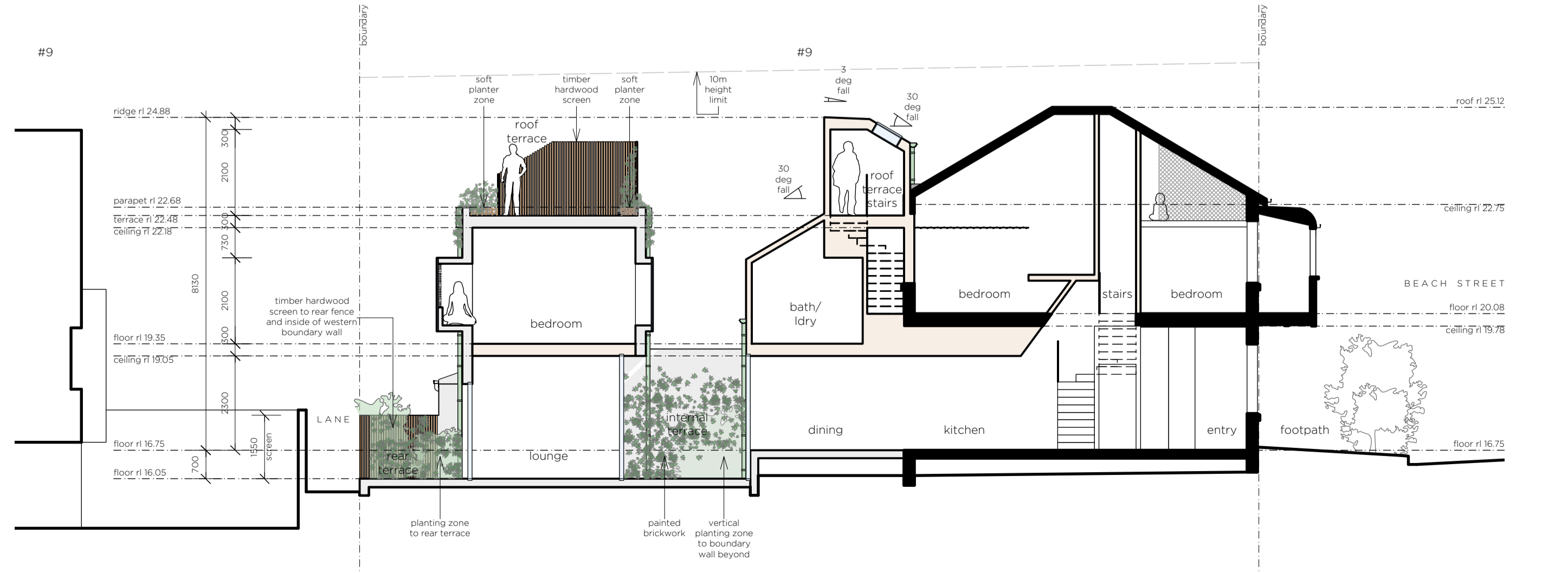
05. proposed section B 1:100



06. proposed section C 1:100



07. proposed eastern elevation 1:100



08. proposed section D 1:100

basic notes
(over basic certificate)
HOTWATER:
Hot water system to be gas storage

INSULATION
The applicant must construct the new construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed:
- floor above existing dwelling or building: nil
- external wall brick veneer: R1.65 or R1.7 (incl. const.)
- external wall framed: R1.30 or R1.70 (incl. const.)
- gable ceiling pitched/sloped roof: framed: R1.24 (incl. const.), roof: foil backed blanket (75mm), medium absorptancy greater than 0.475 (0.70)
- flat ceiling, flat roof: concrete/plasterboard internal ceiling: R0.40 (incl. const.), roof: foil backed blanket (75mm), light absorptancy greater than 0.475

WINDOWS AND GLAZED DOORS
windows, glazed doors and shading devices, in accordance with the specifications listed below - relevant overhanging specifications must be satisfied for each window and glazed door.
The following requirements must also be satisfied in relation to each window and glazed door:
- each window or glazed door with improved frames, or synthetic lower glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
- for projections described in millimetres, the leading edge of each pane (pergola, verandah, balcony or awning) must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.
- pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must operate in plan view.
- framed and glass type:
A - B - C - D - E - F - G - H - K
standard aluminum, single clear, (or U-value: 7.63, SHGC: 0.75)
- shading devices as illustrated
- overhanging as illustrated
G - I
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.66)
- shading devices as illustrated
- overhanging as illustrated
H
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.47)
- shading devices as illustrated
- overhanging as illustrated

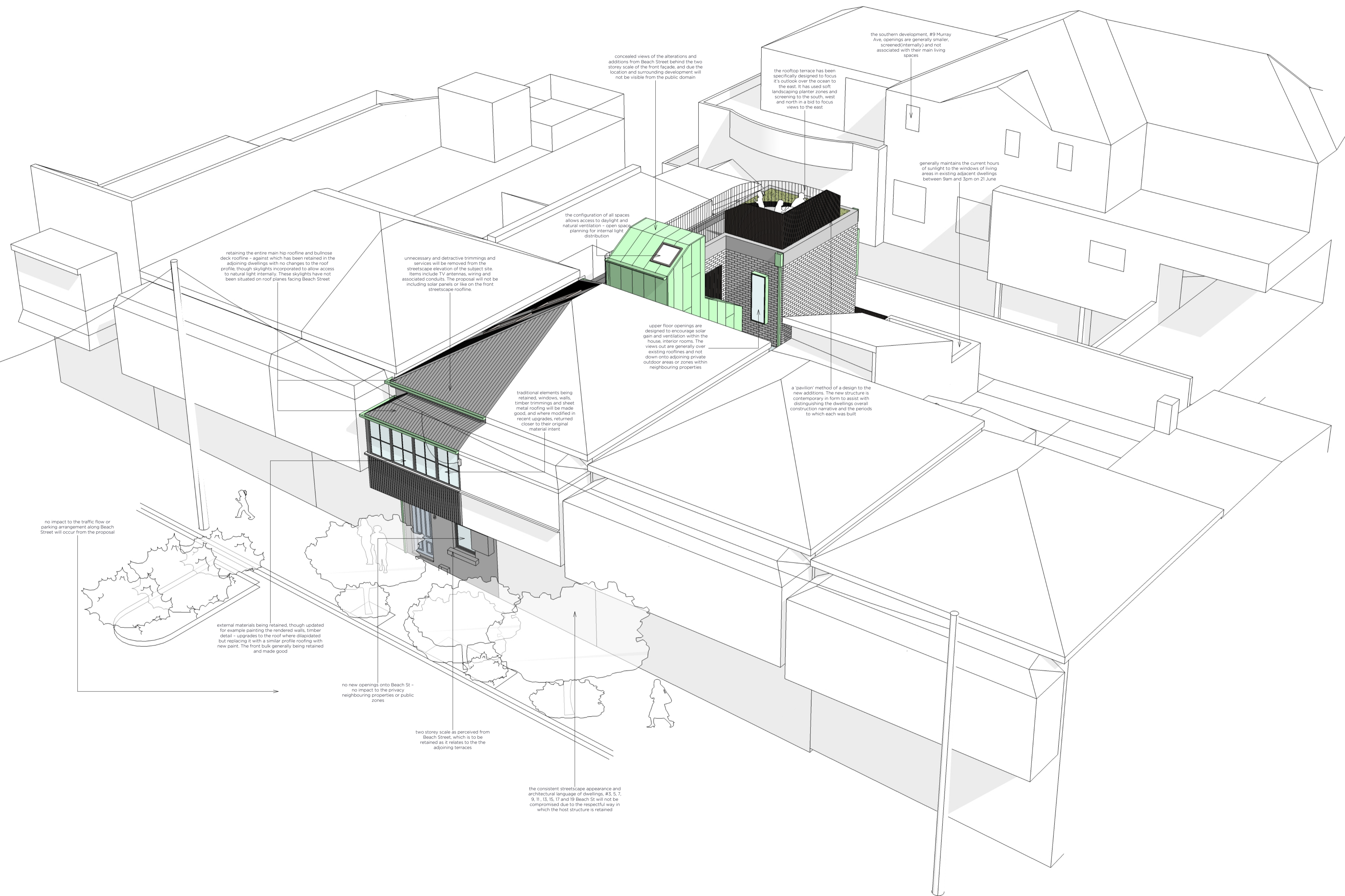
SKYLIGHTS
The applicant must install the skylights in accordance with the specifications listed in the table below. The following requirements must also be satisfied in relation to each skylight:
Each skylight may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below:
- timber, low-E internal/argon fill/clear external, (or U-value: 2.5, SHGC: 0.456)
- shading devices as illustrated

general notes
A1 SHEET
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Issue DA **date** 29-04-20

project no. 83
location LOT 1, DP 104145
9 BEACH ST,
NEWCASTLE, NSW, 2300

client PENNY & OLIVER COAKES
project ALTERATIONS AND ADDITIONS
scale 1:100 @ A1
sheet title 85dwg06 - PROPOSED SECTIONS & ELEVATIONS
sheet no. 6 of 8
date APRIL 2020



concealed views of the alterations and additions from Beach Street behind the two storey scale of the front facade, and due to the location and surrounding development will not be visible from the public domain

the southern development, #9 Murray Ave, openings are generally smaller, screened (internally) and not associated with their main living spaces

the rooftop terrace has been specifically designed to focus its outlook over the ocean to the east. It has used soft landscaping planter zones and screening to the south, west and north in a bid to focus views to the east

generally maintains the current hours of sunlight to the windows of living areas in existing adjacent dwellings between 9am and 3pm on 21 June

the configuration of all spaces allows access to daylight and natural ventilation - open to air planning for internal light distribution

retaining the entire main hip roofline and bullnose deck roofline - against which has been retained in the adjoining dwellings with no changes to the roof profile, though skylights incorporated to allow access to natural light internally. These skylights have not been situated on roof planes facing Beach Street

unnecessary and detractive trimmings and services will be removed from the streetscape elevation of the subject site. Items include TV antennas, wiring and associated conduits. The proposal will not include solar panels or like on the front streetscape roofline

upper floor openings are designed to encourage solar gain and ventilation within the house, interior rooms. The views out are generally over existing rooflines and not down onto adjoining private outdoor areas or zones within neighbouring properties

traditional elements being retained, windows, walls, timber trimmings and sheet metal roofing will be made good, and where modified in recent upgrades, returned closer to their original material intent

a 'pavilion' method of a design to the new additions. The new structure is contemporary in form to assist with distinguishing the dwellings overall construction narrative and the periods to which each was built

no impact to the traffic flow or parking arrangements along Beach Street will occur from the proposal

external materials being retained, though updated for example painting the rendered walls, timber detail - upgrades to the roof where dilapidated but replacing it with a similar profile roofing with new paint. The front bulk generally being retained and made good

no new openings onto Beach St - no impact to the privacy neighbouring properties or public zones

two storey scale as perceived from Beach Street, which is to be retained as relates to the the adjoining terraces

the consistent streetscape appearance and architectural language of dwellings, #5, 7, 9, 11, 13, 15, 17 and 19 Beach St will not be compromised due to the respectful way in which the host structure is retained

basic notes
(over basic certificate)
HOTWATER:
Hot water system to be gas storage

INSULATION
The applicant must construct the new construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed:
- floor above existing dwelling or building: nil
- external wall brick veneer: R1.65 (or R1.7 incl const.)
- external wall framed: R1.30 (or R1.7 incl const.)
- raked ceiling, pitched/section roof: framed: R1.24 (up), roof: foil backed blanket (75mm), medium absorptancy greater than 0.475 (D10)
- flat ceiling, flat roof: concrete/plasterboard internal ceiling: R0.40 (up), roof: foil backed blanket (75mm), light absorptancy greater than 0.475

