



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/08/2020 – DA2019/01097 – 15 NORTHUMBERLAND STREET
MARYVILLE – MULTI-DWELLING – DEMOLITION OF DWELLING,
ERECTION OF THREE ATTACHED DWELLINGS AND TWO LOT
INTO THREE LOT SUBDIVISION**

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PAGE 13	ITEM-26	Attachment B:	Draft Schedule of Conditions
PAGE 27	ITEM-26	Attachment C:	Processing Chronology

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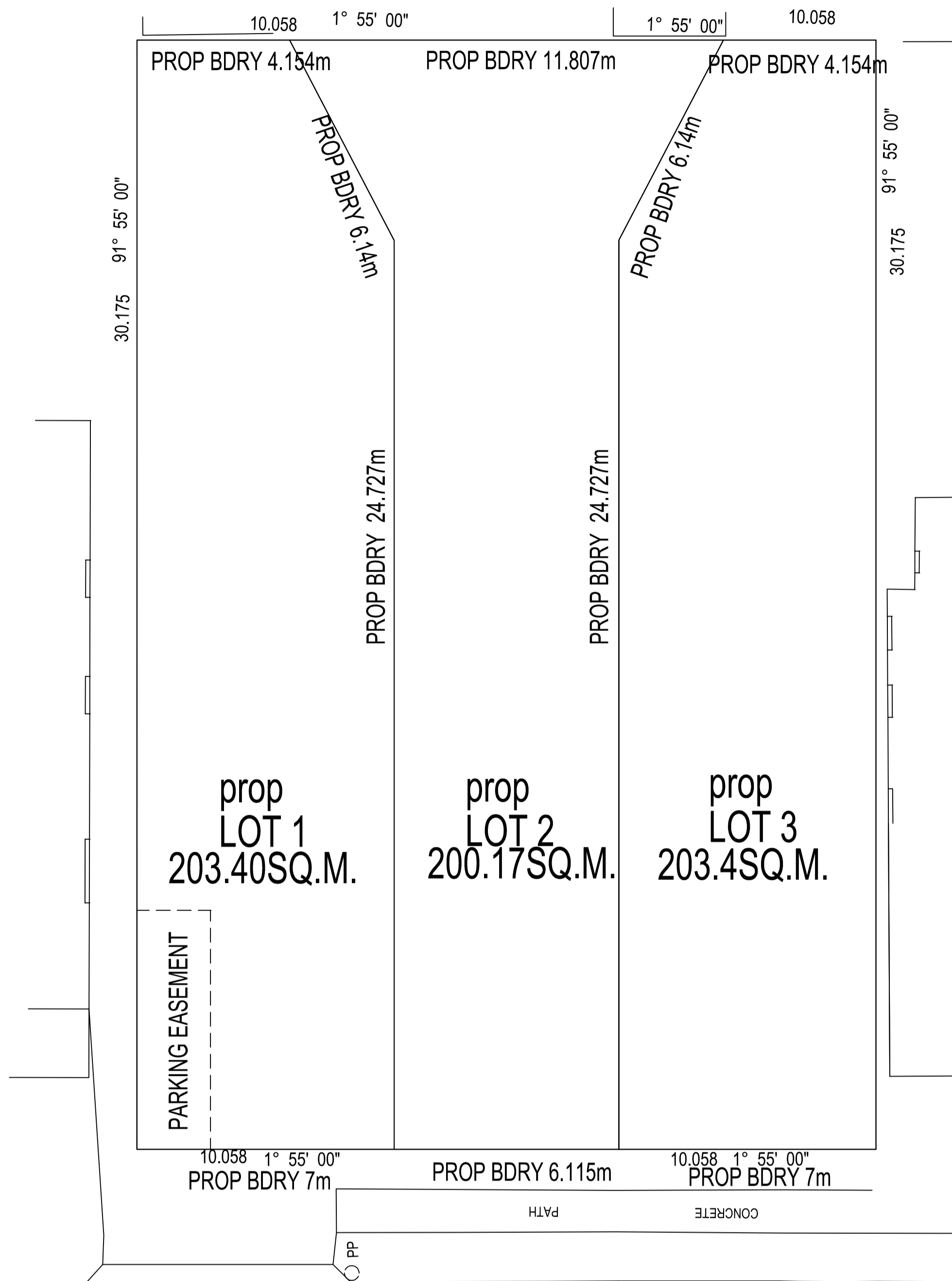
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MARYVILLE – MULTI-DWELLING – DEMOLITION OF DWELLING,
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ITEM-26 Attachment A: Submitted Plans

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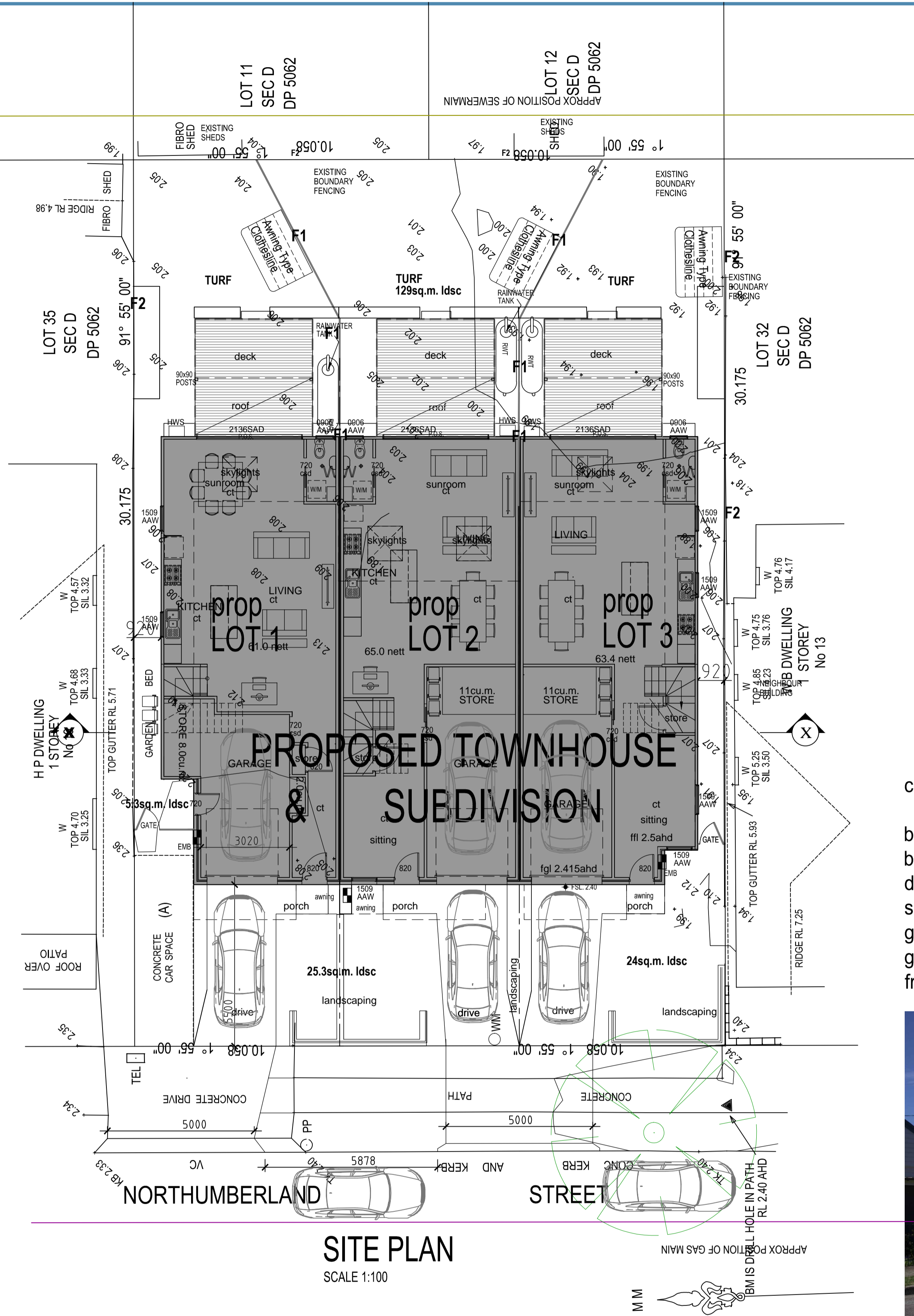




site area 606.97sq.m.
Proposed subdivision

lot 1 = 203.40 sq.m.
lot 2 = 200.17 sq.m.
lot 3 = 203.40 sq.m.

SUBDIVISION PLAN
SCALE 1:100

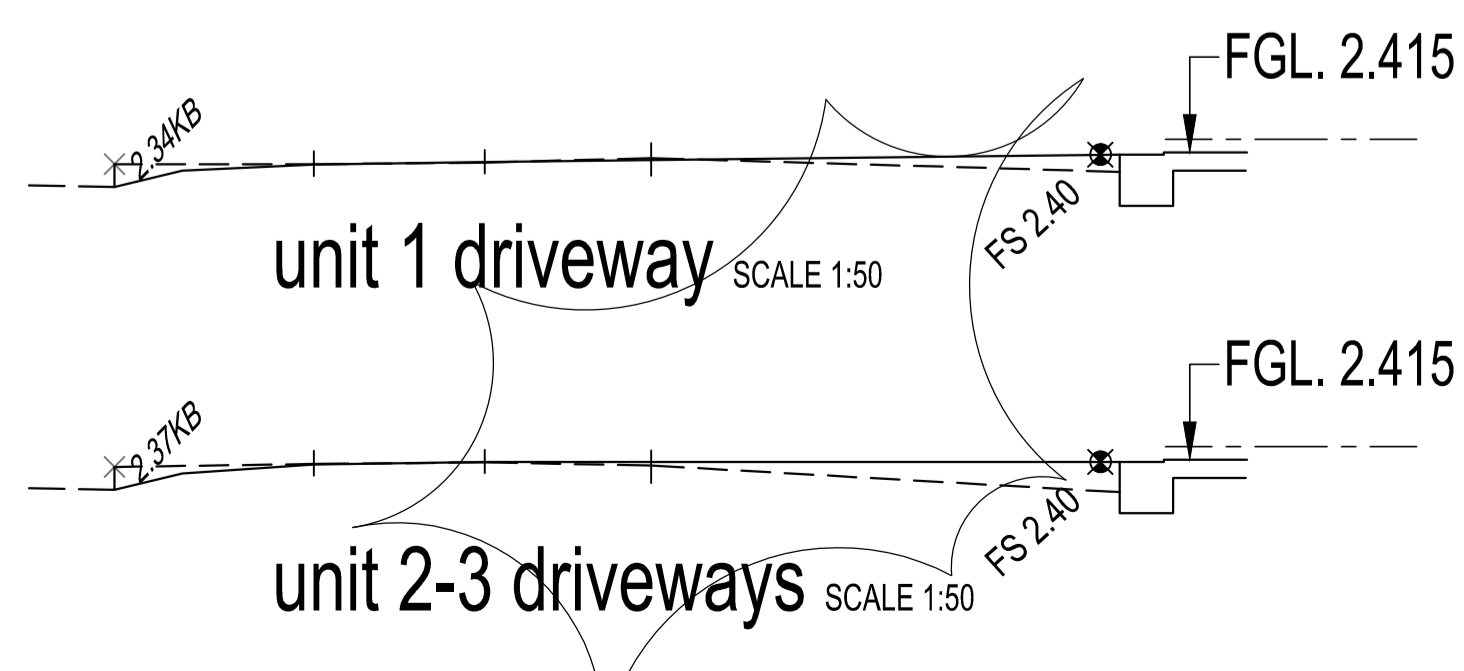


SITE PLAN
SCALE 1:100

colours

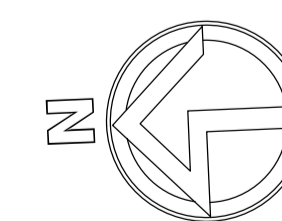
brickwork
background upper cladding
deck surround cladding
side and rear cladding
gutters fascias etc
garage doors
front doors

san selmo reclaimed
dulux aumbry
dulux cane toad
colourbond wallaby
colourbond wallaby
colourbond off white
dulux cane toad



R2 ZONE
FSR 1:0.6
8.5m hgt
ex dwelling and verandahs = 195sq.m.
ex. carports and sheds = 95sq.m.
ex. driveways etc = 110sq.m
ex landscaping = 155sq.m.(25%)

limited growth precinct
site area 606.97sq.m.
max 364.2sq.m. nett
landscaping min area 30% of site
182 sq.m (183.6 available)



Proposed Townhouses
& subdivision
for Mr. G. Dickson
H/No. 15
LOTS 33 AND 34
SECTION D DP5062
Northumberland St.
Maryville NSW

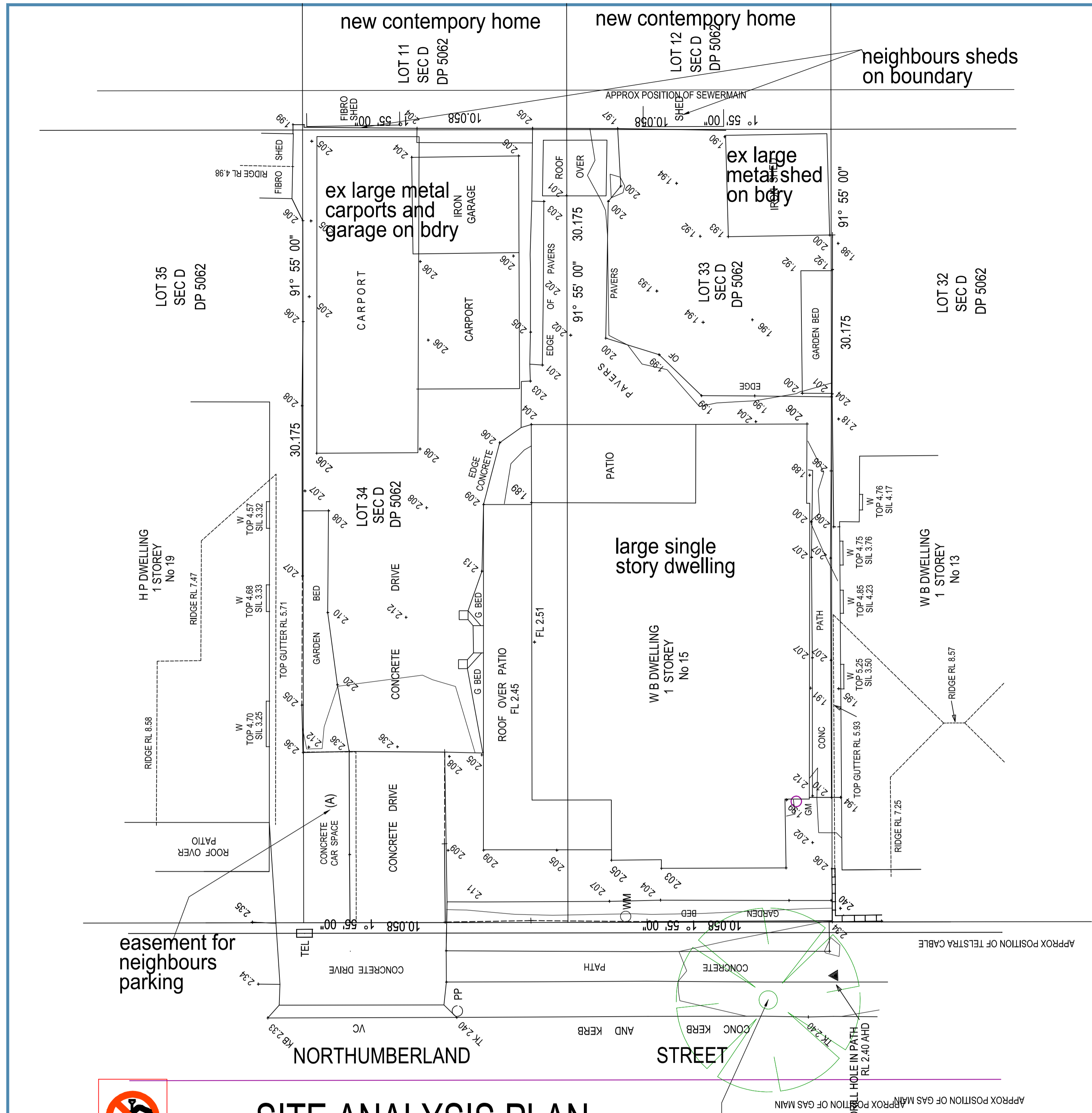
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last update 12-2-2020

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SITE ANALYSIS PLAN

SCALE 1:100

INAPPROPRIATE ANGOPHORA STREET TREE PLANTED BY NEIGHBOUR CAUSING DAMAGE TO FOOTPATH AND OBSTRUCTION



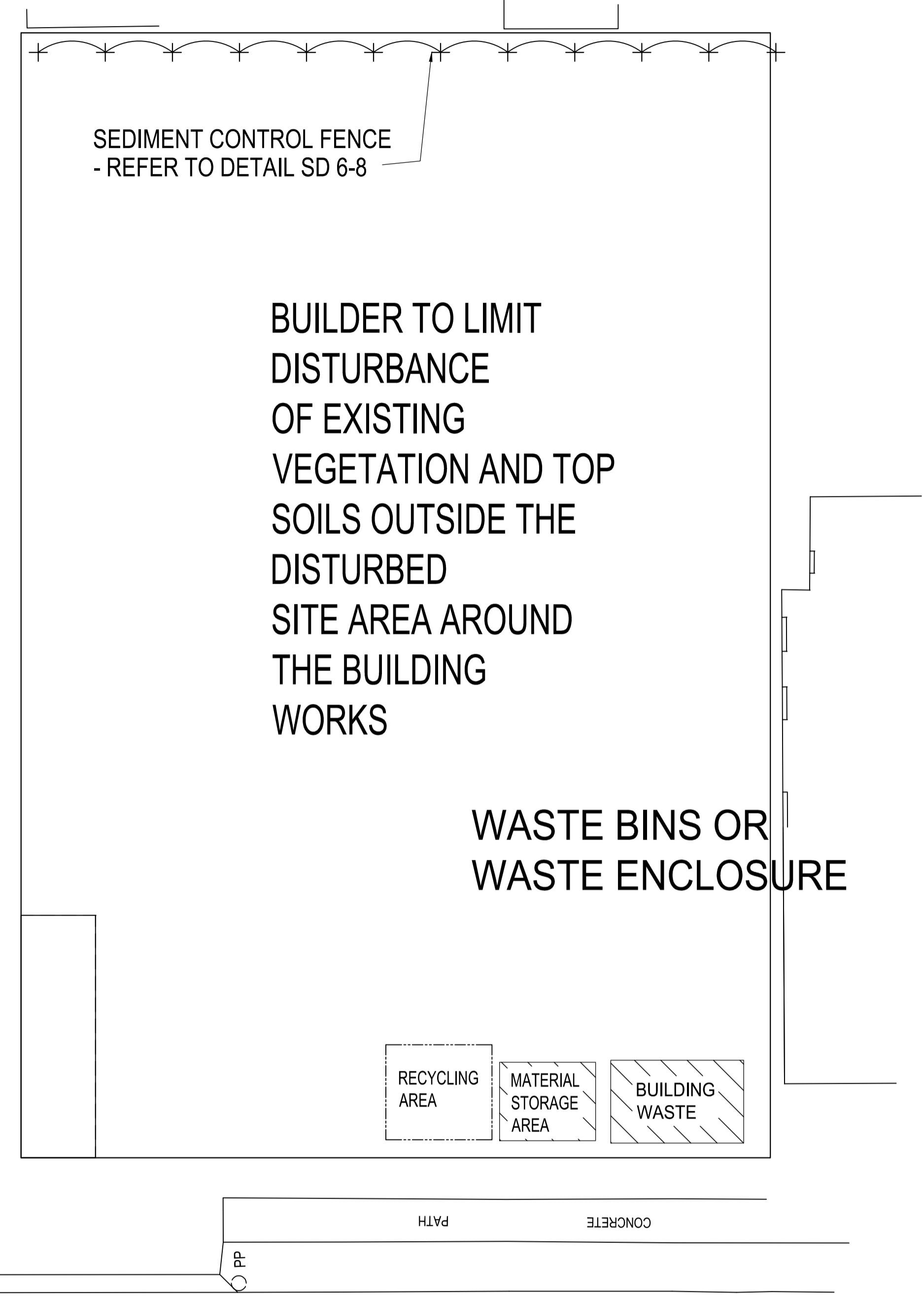
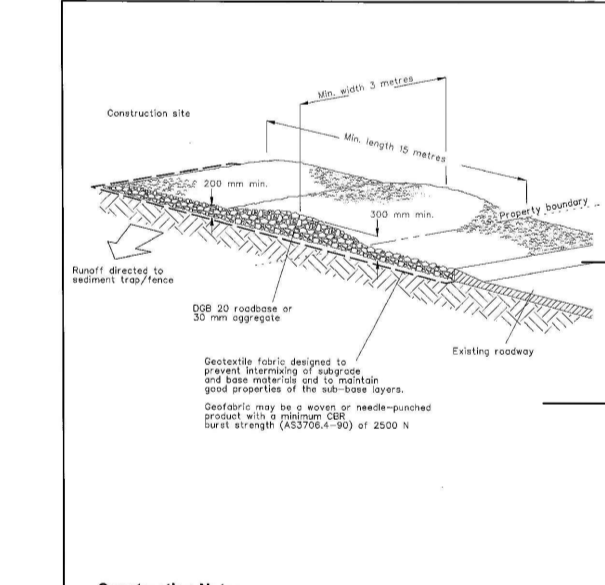
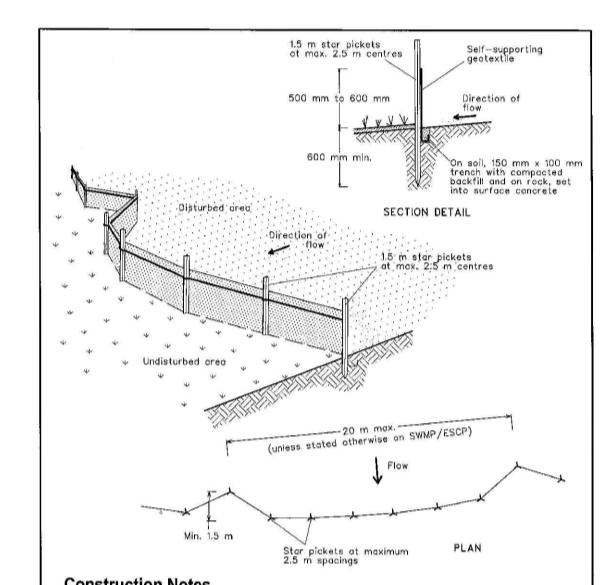
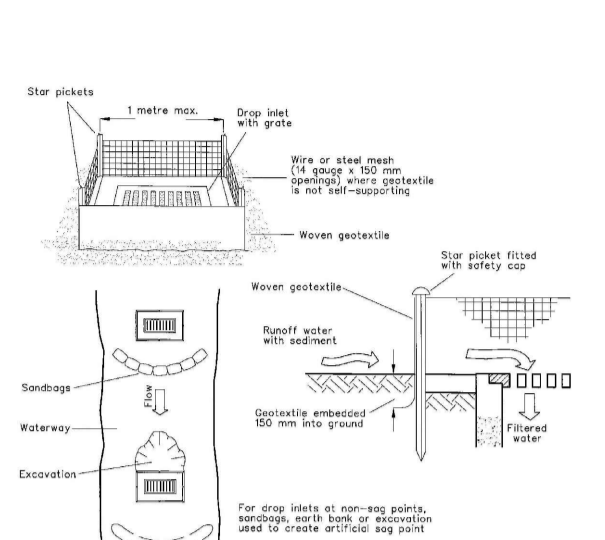
Legend	
	PROPERTY BOUNDARY
	EX. TELSTRA LINE (NOT LOCATED BY SURVEY)
	EX. POWER POLE & OVERHEAD POWER LINES
	EX. SEWER MANHOLE
	EX. SEWER LINE (NOT LOCATED BY SURVEY)
	14.0 EXISTING CONTOURS
	TOE OF BANK
	EXISTING SPOT LEVEL
	FS 12.54 FINISHED SURFACE LEVEL
	FGL 6.92 FINISHED GARAGE LEVEL
	FFL 9.62 FINISHED FLOOR LEVEL