WINDOWS AND GLAZED DOORS
- windows, glazed doors and shading devices, in accordance with the specifications listed below
- relevant overhanging specifications must be satisfied for each window and glazed door
- the following requirements must also be satisfied in relation to each window and glazed door:
- each window or glazed door with improved frames, or synthetic lower glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
- for projections described in millimetres, the leading edge of each awning, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill
- pergolas with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must orient in plan view.
- framed and glass type:
A - B - C - D - E - F - G - H - K
standard aluminum, single clear, (or U-value: 7.63, SHGC: 0.75)
- shading devices as illustrated
- overhanging as illustrated
G-1
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.66)
- shading devices as illustrated
- overhanging as illustrated
H
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.47)
- shading devices as illustrated
- overhanging as illustrated

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- shading devices as illustrated

general notes
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issue DA **date** 29-04-20

project no. 83

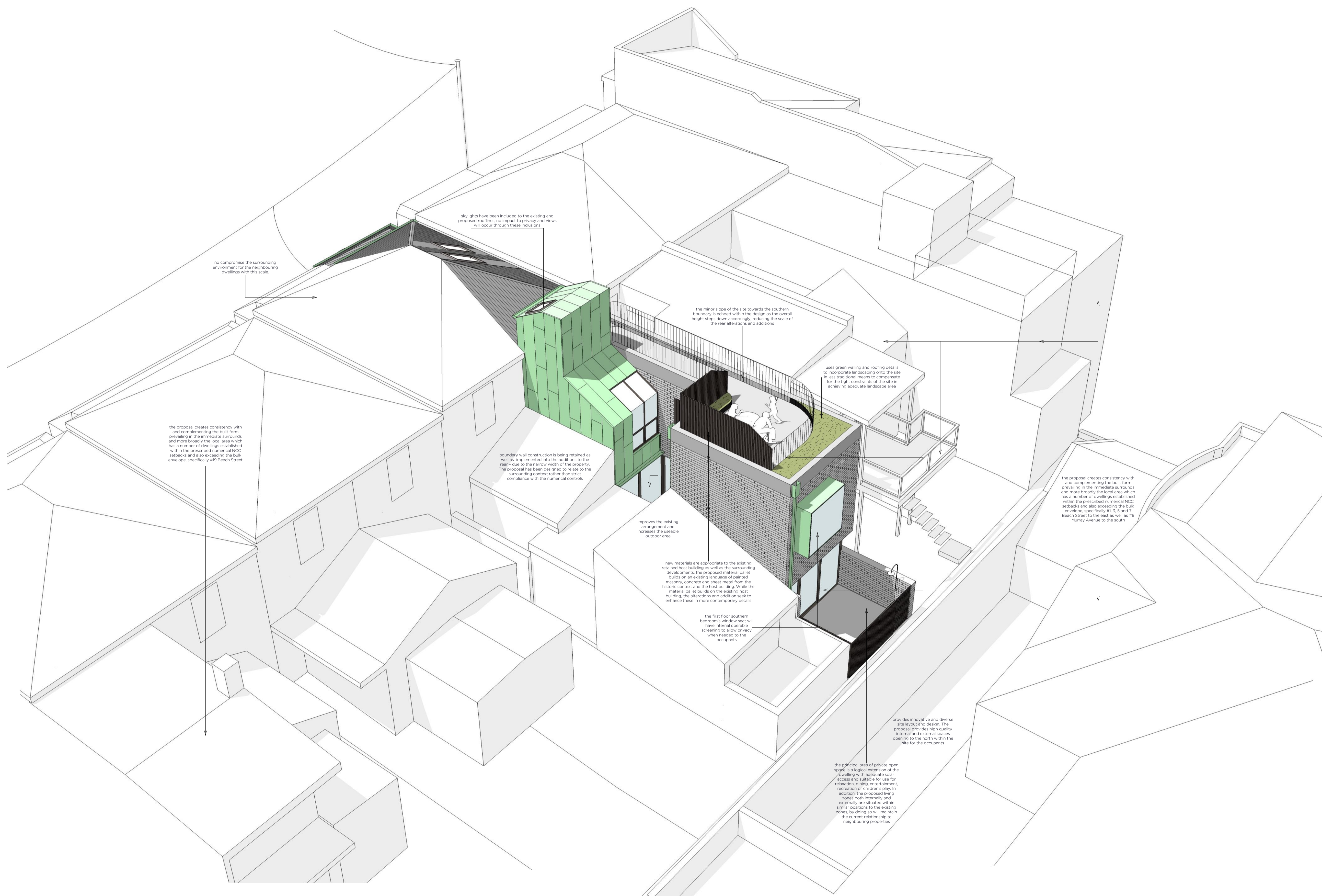
location LOT 1, DP 104145
9 BEACH ST,
NEWCASTLE, NSW, 2300

client PENNY & OLIVER COAKES

project ALTERATIONS AND ADDITIONS

scale n/a @ A1

sheet title 83dwg07 - FORM PERSPECTIVES
sheet no PROPOSED EXTERNAL
7 of 8
date APRIL 2020



basic notes
(over basic certificate)
HOTWATER:
Hot water system to be gas storage

INSULATION
The applicant must construct the new construction (floors), walls, and ceilings/roofs) in accordance with the specifications listed:
- concrete floor on slab, nil
- floor above existing dwelling or building, nil
- external wall brick veneer, R1.6 (or R1.7 incl const.)
- external wall framed, R1.3 (or R1.7 incl const.)
- gable ceiling, pitched/sloped roof, framed, R1.24 (up), roof, foil backed blanket (75mm), medium absorptancy greater than 0.475 (D10)
- flat ceiling, flat roof, concrete/plasterboard internal ceiling, R0.40 (up), roof, foil backed blanket (75mm), light absorptancy greater than 0.475

WINDOWS AND GLAZED DOORS
windows, glazed doors and shading devices, in accordance with the specifications listed below - relevant overshadowing specifications must be satisfied for each window and glazed door - the following requirements must also be satisfied in relation to each window and glazed door:
- each window or glazed door with improved frames, or cyclonic lower glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.
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- pergolas, with adjustable shading may have adjustable blades or removable shade cloth (not less than 80% shading ratio). Adjustable blades must orient in plan view.
- framed and glass type:
A - B + C + D + E + F + G + H
standard aluminum, single clear, (or U-value: 7.63, SHGC: 0.75)
- shading devices as illustrated
- overshadowing as illustrated
G + I
improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.66)
- shading devices as illustrated
- overshadowing as illustrated
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improved aluminum, single clear/air gap/clear (or U-value: 4.12, SHGC: 0.47)
- shading devices as illustrated
- overshadowing as illustrated

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issue DA **date** 29-04-20

project no. 83

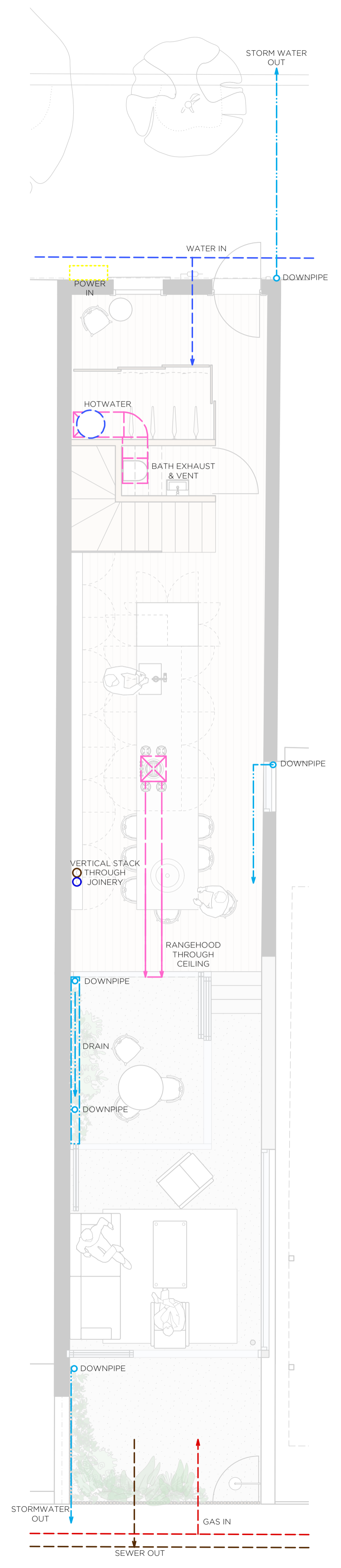
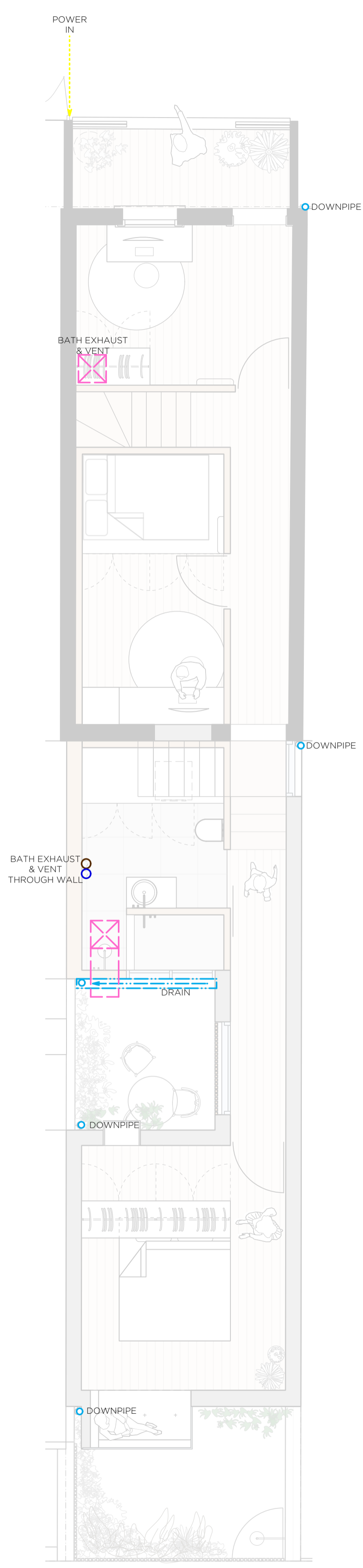
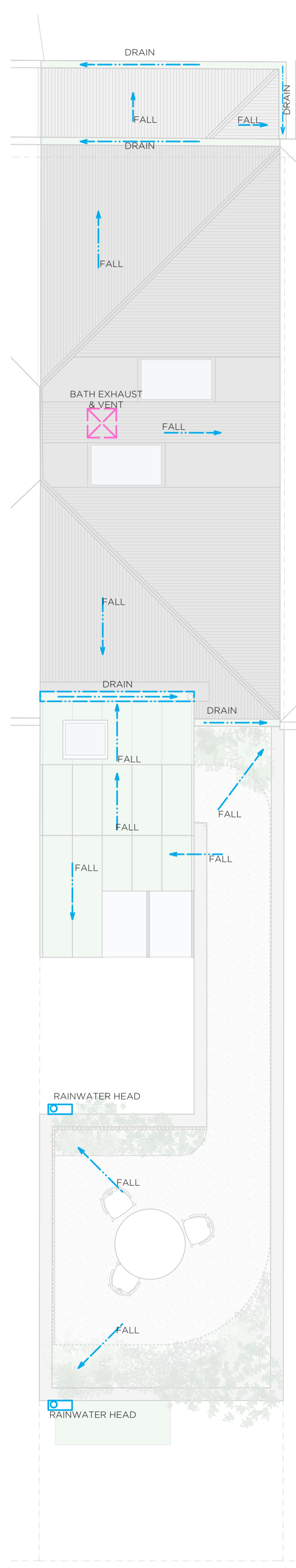
location LOT 1, DP 104145
9 BEACH ST,
NEWCASTLE, NSW, 2300

client PENNY & OLIVER COAKES

project ALTERATIONS AND ADDITIONS

scale n/a @ A1

sheet title 83dwg08 - FORM PERSPECTIVES
sheet no PROPOSED EXTERNAL
6 of 8
date APRIL 2020