NOTES:- SEDIMENTATION CONTROL

- SITE WORKS ARE NOT TO START UNTIL THE EROSION AND SEDIMENTATION CONTROL MEASURES ARE INSTALLED AND FUNCTIONAL.
- ENTRY AND DEPARTURE OF VEHICLES IS TO BE CONFINED TO THE NOMINATED EXISTING VEHICLE ACCESS OR STABILISED SITE ACCESS.
- TOPSOIL IS TO BE STRIPPED FROM BUILDING SITE AND STOCKPILED FOR LATER USE IN LANDSCAPING THE SITE. TOPSOIL IS TO BE RESPREAD AND ALL DISTURBED AREAS REHABILITATED (TURFED) WITHIN 20 WORKING DAYS OF COMPLETION OF WORKS.
- THE FOOTPATH, OTHER THAN STABILISED SITE ACCESS IS NOT TO BE DISTURBED, INCLUDING STOCKPILING OF MATERIALS. WHERE ESSENTIAL WORKS (eg DRAINAGE) ARE REQUIRED, THE FOOTPATH IS TO BE REHABILITATED (TURFED) AS SOON AS POSSIBLE.

- WASTE BINS ARE TO BE PROVIDED FOR BUILDING WASTE OR WASTE ENCLOSURE MINIMUM 1800x1800x1200mm HIGH CONSTRUCTED USING STAR PICKETS AND 1200mm HIGH WEED CONTROL MAT. ARRANGEMENTS ARE TO BE MADE FOR REGULAR COLLECTION AND DISPOSAL OR RECYCLING OF CONSTRUCTION WASTE.
- NEW ROOF GUTTER IS TO BE CONNECTED TO STREET KERB AND GUTTER STORMWATER SYSTEM ON COMPLETION OF ROOF AND GUTTERING.
- ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS. ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.

- Plan details
- Upstream water diversion around disturbed site area
 - Control of runoff generated within disturbed site area with sedimentation devices and filters.
 - Management of building and waste materials to prevent pollution leaving the site.
- Installation and maintenance requirements
- Erosion and Sediment controls as detailed on plans are to be installed and maintained throughout the course of the works. Controls are not to be removed till all works are completed and all areas are re-planted and stabilised surrounding the building works. The owner is to maintain all drainage elements and water saving fixtures and appliances throughout the life of the house.



Proposed Townhouses & subdivision for Mr. G. Dickson
 H/No. 15
 LOTS 33 AND 34
 SECTION D DP5062
 Northumberland St.
 Maryville NSW

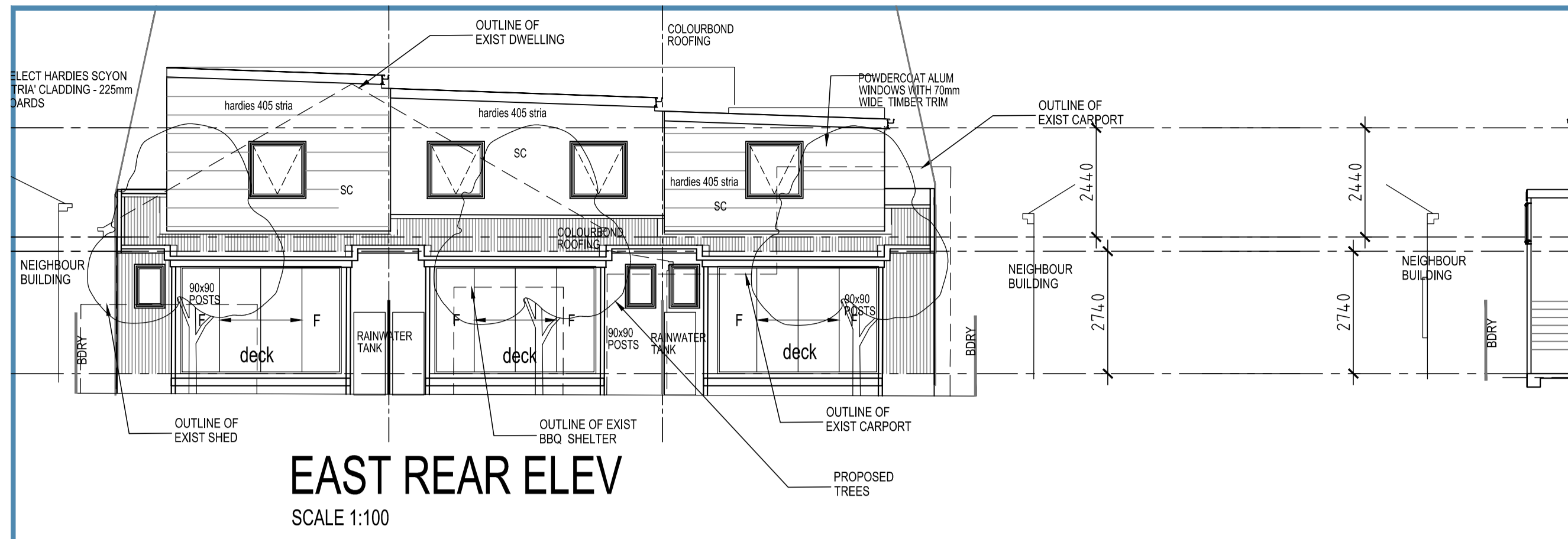
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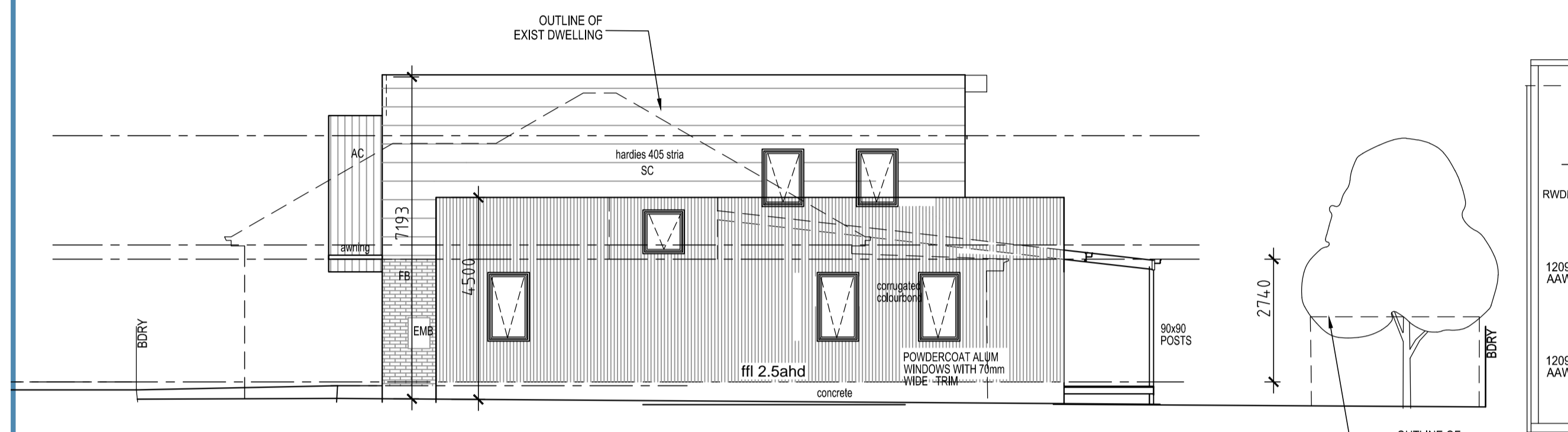
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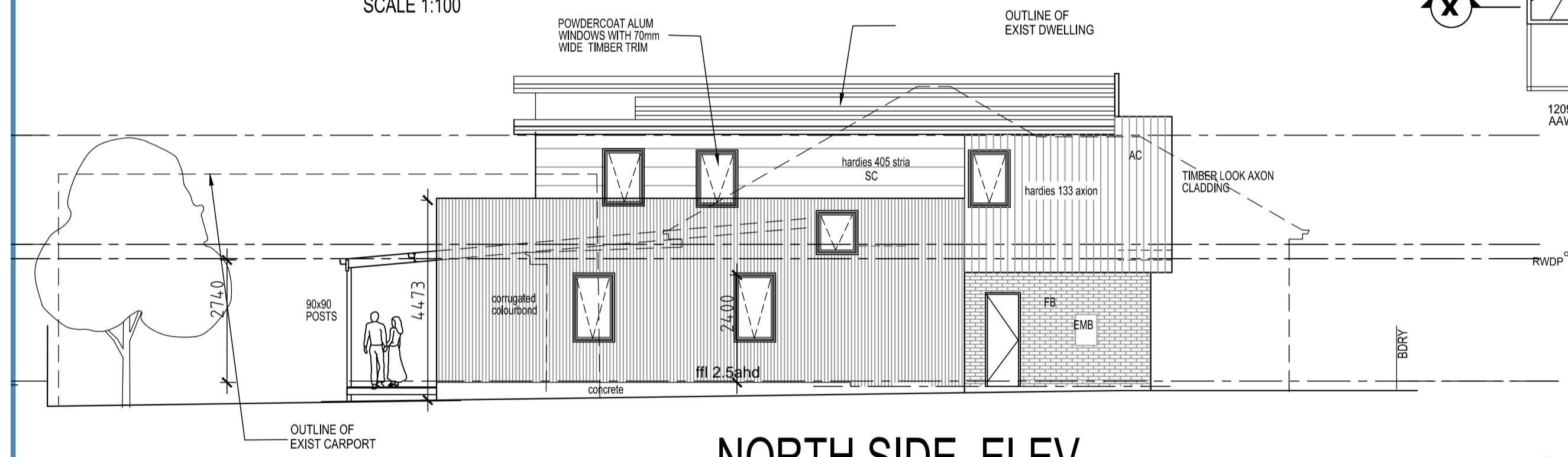
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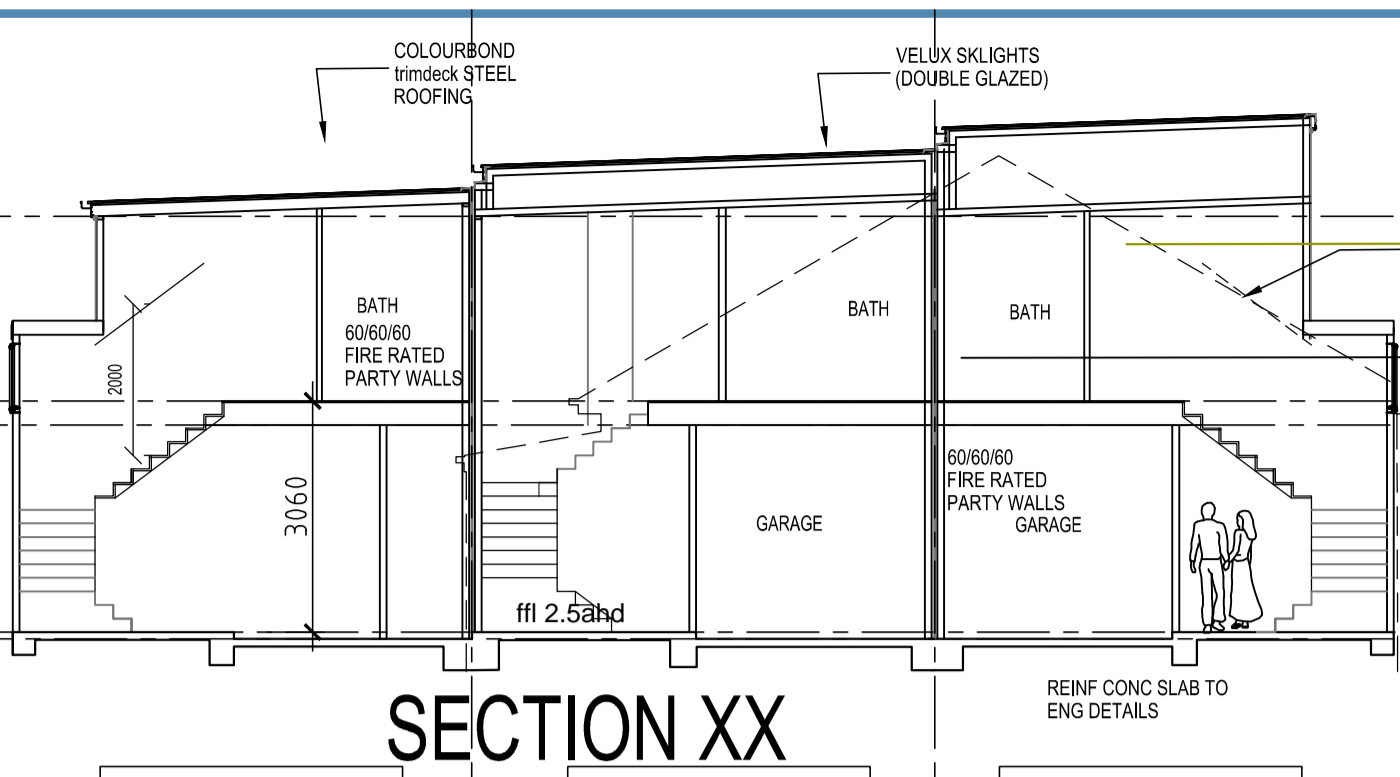
EAST REAR ELEV
SCALE 1:100