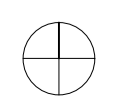


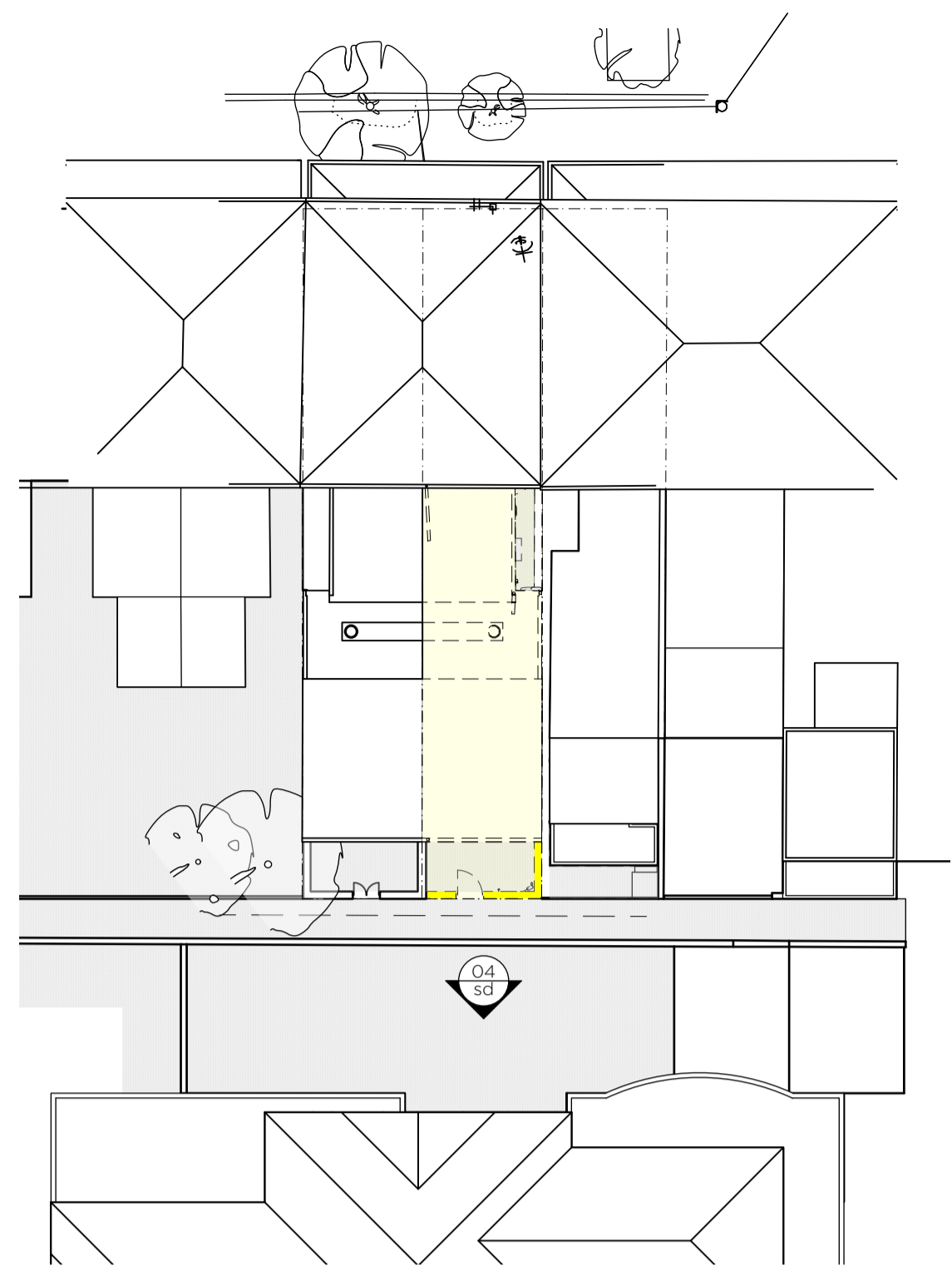
- services notes**
 LOCATION OF EXTERNAL VENT PENETRATIONS TO BE ON SITE
- STORMWATER
 - MECHANICAL
 - ELECTRICAL
 - MAINS HYDRAULIC
 - SEWER
 - GAS

general notes
 AT SHEET
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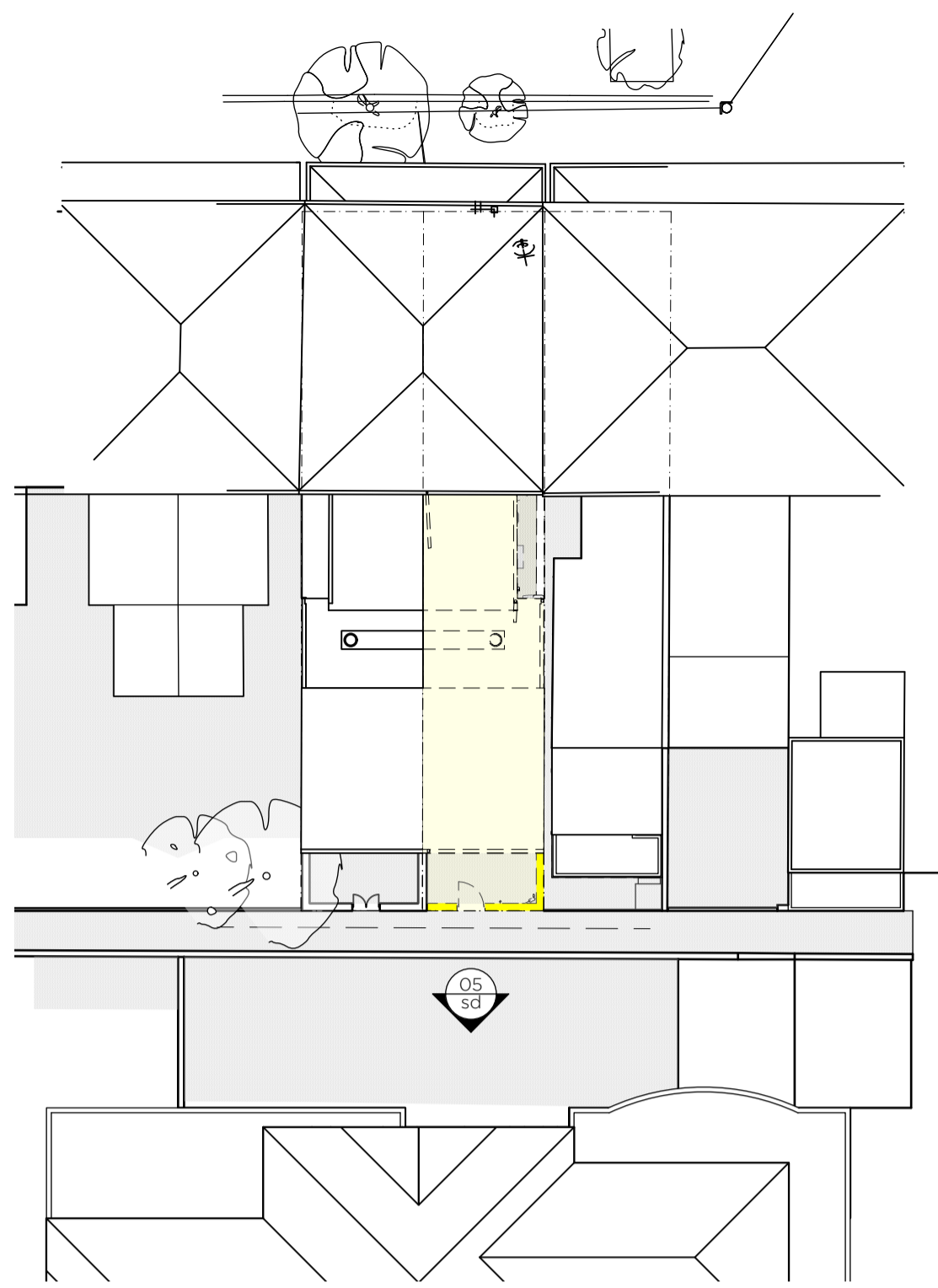
issue DA	date 29-04-20
project no. 83	
location LOT 1, DP 104145 9 BEACH ST, NEWCASTLE, NSW, 2300	
client PENNY & OLIVER COAKES	
project ALTERATIONS AND ADDITIONS	
scale 1:50 @ A1	
sheet title 83ser01 - SERVICES	
sheet no. 1 of 1	
date APRIL 2020	

01. proposed services plan 1:50

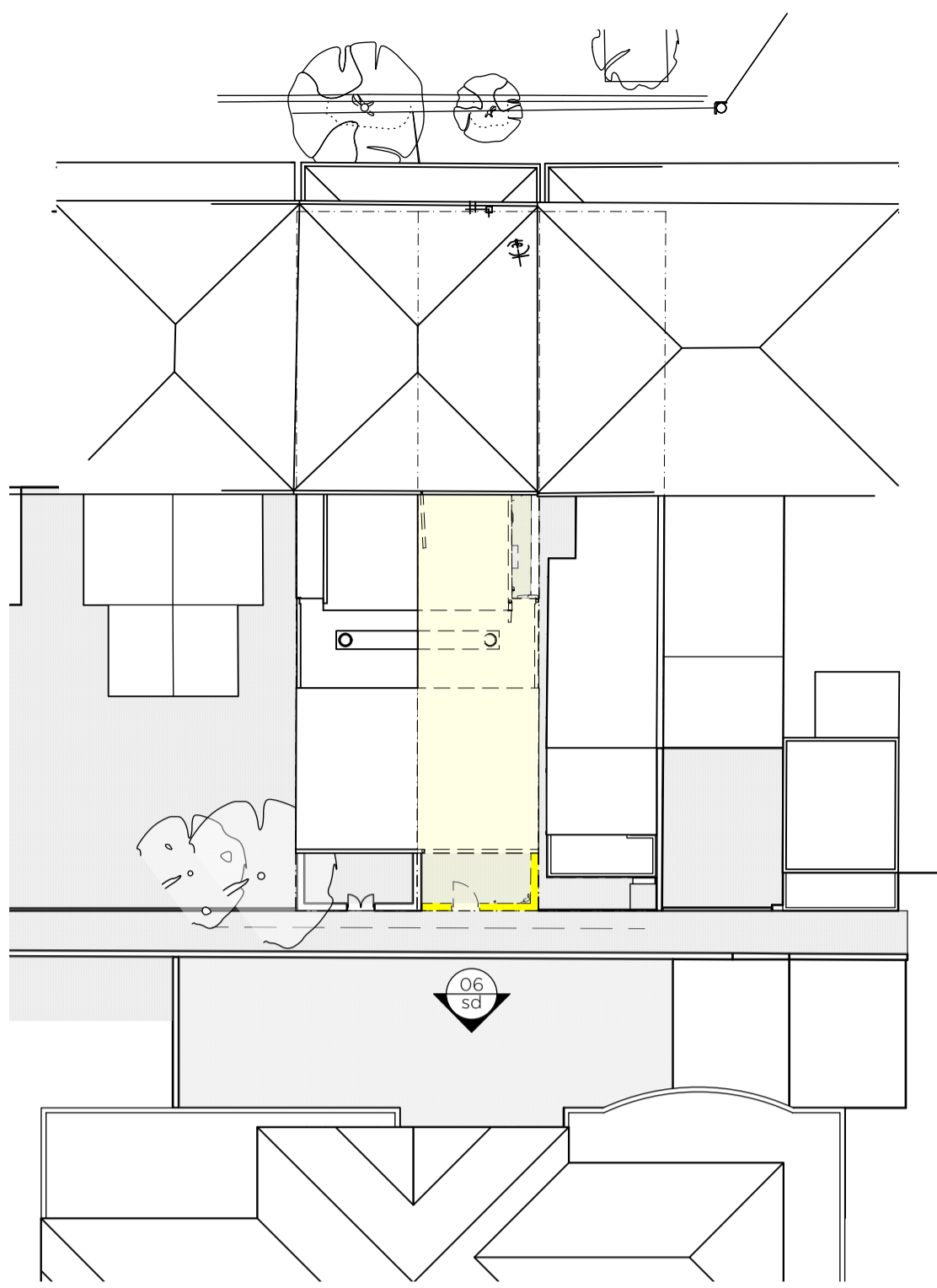




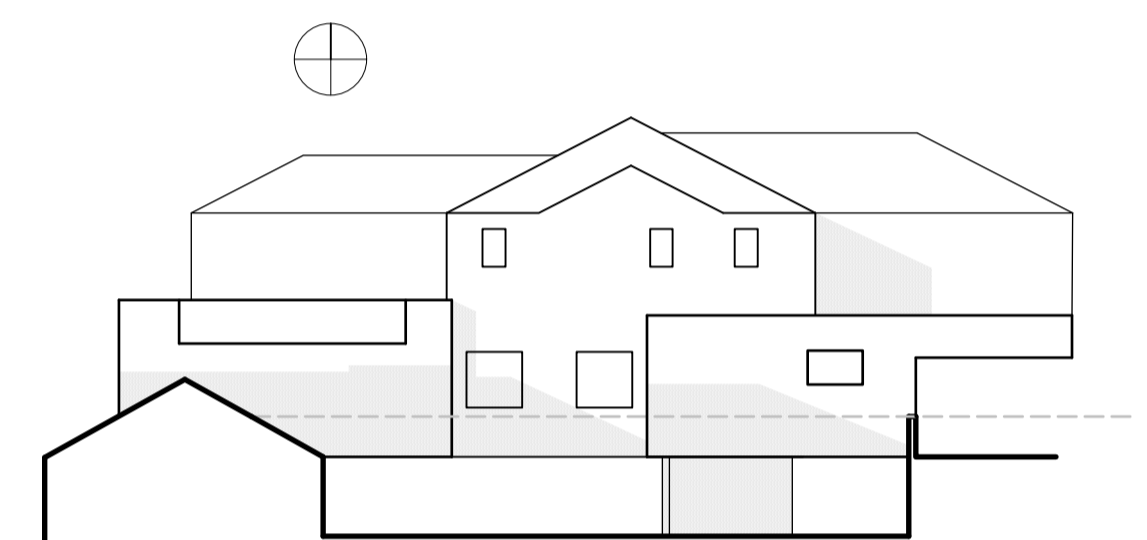
01. existing site plan 9am 1:200



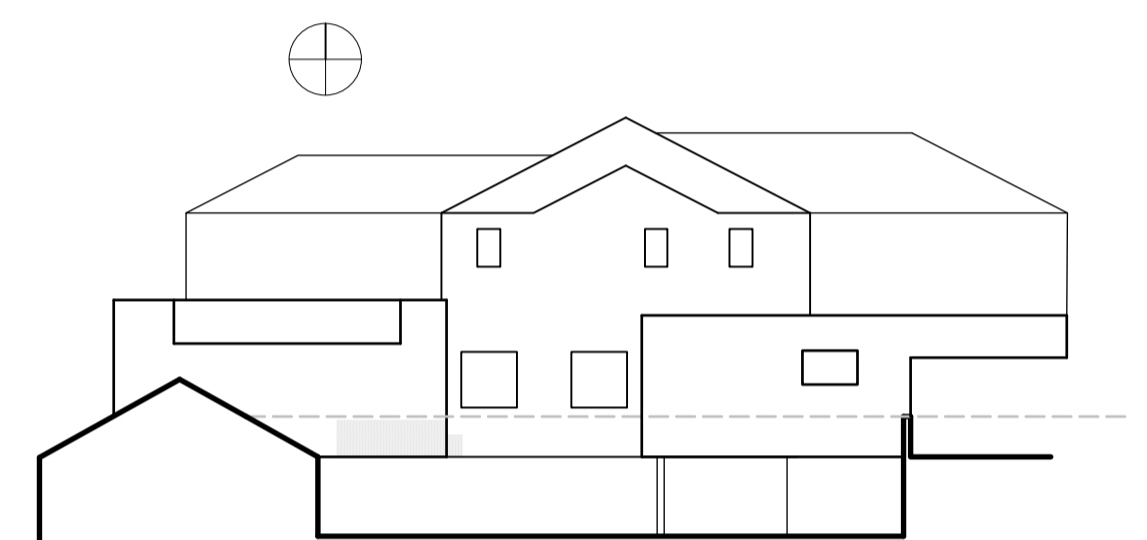
02. existing site plan 12pm 1:200



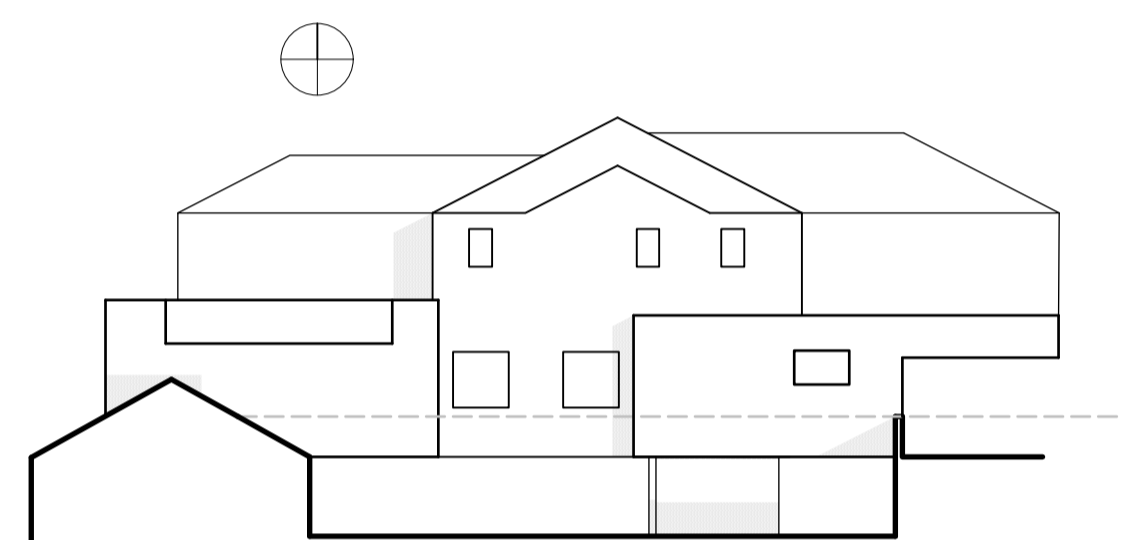
03. existing site plan 15pm 1:200



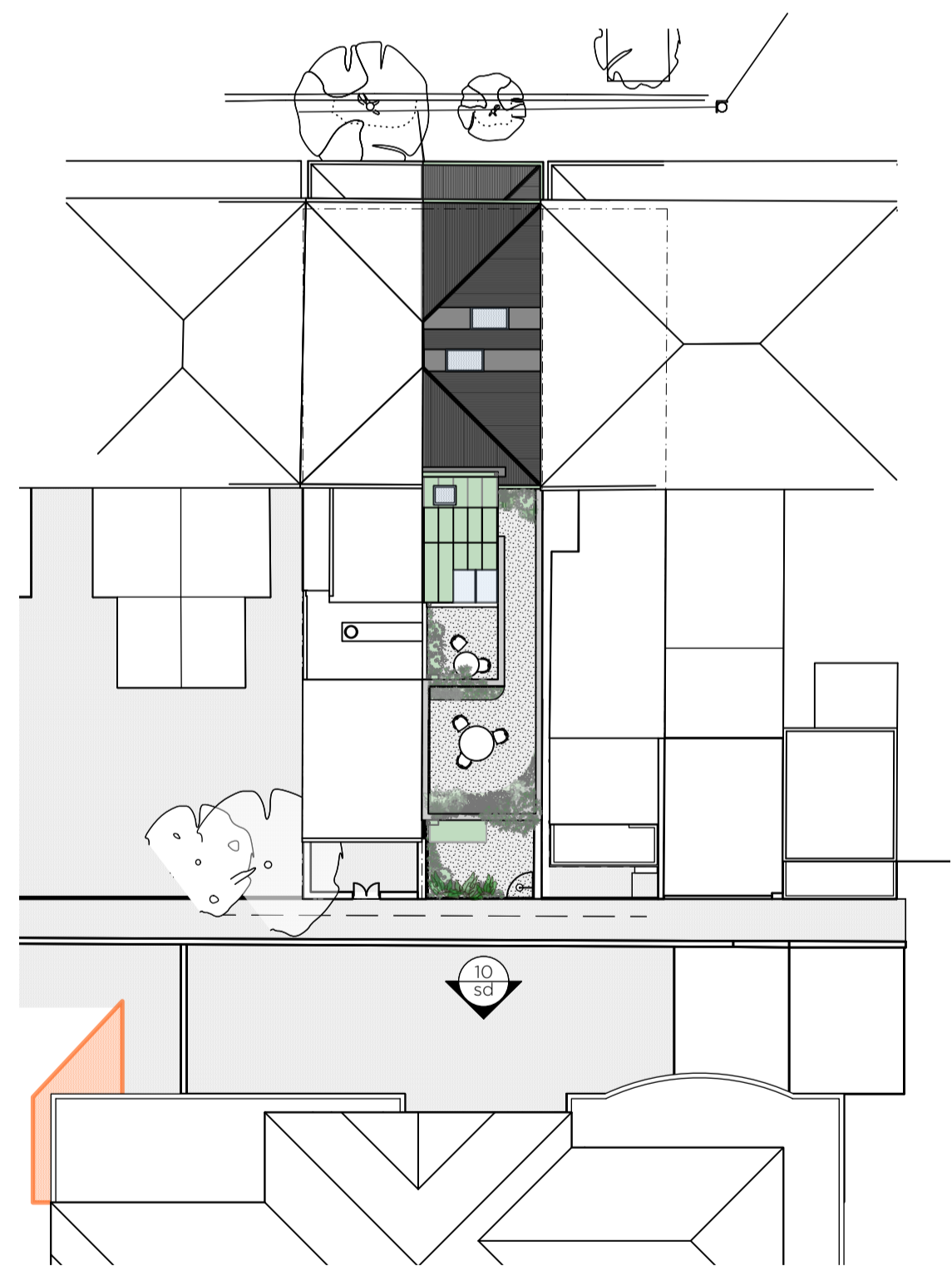
04. existing #9 Murray Ave North Facade 9am 1:200