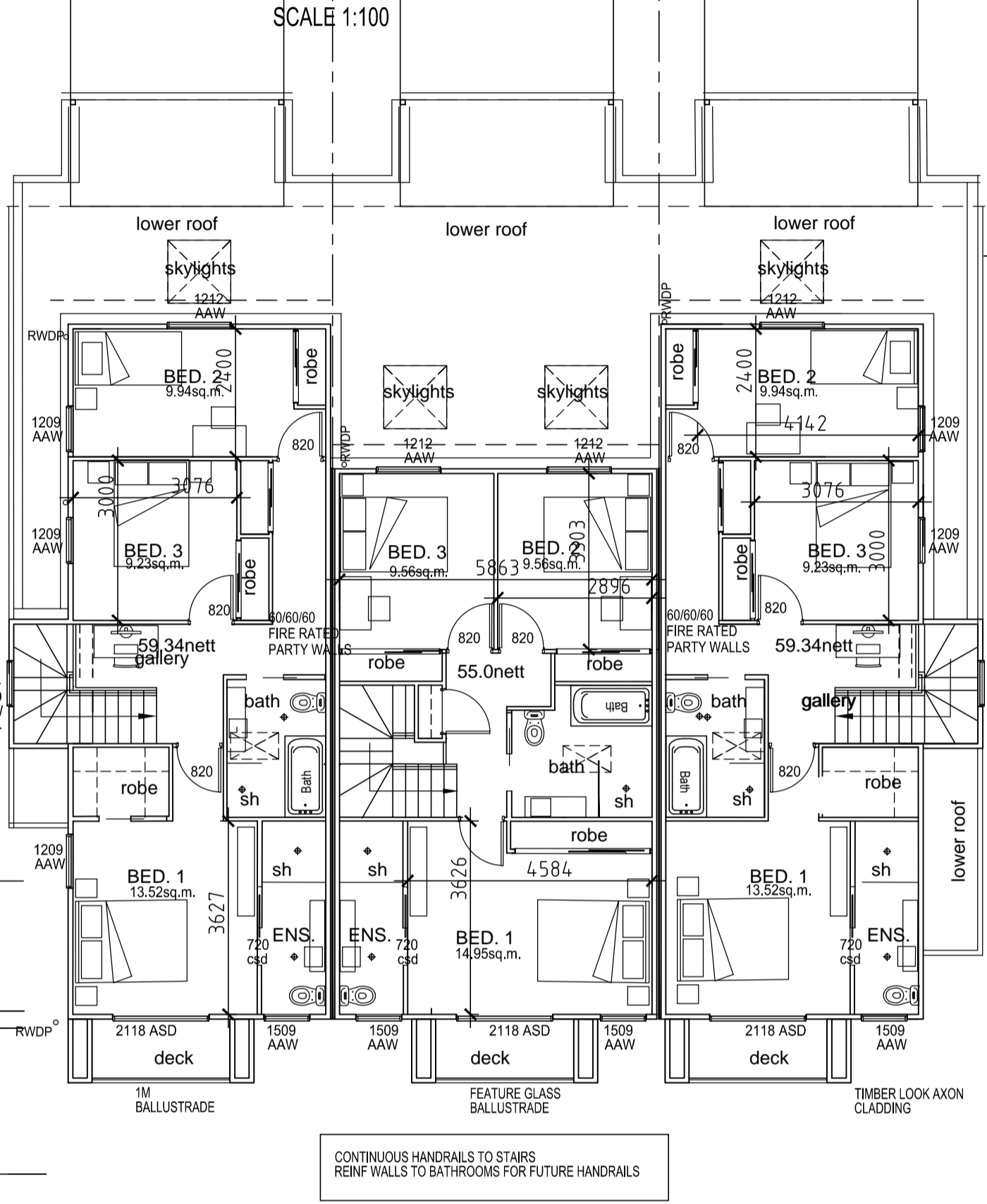
SOUTH SIDE ELEV
SCALE 1:100



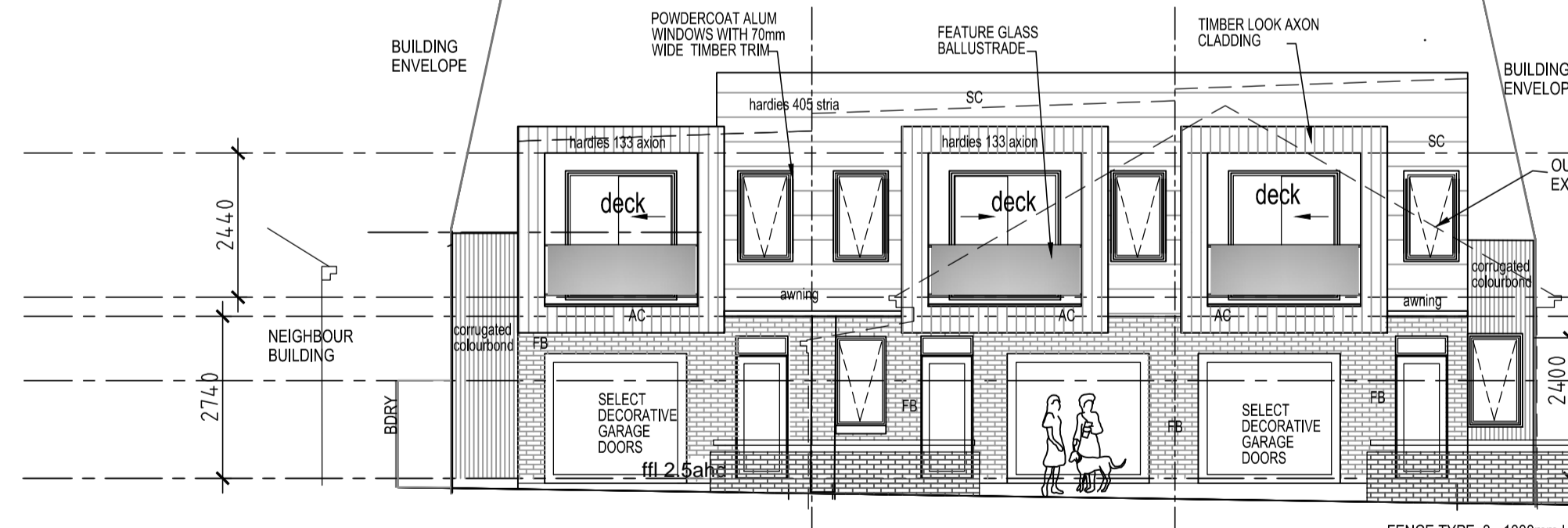
NORTH SIDE ELEV
SCALE 1:100



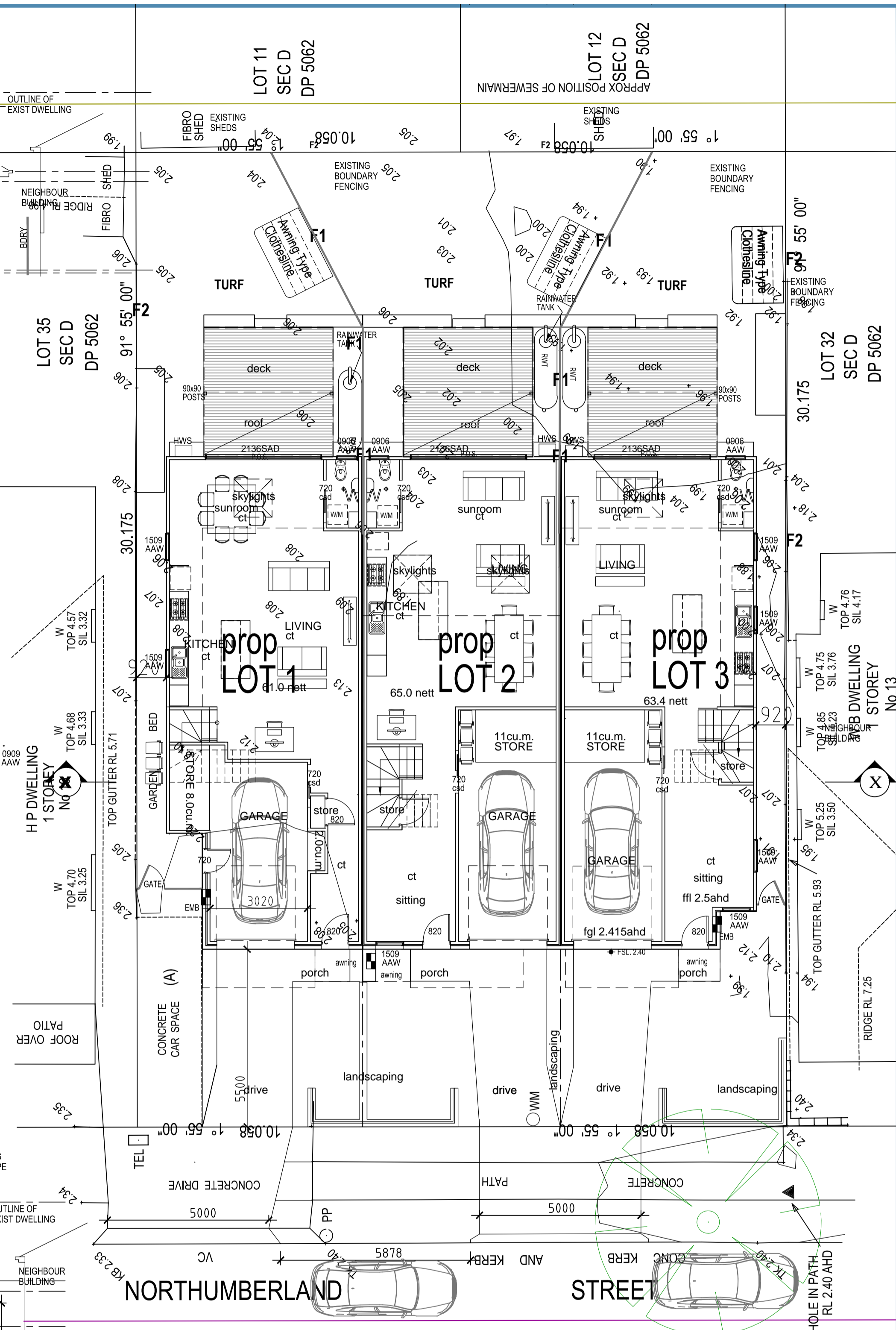
SECTION XX
SCALE 1:100



UPPER FLOOR PLAN
SCALE 1:100



WEST STREET ELEV
SCALE 1:100



LOWER FLOOR PLAN
SCALE 1:100

July 2019 BSA Reference: 13295
Building Sustainability Assessments Ph: (02) 4962 3439
enquiries@buildingsustainability.net.au www.buildingsustainability.net.au

Important Note
The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate and takes precedence over any other specification. If different construction elements are applied then the Assessor Certificate is no longer valid.

Thermal Performance Specifications (does not apply to garage)

External Wall Construction	Brick veneer & Lightweight	Added Insulation	R2.0
Internal Wall Construction	Plasterboard on studs	Added Insulation	R2.0 to walls adjacent to garage R2.0 + R2.0
Ceiling Construction	Plasterboard	Added Insulation	R3.5 to ceilings adjacent to roof space
Roof Construction	Colourbond Roofing	Added Insulation	R2.0 + R1.0 blanket
Floor Construction	Concrete	As drawn	none
Windows	ALM-001-01 A Aluminium Type A Single clear	U Value	6.70
	ALM-002-01 A Aluminium Type B Single clear	SHGC Range	0.51 - 0.63
		Area sq m	As drawn
		U Value	6.70
		SHGC	0.63 - 0.77
		Area sq m	As drawn

Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers

Skylights Glass and frame type U Value SHGC Area sq m
Double glazed clear in aluminium frames As drawn
U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower and the SHGC is within the range specified

External Window Shading (eaves, verandahs, pergolas, awnings etc)
All shade elements modelled as drawn

Ceiling Penetrations (downlights, exhaust fans, flues etc)
No adjustment has been made for losses to insulation arising from ceiling penetrations.

15 Northumberland Street

SUMMARY OF BASIX COMMITMENTS FOR EACH UNIT

This is a summary of the BASIX Commitments as detailed in the BASIX Certificate. Refer to the CURRENT BASIX Certificate for Complete details. For definitions refer to basix.nsw.gov.au

WATER COMMITMENTS

Fixtures

3 Star Shower Heads	Yes	3 Star Toilet	Yes
3 Star Kitchen / Basin Taps	Yes	3 Star Toilet	Yes

Alternative Water

Minimum Tank Size (L)	2000	Collected from Roof Area (m2)	60
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Tank Connected To:

All Toilets	Yes	Laundry W/M Cold Tap	Yes
One Outdoor Tap	Yes		

THERMAL COMFORT COMMITMENTS - Refer to TPA Specification on plans

ENERGY COMMITMENTS

Hot Water Gas Instantaneous 6 Star

Cooling System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5
Heating System	Living	1 Phase A/C Zoned	EER 3.0 - 3.5
	Bedrooms	1 Phase A/C Zoned	EER 3.0 - 3.5

Ventilation

1 x Bathroom	Fan ducted to exterior	Manual on/off
Kitchen	Fan ducted to exterior	Manual on/off
Laundry	Fan ducted to exterior	Manual on/off

Natural Lighting

Window/Skylight in Kitchen	As drawn
Window/Skylight in Bathrooms/Toilets	Yes to 3

Artificial Lighting

Number of bedrooms	3	Dedicated	Yes
Number of Living/Dining rooms	2	Dedicated	Yes
Kitchen	Yes	Dedicated	Yes
All Bathrooms/Toilets	Yes	Dedicated	Yes
Laundry	Yes	Dedicated	Yes
All Hallways	Yes	Dedicated	Yes

OTHER COMMITMENTS

Outdoor clothes line	Yes	Ventilated refrigerator space	Yes
Stove/Oven	Gas cooktop & electric oven		
Alternative Energy	Photovoltaic System: 0.7 kw to Unit 1 only		

ABBREVIATIONS

F.F.L.	FINISHED FLOOR LEVEL	ASD	ALUMINIUM SLIDING DOOR
G.F.L.	GARAGE FLOOR LEVEL	ASW	ALUMINIUM SLIDING WINDOW
CP	CARPET	AFW	ALUMINIUM FIXED WINDOW
CONC.	CONCRETE FLOOR	AAW	ALUMINIUM AWNING WINDOW
CT	CERAMIC TILES	FB	FACE BRICKWORK
V	SELECT VANITY & BASIN	AC	SELECT HARDIES SCYON 'AXON' SHEET CLADDING
SHR	SHOWER RECESS & SCREEN	SC	SELECT HARDIES SCYON 'STRIA' CLADDING - 405mm BOARDS
WC	TOILET & CISTERN	EMB	ELECTRIC METER BOX
UBO	UNDER BENCH OVEN	RWT	RAINWATER TANK
WM	WASHING MACHINE	FW	FLOOR WASTE
D/W	DISHWASHER	YARD TAP	YARD TAP
VBCJ	VERTICAL BRICKWORK CONTROL JOINT		
RWDP	RAINWATER DOWNPIPE		
F	FIXED GLASS		
OBS	OBSOLETE GLASS		

note window sizes area as per BRADNAMS CATALOG ie 1480 windows for windows nominated as 1509AAW

site area 606.97sq.m.
gross floor area = 363.88sq.m. (365.182 max)

lot 1 site area 203.48sq.m.
lower nett floor area = 61.00
upper nett floor area = 59.34
total = 120.34 sq.m.

lot 2 site area = 200 sq.m.
lower nett floor area = 65.0
upper nett floor area = 55.0
total = 120sq.m.

lot 3 site area = 203.48 sq.m.
lower nett floor area = 64.2
upper nett floor area = 59.34
total = 123.54sq.m.