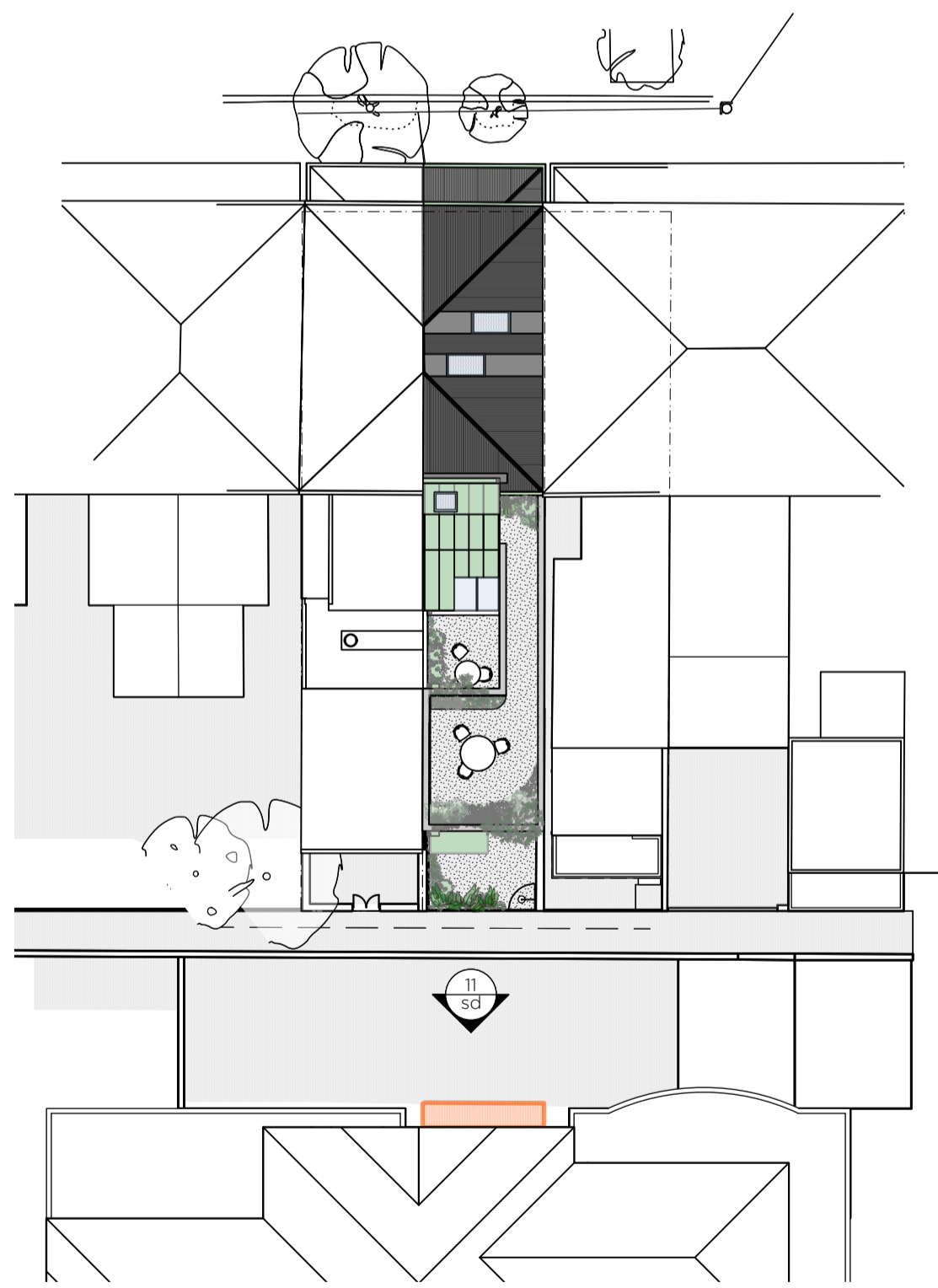
05. existing #9 Murray Ave North Facade 12pm 1:200



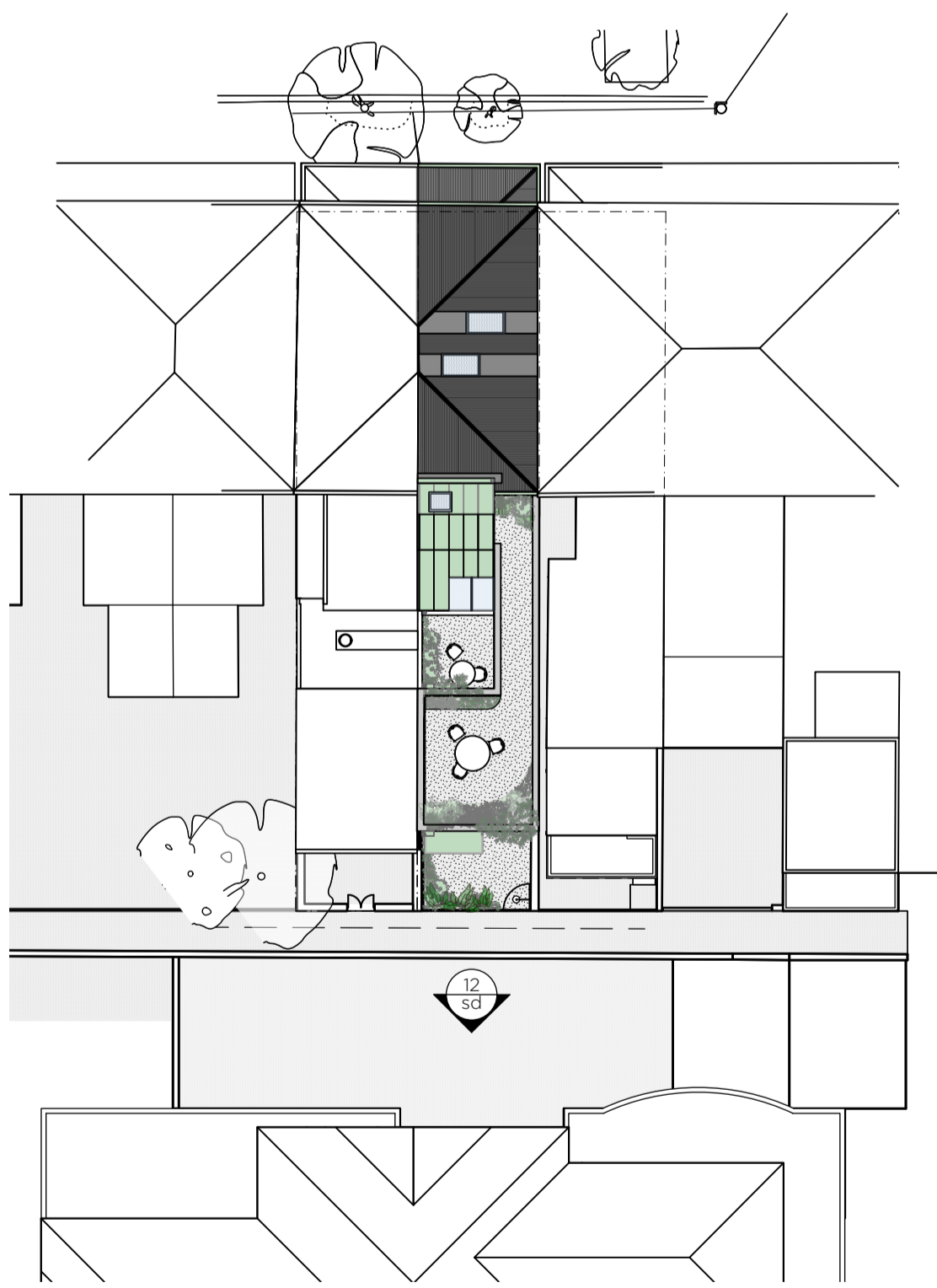
06. existing #9 Murray Ave North Facade 15pm 1:200



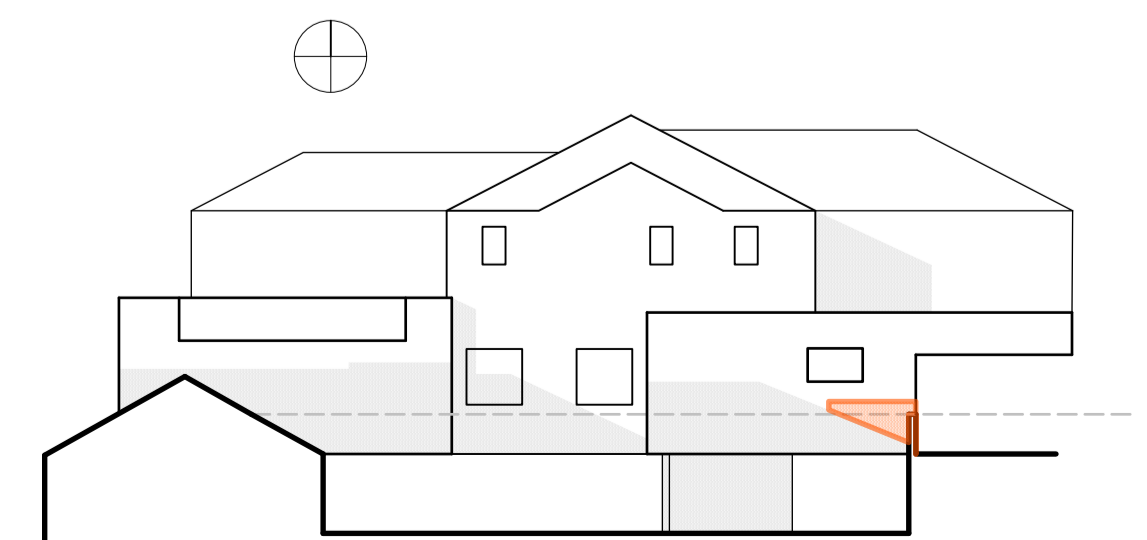
07. proposed site plan 9am 1:200



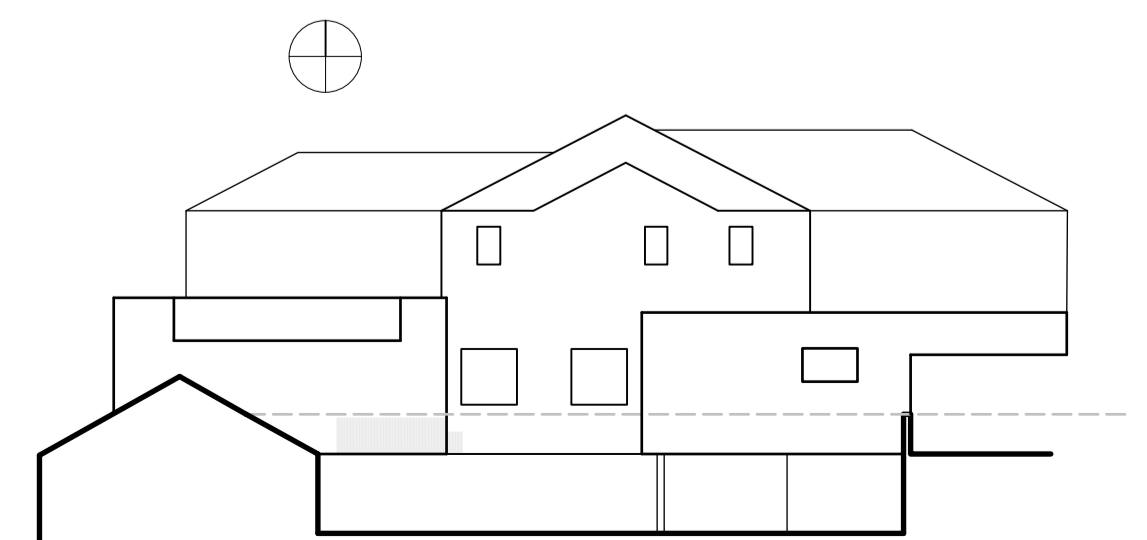
08. proposed site plan 12pm 1:200



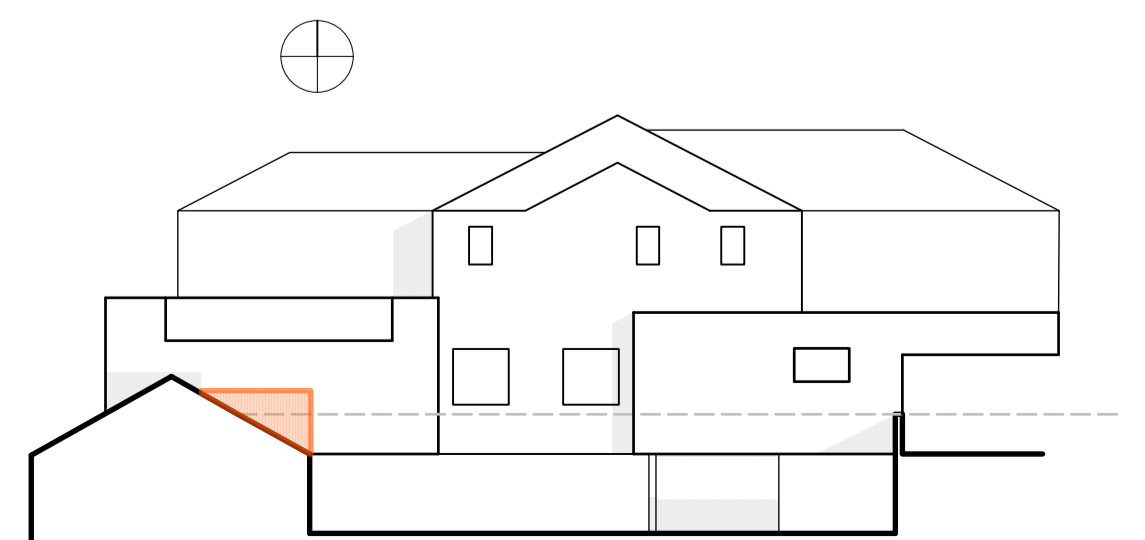
09. proposed site plan 15pm 1:200



10. proposed #9 Murray Ave North Facade 9am 1:200



11. proposed #9 Murray Ave North Facade 12pm 1:200



12. proposed #9 Murray Ave North Facade 15pm 1:200

shadow diagram notes

ADDITIONAL SHADOWS CAST BY PROPOSED STRUCTURE FROM SUBJECT PROPERTY

THE REAR DEVELOPMENT #9 MURRAY AVENUE HAS NOT BEEN SURVEYED - SETOUT, HEIGHTS, OPENING LOCATIONS ARE APPROXIMATE ONLY

general notes

A1 SHEET

THESE DOCUMENTS ARE FOR DEVELOPMENT APPLICATION PURPOSES ONLY, NOT TO BE USED FOR CONSTRUCTION.

THE PROPOSED WORKS ARE TO BE READ IN ACCORDANCE WITH THE BCA AUSTRALIAN STANDARDS, LOCAL AUTHORITIES & GOVERNMENT REGULATIONS. STRUCTURAL DETAILS ARE SUBJECT TO STRUCTURAL ENGINEER'S SPECIFICATIONS. DRAINAGE & WATER DETAILS ARE SUBJECT TO HYDRAULIC ENGINEER'S SPECIFICATIONS. SITE RL'S, LOCATIONS & SETOUTS REQUIRE CLASSIFICATION BY A REGISTERED SURVEYOR. GROUND CONDITIONS ARE SUBJECT TO GEOTECH ENGINEER'S SPECIFICATIONS. BUSHFIRE DETAILS ARE SUBJECT TO A BUSHFIRE CONSULTANT.