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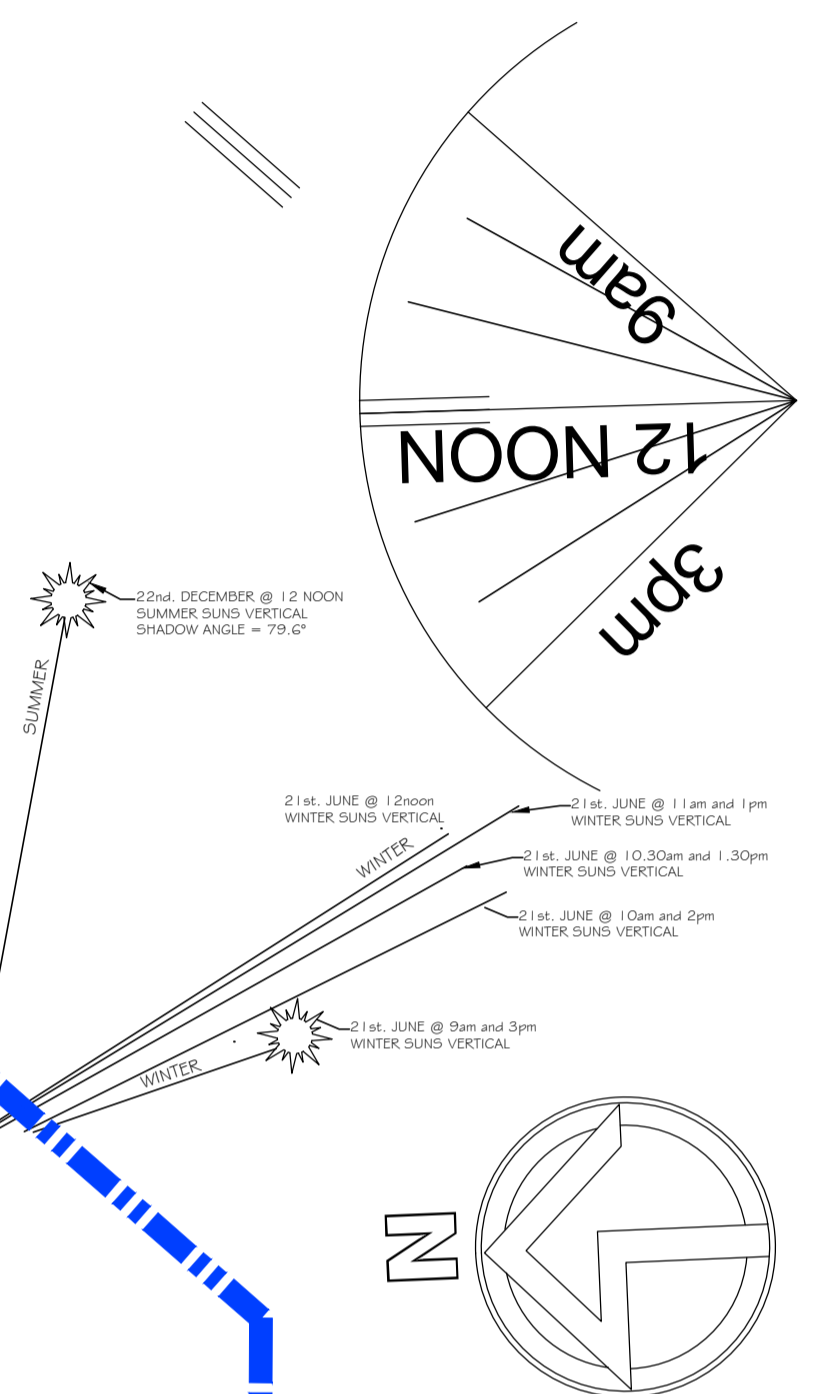
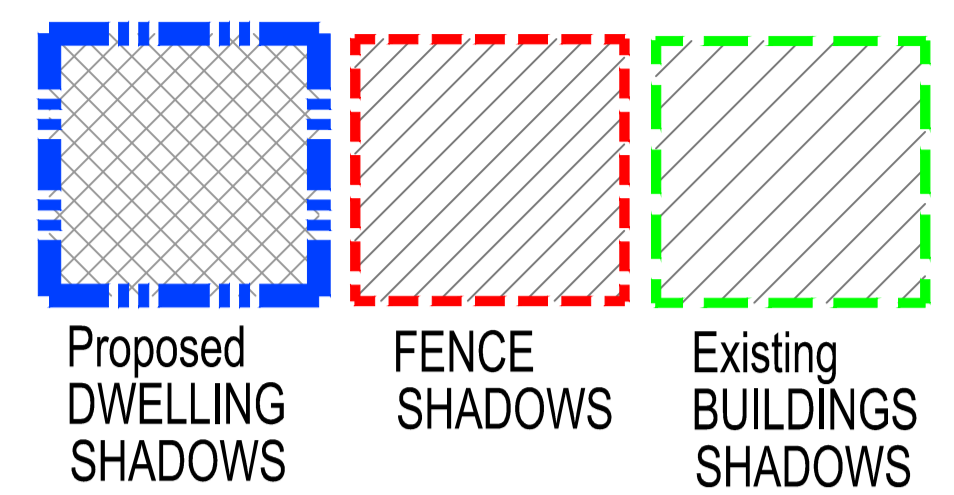
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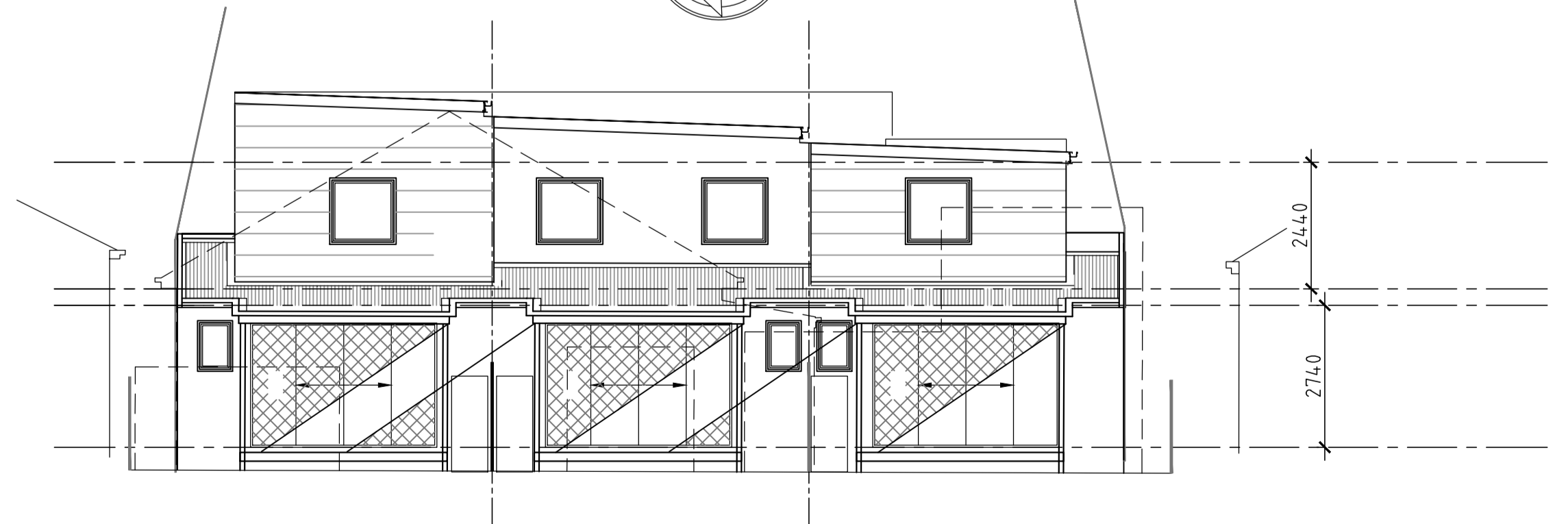
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11 am shadow
SCALE 1:200

9 am shadow
SCALE 1:200



east SIDE ELEV
11am shadows
SCALE 1:100

east SIDE ELEV
9am shadows
SCALE 1:100

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LANDSCAPING

- EXTENT OF WORK:**
 - Supply and spreading of fill and topsoil where required.
 - Supply and planting of all plants in the Planting Schedule in accordance with this specification.
 - Supply and spreading of mulch where indicated.
 - Supply and lying of planting area edging where indicated.
 - Supply and fixing of log retaining wall where indicated.
 - Supply and lying of turf grass where indicated.
- SITE:**

Landscape contractor shall visit the site and familiarise himself with the existing conditions and the extent of the proposed work. In particular note existing ground levels in relationship to proposed levels and the state of the existing ground material.
- MATERIALS:**

TOPSOIL: Imported topsoil will be sandy loam, friable and free of grass and weeds, clods of clay or other foreign matter. Chopped Pinebark.

MULCH TURF: Will be common couch (Cynodon dactylon) from an approved commercial grower of cultivated turf. It will be machine cut of even thickness in good condition and free of persistent weeds.
- SITE PRECAUTIONS:**

The contractor is to ascertain from the builder the position of all underground pipes and cables etc., on the site. The contractor will be responsible for making good any damage to existing services arising from the landscaping, work free of charge.
- SITE CLEARING:**

Generally clear site of existing low vegetation. All mature trees over 3 metres in height to be retained where not affected by excavation for building.
- SITE GRADING:**

Shape and grade site for turfing and seeding as required to achieve even falls and to prevent erosion of seed and topsoil.
- PLANT AREA PREPARATION:**

Mass Planting
All areas indicated for mass planting are to be covered with minimum 450 mm deep imported topsoil ploughed into base material to prevent a definite interface of differing soil densities. Mix in compost mix with new soil.