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 MEMBERSHIP INSTITUTION OF ARCHITECTS MEMBER

issue DA **date** 29-04-20

project no. 83

location LOT 1, DP 104145
 9 BEACH ST,
 NEWCASTLE, NSW, 2300

client PENNY & OLIVER COAKES

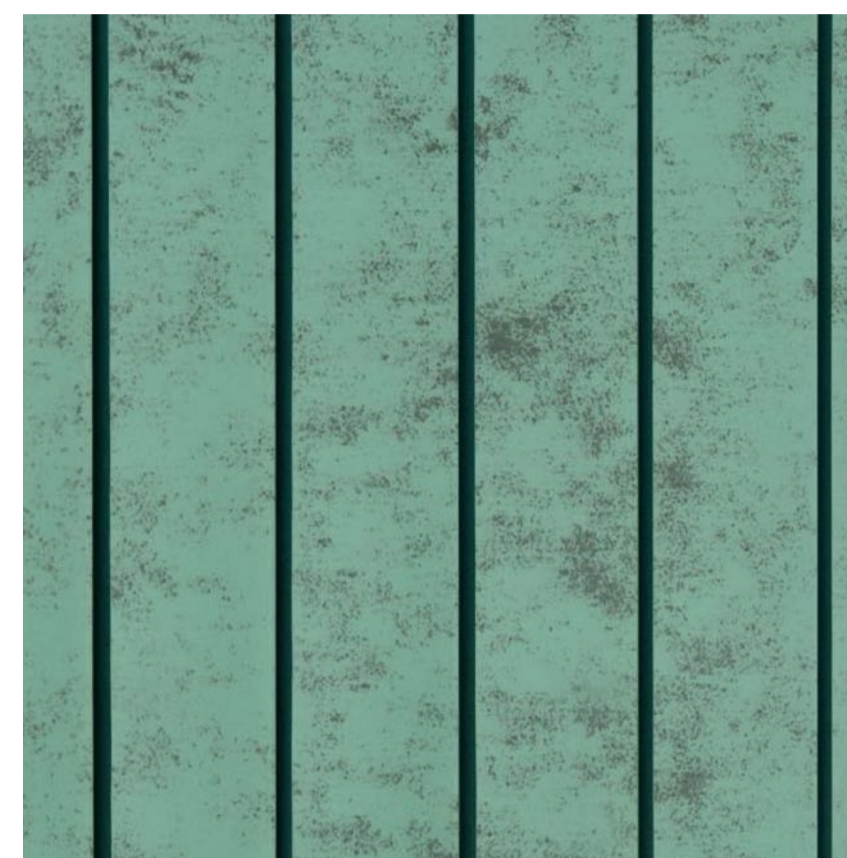
project ALTERATIONS AND ADDITIONS

scale 1:200 @ A1

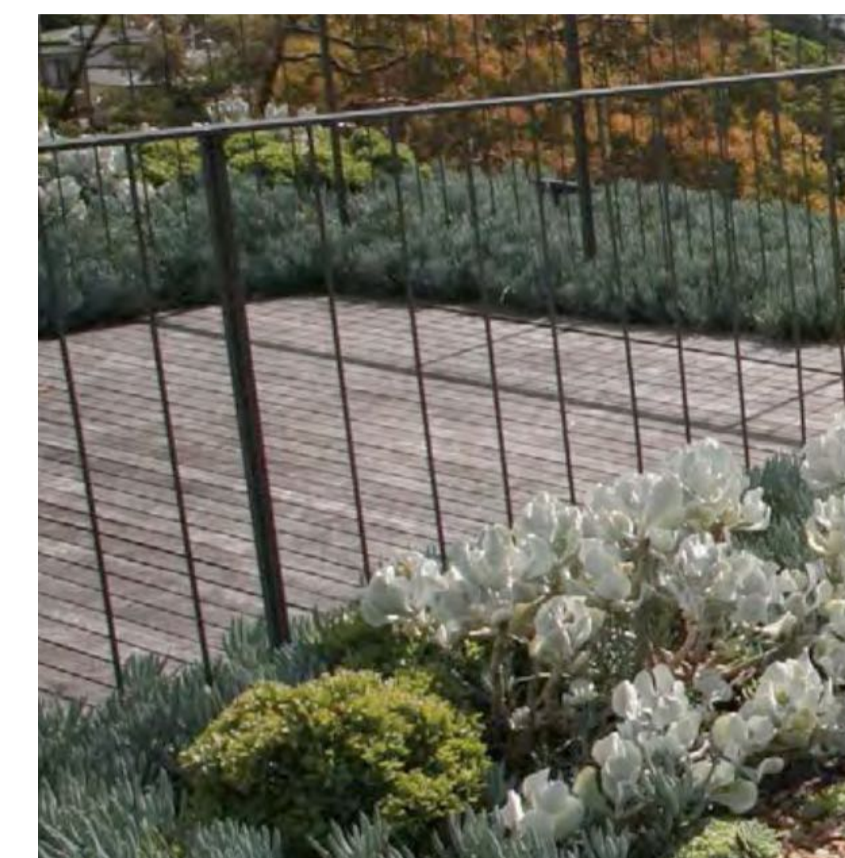
sheet title 83s001 - SHADOW DIAGRAMS

sheet no. 1 of 1

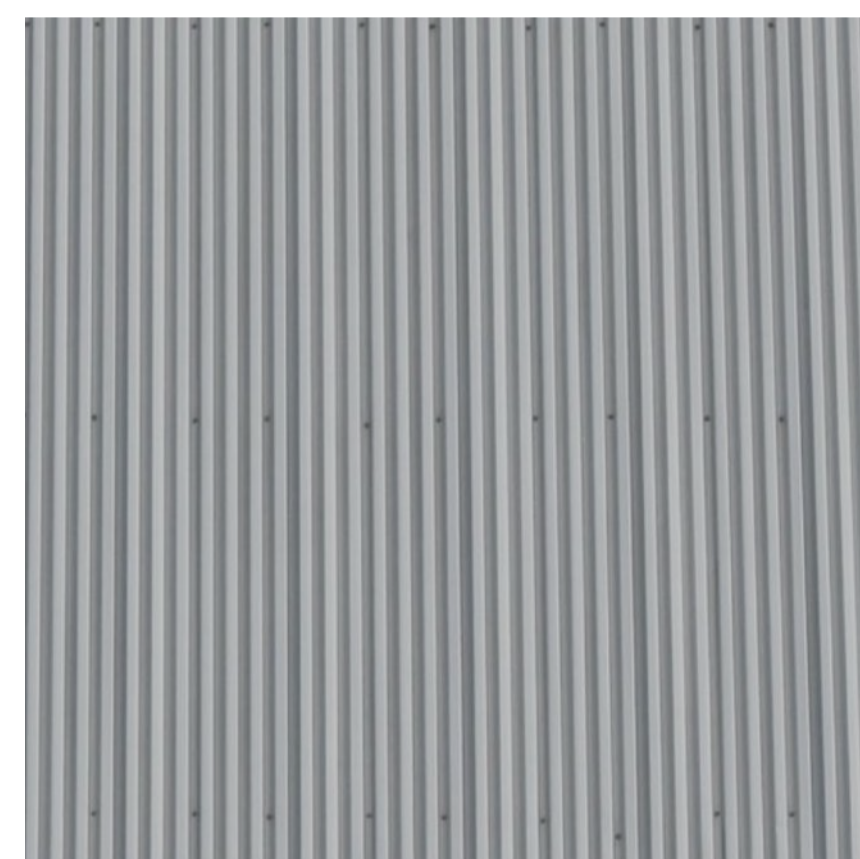
date APRIL 2020



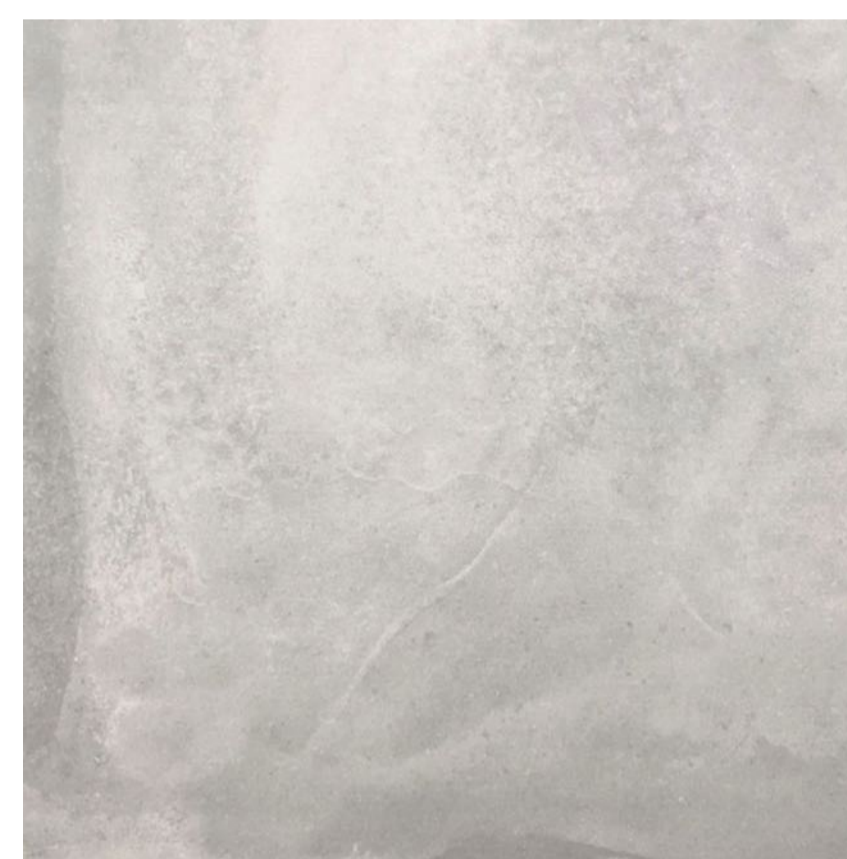
Rear Roof Sheeting, Roofing Accessories, Window Hoods - Copper



Steel Handrail - Matt Black



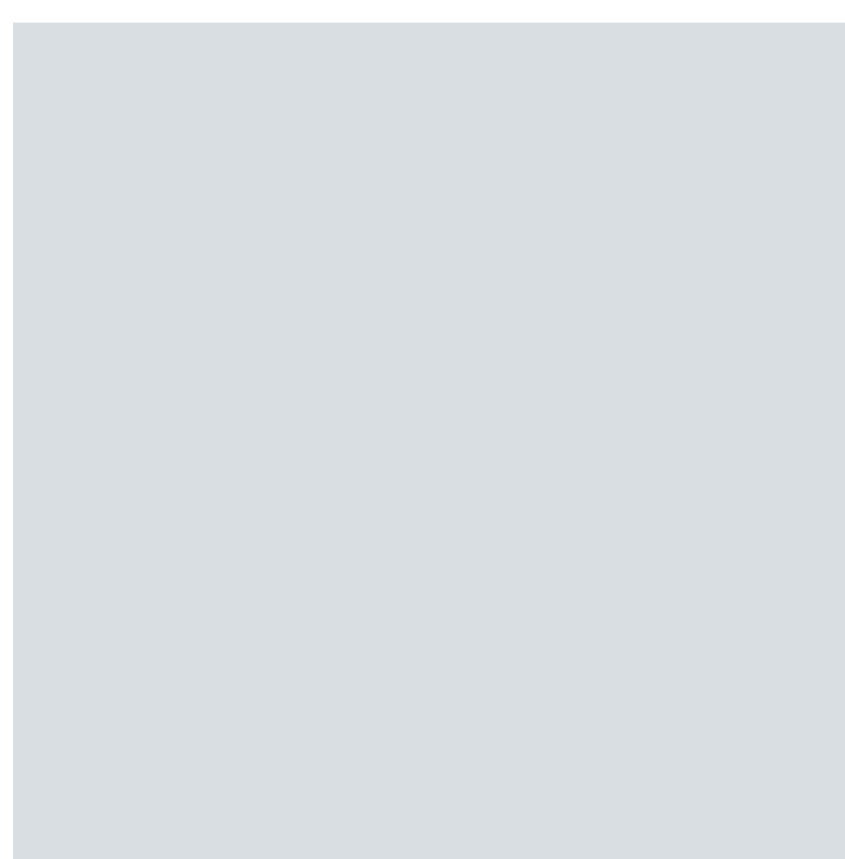
Front Roof Sheeting - Lysaght custom orb, with Colorbond Stainless, Windspray



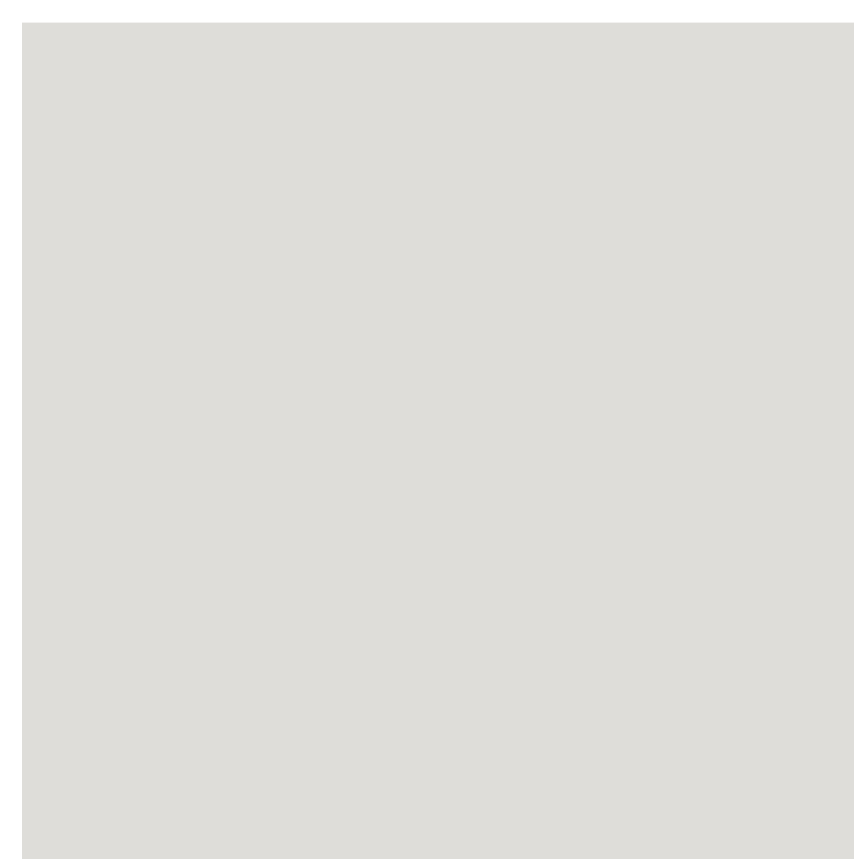
Burnished Concrete Deck, Concrete Roof Parapet - Grey