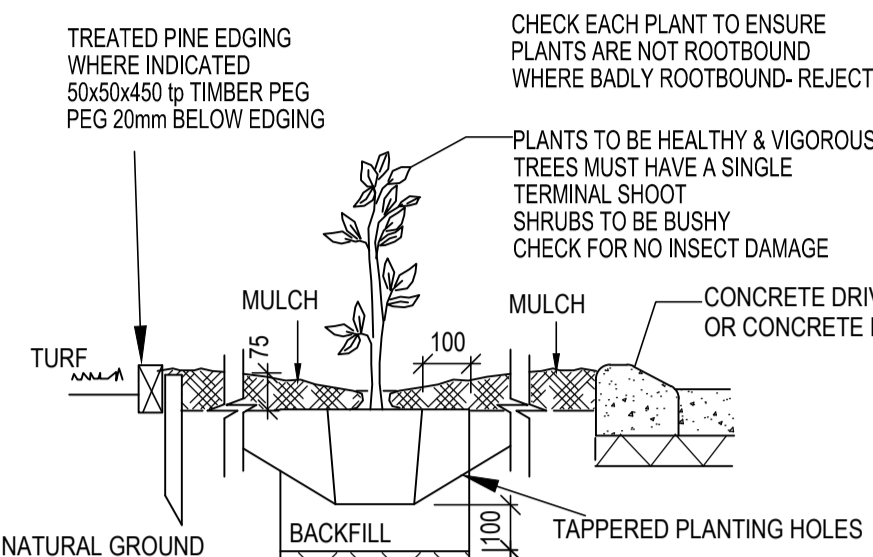
Isolated Planting
Isolated plants are to be planted as follows and as detailed in specification. Excavated hole should be a minimum of three times the diameter of the plant container. After planting, new topsoil should be MIXED with excavated material and compost mix and backfilled into hole.
- PLANTS:**

Contractor is to supply all plants indicated in the plant schedule. Contractor is to include transporting all plants from nursery to site. Order plants well in advance where possible. Contractor is to be satisfied before purchases that all plants are true to type and in good condition. Plants are to be kept in good condition by contractor until required for planting.
- PLANTING REQUIREMENTS:**

Plants and ground must be thoroughly moist just prior to planting. Tubestock where used is to be soaked in water for 3 minutes before planting. Care is to be taken to release soil from the tube or container in an undamaged state. Remove all weeds from plant containers before planting. Cut back twisted roots cleanly to point out or down and cut away excess fibre from rootstock. Add compost and thoroughly pack soil around plant. Base of plant should be planted exactly at ground level. Plant as shown on plan and as detailed. Fix 1,200 mm long x 40 mm x 40 mm hardwood stake on the windward side of all plants over 500 mm high in a position to avoid piercing rootstock. Remove all nursery stakes carefully. Tie with 25 mm jute webbing in crossover loop, tacked or stapled to stake.
- PREPARATIONS FOR AND LYING OF TURF:**

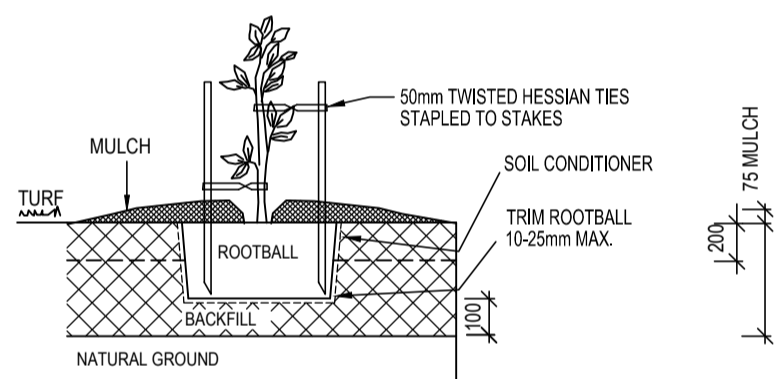
The Contractor is to prepare for and lay turf where indicated on the plan. Remove all existing weeds. Grade, fill and cultivate sufficiently to form an even bed for turf. Provide and place 50 mm topsoil over the entire area to be turfed. Lay turf, sods and rolls tightly butted together to form a smooth even surface. Fill along joints and gaps with topsoil after turfing. Spread approved fertiliser over entire area in accordance with manufacturer's directions.
- ON COMPLETION:**

Thoroughly clean site of all debris, stockpiles and unused materials associated with the landscape works and leave the site in a clean and tidy condition ready for occupation.



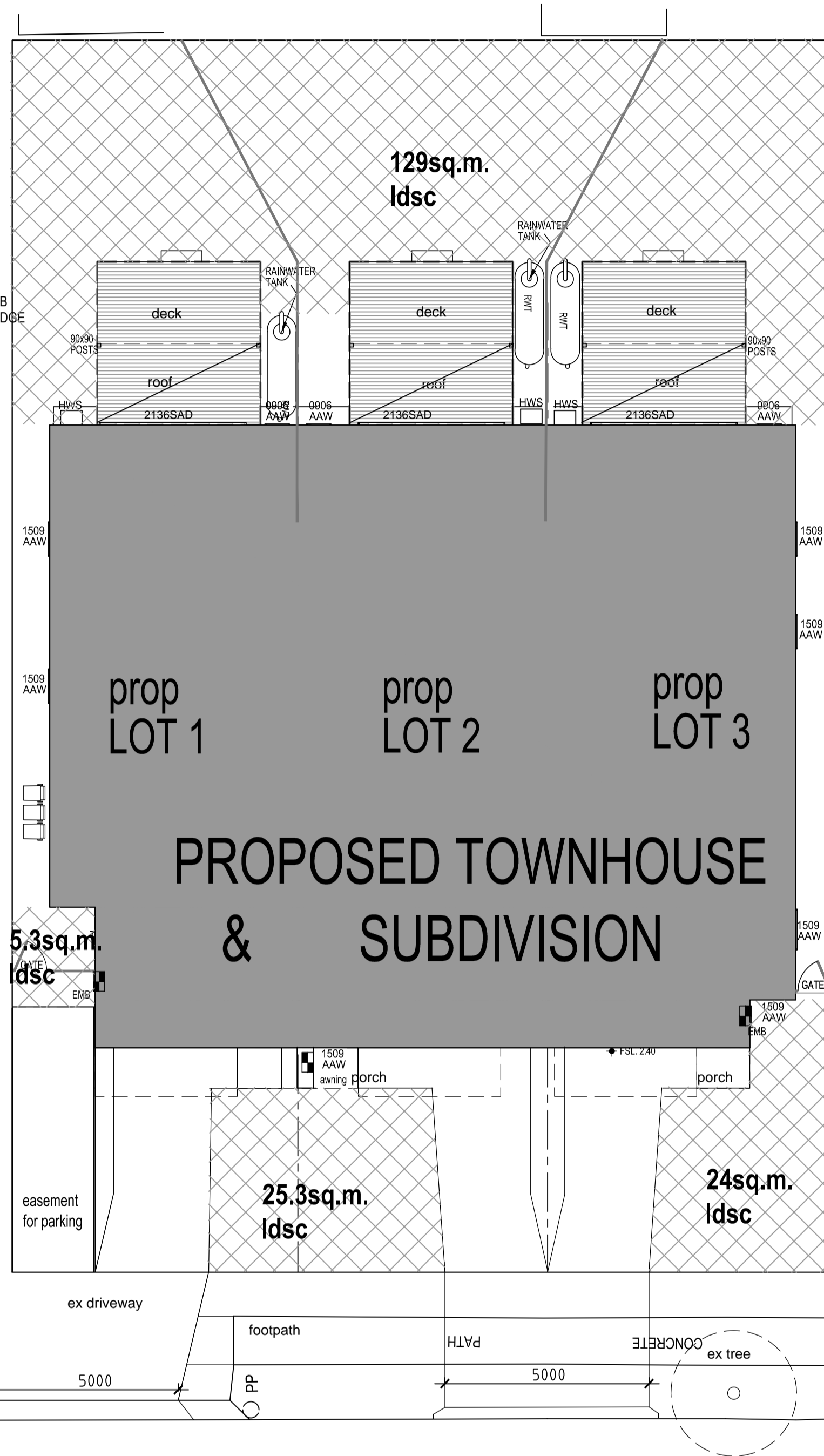
GENERAL PLANTING DETAIL
NO STAKING REQUIRED

- EXCAVATE HOLE MORE THAN 100mm WIDER THAN PLANT CONTAINER. BACK FILL WITH TOPSOIL AND ADDITIVES & CONSOLIDATE AROUND ROOT BALL.
- EXCAVATE TO DEPTH OF 600mm & REPLACE EXCAVATED MATERIAL WITH TOP SOIL MIX. AND ADD FERTILIZER.
- CULTIVATE TO A MIN. DEPTH OF 100mm.
- SPREAD MULCH TO 75mm DEPTH. MULCH TO BE REDUCED AT BASE OF PLANTS. MULCH = WELL COMPOSTED LEAF MULCH. SEE PLANTING SPEC.

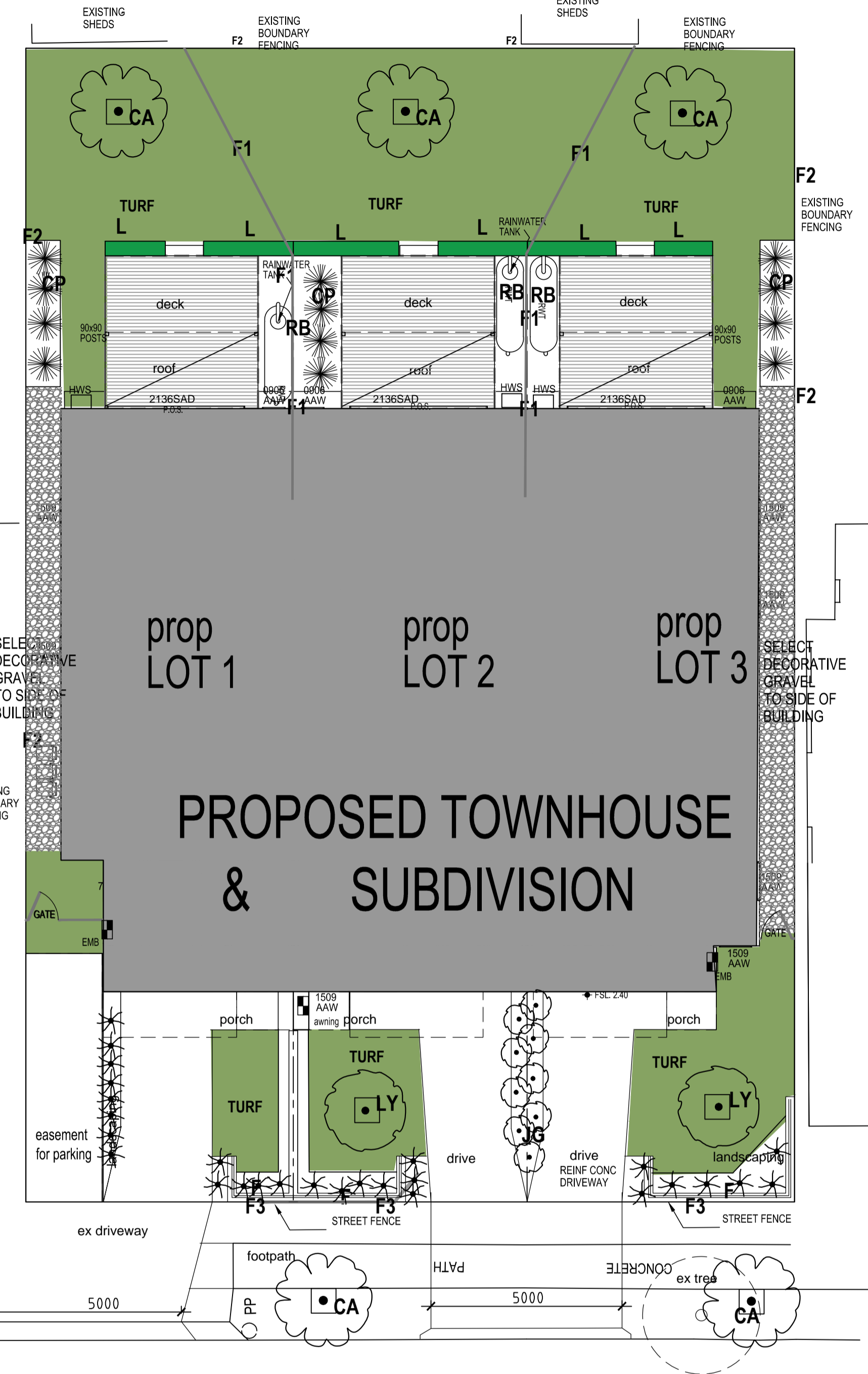
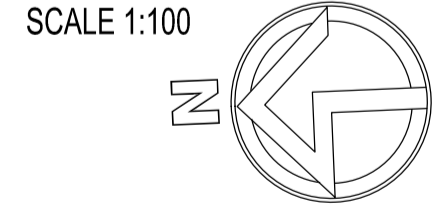