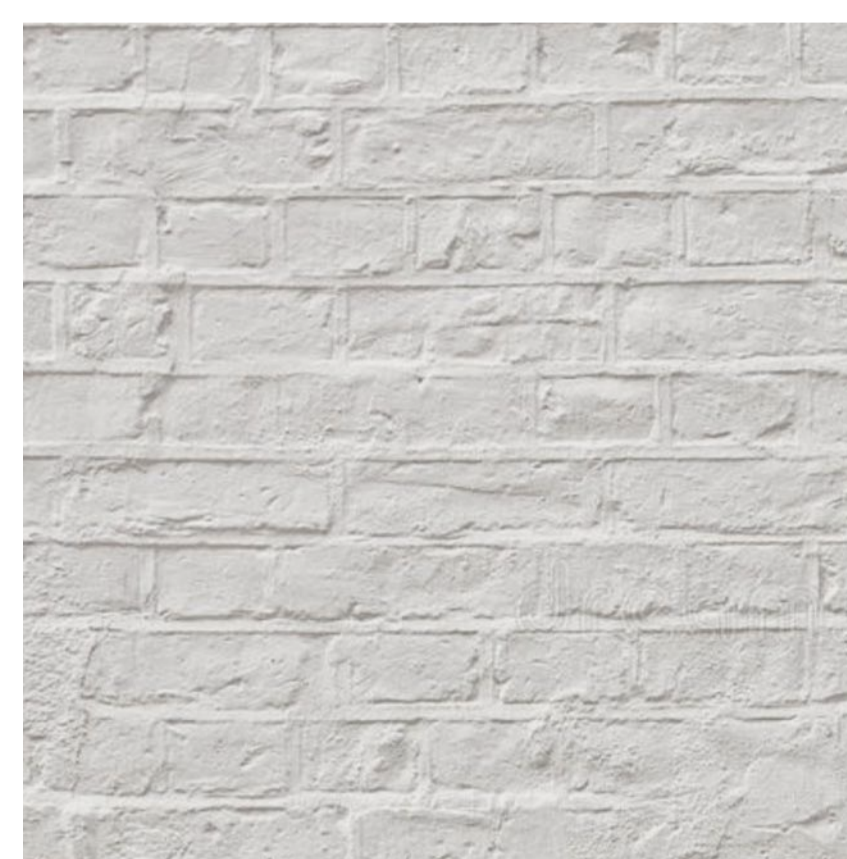
Slatted Timber Screen - Spotted Gum



Entry Door Highlight - Dulux, Cloudform



Painted Facade, Walls and Roof trims - Dulux, Casper Grey



Painted Brickwork - Dulux, Casper Grey



Steel Door & Window Detail - Matt Black

01. finishes external

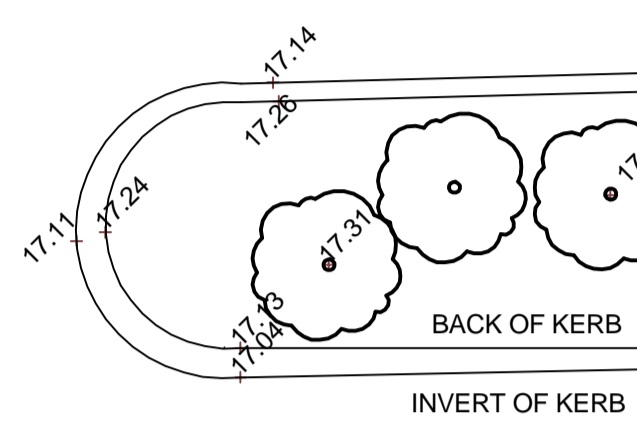
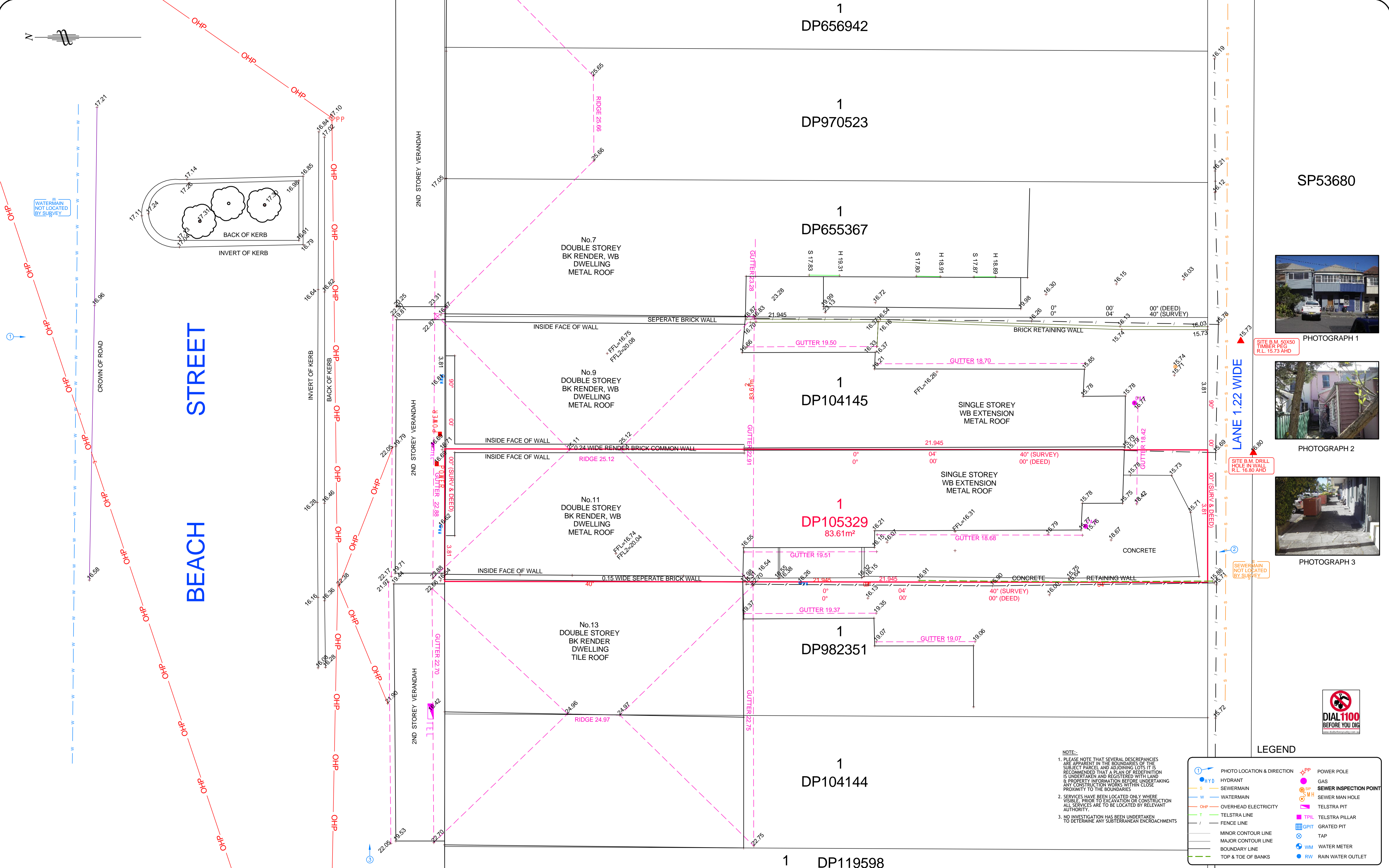
general notes	
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©jphellowell <small>NSW ARCHITECTS REGISTRATION NUMBER 1922 MULTI-DISCIPLINARY INSTITUTE OF ARCHITECTS MEMBER</small>	
issue	date
DA	29-04-20
project no.	
83	
location	
LOT 1, DP 104145 9 BEACH ST, NEWCASTLE, NSW, 2300	
client	
PENNY & OLIVER COAKES	
project	
ALTERATIONS AND ADDITIONS	
scale	
n3 @ A1	
sheet title	
83img01 - FINISHES	
sheet no.	
1 of 1	
date	
APRIL 2020	

j.p.hellowell

jon@jphellowell.com

jphellowell.com

0431 050 215



LANE 1.22 WIDE

SITE B.M. 50X50
TIMBER PILES
R.L. 15.73 AHD

SITE B.M. DRILL
HOLE IN WALL
R.L. 16.80 AHD

SEWER MAIN
NOT LOCATED
BY SURVEY

NOTE:
1. PLEASE NOTE THAT SEVERAL DISCREPANCIES ARE APPARENT IN THE BOUNDARIES OF THE SUBJECT PARCEL AND ADJOINING LOTS IT IS RECOMMENDED THAT A PLAN OF REDEFINITION IS UNDERTAKEN AND REGISTERED WITH LAND & PROPERTY INFORMATION BEFORE UNDERTAKING ANY CONSTRUCTION WORKS WITHIN CLOSE PROXIMITY TO THE BOUNDARIES
2. SERVICES HAVE BEEN LOCATED ONLY WHERE VISIBLE. PRIOR TO EXCAVATION OR CONSTRUCTION ALL SERVICES ARE TO BE LOCATED BY RELEVANT AUTHORITY.
3. NO INVESTIGATION HAS BEEN UNDERTAKEN TO DETERMINE ANY SUBTERRANEAN ENCROACHMENTS

LEGEND	
	PHOTO LOCATION & DIRECTION
	HYDRANT
	SEWERMAIN
	WATERMAIN
	OVERHEAD ELECTRICITY
	TELSTRA LINE
	FENCE LINE
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	BOUNDARY LINE
	TOP & TOE OF BANKS
	POWER POLE
	GAS
	SEWER INSPECTION POINT
	SEWER MAN HOLE
	TELSTRA PIT
	TELSTRA PILLAR
	GRATED PIT
	TAP
	WATER METER
	RAIN WATER OUTLET



A	ISSUED FOR APPROVAL	23/10/12
Ed.	Details of Revisions	Date

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USE OF THE PLAN AND INFORMATION IT CONTAINS FOR ANY OTHER PURPOSE IS NOT PERMITTED UNLESS PRIOR WRITTEN APPROVAL HAS BEEN OBTAINED FROM LAND DEVELOPMENT SOLUTIONS Pty Ltd.

Client / Council Development Consent Number

Scale: 1:50 (A1)
Origin: PM 1980B
Designed: B.B.
Checked: C.S.
Job Number: 4608

Datum: AHD
Contour Int:
Drawn: C.S.
Approved: J.H.
Drawing File: 4608DET.dwg

Registered Surveyor:

Land Development SOLUTIONS

Surveying • Planning • Engineering

PO Box 853 THE JUNCTION NSW 2291

Phone: (02) 4963 5520 Fax: (02) 4963 5521
E-mail: mail@lds.net.au

ABN: 42 110 897 928

DETAIL SURVEY
OF LOT 1 DP 105392 BEING
No.11 BEACH STREET
NEWCASTLE EAST.

Drawing Number	Edition
1	A
Sheet 1 of 1	



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 20/10/2020 – DA2020/00443 – 9 BEACH STREET NEWCASTLE
EAST – DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-37 Attachment B: Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No:	DA2020/00443
Land:	Lot 1 DP 104145
Property Address:	9 Beach Street Newcastle East NSW 2300
Proposed Development:	Dwelling house - alterations and additions

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Proposed Plans	83dwg05	J P Hellowell Design	29/04/2020
Rooftop terrace	83dwg05c	J P Hellowell Design	03/07/2020
Sections & Elevations	83dwg06	J P Hellowell Design	29/04/2020
Statement of Environmental Effects	Issue 01 – DA	J P Hellowell Design	–
Heritage Impact Statement	–	Amenity	17/04/2020
BASIX Report	A372545	J P Hellowell Design	27/04/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

- A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the City of Newcastle and to the demolisher prior to commencement of work.
- Demolition works are to be undertaken in accordance with *Australian Standard 2601:2001 - The Demolition of Structures* and the following requirements:
 - Demolition works are to be conducted in accordance with the submitted

Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan is to be kept on site for the duration of the proposed development;

- b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the required class of Asbestos Licence, issued by SafeWork NSW;
 - c) A copy of all waste disposal receipts are to be kept on site for the duration of the proposed development and made available to authorised City of Newcastle officers upon request;
 - d) Seven working days' notice in writing is to be given to the City of Newcastle and the owners/occupiers of neighbouring premises prior to the commencement of any demolition work. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises is also to include City of Newcastle's contact telephone number (4974 2000) and the SafeWork NSW telephone number (4921 2900); and
 - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
4. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
 5. If the development involves an excavation that extends below the level of the base of the footings of a building on adjoining land, the person having the benefit of the development consent is to, at that person's own expense:
 - a) Protect and support the adjoining premises from possible damage from the excavation, and
 - b) Where necessary, underpin the adjoining premises to prevent any such damage.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to the requirements not applying.
 6. A Registered Surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
 7. A survey certificate prepared by a Registered Surveyor is to be submitted to the Principal Certifier upon completion of the floor slab formwork, before concrete is poured, to verify that the siting of the building in relation to adjacent boundaries is in accordance with the development consent.
 8. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.

9. Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared of any obstructions.
10. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
11. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
 - a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

12. All building work is to be carried out in accordance with the provisions of the National Construction Code.
13. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
14. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
15. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.
16. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

17. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

18. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
19. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

20. The following waste management measures are to be implemented during construction:
 - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
 - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

21. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
22. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
23. Prior to the issue of an Occupation Certificate, the building shall be upgraded to comply with Performance Criteria P2.3.2 (Automatic warning for occupants) of the Building Code of Australia.

24. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
25. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.
26. All privacy screening and terrace balustrade elements depicted on the approved plans are to be installed to the development prior to the issue of an Occupation Certificate.

ADVISORY MATTERS

- An application is to be submitted to the City of Newcastle for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Development applications are not assessed against the provisions of the National Construction Code. An application to modify the application under the *Environmental Planning and Assessment Act 1979* will be required if design amendments that cause the proposal to be inconsistent with the development consent are necessary to comply with the provisions of the Building Code of Australia.
- If archaeological deposits or relics not considered in the supporting documents for this consent are discovered, work must cease in the affected area(s) and the Heritage Council of NSW notified. Additional assessment and approval may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Note: The Heritage Council of NSW can be contacted on 02 9873 8500 or heritagemailbox@environment.nsw.au. A 'relic' is any deposit, object or material evidence that relates to the settlement of New South Wales, not being Aboriginal settlement, and is of State or local significance. It is an offence under the provisions of the Heritage Act 1977 (NSW) for a person to disturb or excavate any land on which the person has discovered a relic except in accordance with a gazetted exemption or an excavation permit issued by the Heritage Council of NSW.

- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.

- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Council has considered and accepted the proposed development standard variation made under Clause 4.6 of the Newcastle Local Environmental Plan 2012. The proposed 40% variation is considered acceptable in the particular circumstances of this case as the variation will not significantly overshadow the neighbouring properties, obstruct significant view corridors and result in negative privacy issues. It has been suitably demonstrated that the proposed development will not adversely affect the heritage significance of the Newcastle East Heritage Conservation Area nor adjoining heritage items, and that the proposed floor space ratio is consistent with adjoining development. It has been suitably demonstrated the proposed building bulk and scale makes a positive contribution to this area.
- The proposed development has acceptable heritage impacts and well-considered site planning.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



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**DAC 20/10/2020 – DA2020/00443 – 9 BEACH STREET NEWCASTLE
EAST – DWELLING HOUSE - ALTERATIONS AND ADDITIONS**

ITEM-37 Attachment C: Processing Chronology

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PROCESSING CHRONOLOGY

DA2020/00443 – 9 Beach Street Newcastle East

30 April 2020	-	Application lodged
11 May 2020	-	Public notification.
13 May 2020	-	Preliminary request for additional information
11 June 2020	-	Additional information received
25 June 2020	-	Request for additional information
3 July 2020	-	Additional information received
22 July 2020	-	Additional information received
24 August 2020	-	Email from adjoining neighbour, confirming concerns raised in submission have been satisfied.