TREE PLANTING DETAIL
TWO STAKES REQUIRED

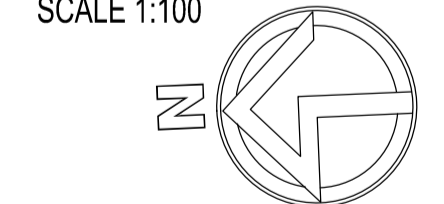
- EXCAVATE A SLOPING PLANTING HOLE 2-3 TIMES THE WIDTH OF THE ROOTBALL, 25mm LESS THAN THE DEPTH OF THE ROOTBALL.
- ROUGHEN / PIERCE EDGES OF PLANTING HOLE TO ENCOURAGE LATERAL ROOT GROWTH.
- TOP OF THE ROOTBALL TO BE SLIGHTLY PROUD OF THE FINISHED LEVEL OF THE PLANTING HOLE TO ALLOW FOR NATURAL SETTLEMENT.
- SET ROOTBALL ON BASE OF PLANTING HOLE AND LOCATE CENTRALLY.
- TRIM ROOTBALL 10-25mm MAX. USING A CLEAN HACKSAW BLADE OR CARPENTERS SAW IF DIRECTED TO DO SO.
- GENTLY BACKFILL WITH SOIL CONDITIONER, FIRING PROGRESSIVELY IN LAYERS. USE WATER TO SETTLE AROUND ROOTBALL.
- THOROUGHLY MIX SOIL CONDITIONER - 75mm THICK LAYER OF MUSHROOM COMPOST INTO SELECTED SITE TOPSOIL AND MIX WELL.
- FORM A SOILBERM 75mm HIGH AS A WATERING BASIN TO DIRECT WATER INTO THE ROOTBALL.
- MULCH TO MAX 75mm DEPTH, BEYOND THE EDGE OF THE PLANTING HOLE OVERLAPPING UNDISTURBED SOIL.
- LEAVE SPACE BETWEEN THE TUNK AND MULCH TO AVOID BARK SATURATION.
- MULCH TO BE A 75mm LAYER OF 40mm RED HARDWOOD.
- WATER THE TREE THOROUGHLY WITH AT LEAST 1Lr OF WATER PER TREE.



LANDSCAPE AREAS



LANDSCAPE PLAN



TREES	Botanical	Common	Size	Mature height	Spread	Number
	Lagerstroemia 'Yuma'	Creepe myrtle yuma	25L	5m	4m	2
	Cupaniopsis anacardioides	tuckeroo	45L	6m	4m	2
	Westringia fruticosa 'jervis gem'	Coastal rosemary	200mm	1m	1m	12
	Westringia 'low'	Coastal rosemary	100mm	30cm	60cm	
	Callistemon 'candy pink'	low brush	300mm	3m	3m	12
GRASSES	Lomandra longifolia	Lomandra	120mm	40cm	40cm	30
	Dianella 'coco blue'	Coco blue	100mm	90cm	90cm	
	pennisetum alopecuroides 'halley'	Foxtail	200mm	1m	1m	20
VINE	pandorea pandorana 'ruby belle'	Wonga Wonga	200mm		3m	4

Legend

---	PROPERTY BOUNDARY
---	EX. TELSTRA LINE (NOT LOCATED BY SURVEY)
---	EX. POWER POLE & OVERHEAD POWER LINES
---	EX. SEWER MANHOLE
---	EX. SEWER LINE (NOT LOCATED BY SURVEY)
14.0	EXISTING CONTOURS
---	TOE OF BANK
○	EXISTING SPOT LEVEL
■ FS 12.54	FINISHED SURFACE LEVEL
■ FGL 6.92	FINISHED GARAGE LEVEL
■ FFL 9.62	FINISHED FLOOR LEVEL
---	RETAINING WALL TO ENGINEER'S DETAILS
---	PRIVATE OPEN SPACE

---	AWNING TYPE CLOTHES LINE
---	GRASS TURF
---	CONCRETE DRIVEWAY
---	RAINWATER TANK - AS PER BASIX AND STORM
○	EXISTING TREES TO BE REMOVED
○	EXISTING TREES TO BE RETAINED
F1	FENCE TYPE 1 - 1500mm HIGH - 1500mm HIGH COLORBOND FENCE
F2	FENCE TYPE 2 - EXISTING COLORBOND BOUNDARY FENCE
F3	FENCE TYPE 3 - 1000mm HIGH STREET FEATURE FENCE

R2 ZONE
FSR 1:0.6
8.5m hgt

limited growth precinct
site area 606.97sq.m.
max 364.2sq.m. nett
landscaping min area 30% of site
182 sq.m (183.6 available)

Proposed Townhouses & subdivision for Mr. G. Dickson
H/No. 15
LOTS 33 AND 34
SECTION D DP5062
Northumberland St.
Maryville NSW

Garman Design
for all residential, commercial & industrial design services

Hannah Garman
Landscape Designer
"deep landscape design"

hannahgarman@gmail.com
20 Park Rd. Garden Suburb NSW 2289
mobile : 0425 221660

Sheet 4
Scale 1:100
MG-3-2017
DA rev2
Drawn by - M. Garman,
last update 12-2-2020
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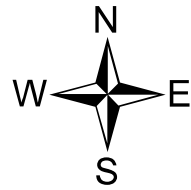


HUNTER WATER CORPORATION

A.B.N. 46 228 513 446

ArcGIS Web Map

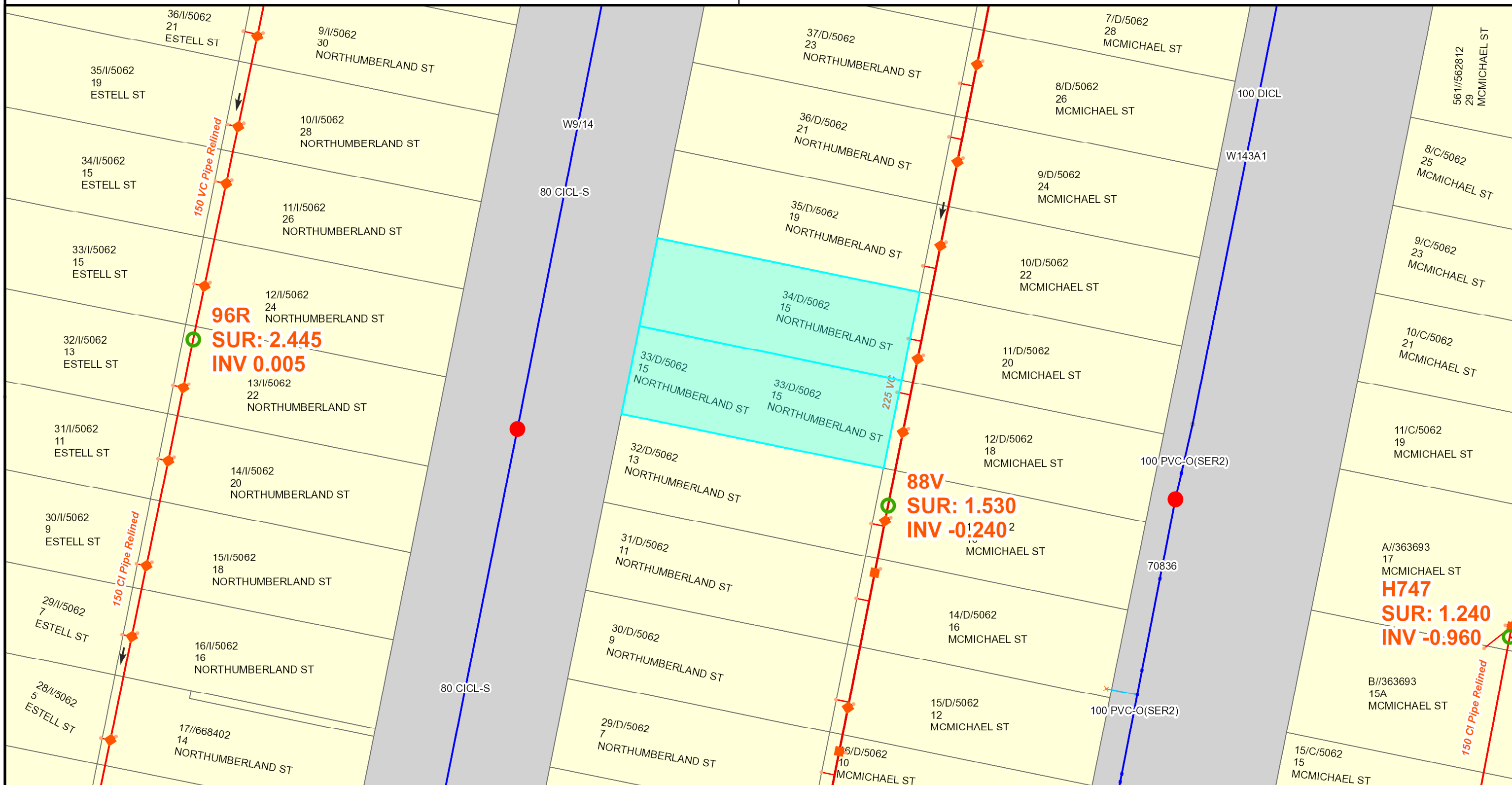
Enquiries: 1300 657 657



RATEABLE PREMISE NO.: 6437310348

LOT/SECTION/DP: 33/D/5062

PROPERTY ADDRESS: 15 NORTHUMBERLAND ST MARYVILLE, 2293



Date: 6/09/2019

Scale: at A3 1:500

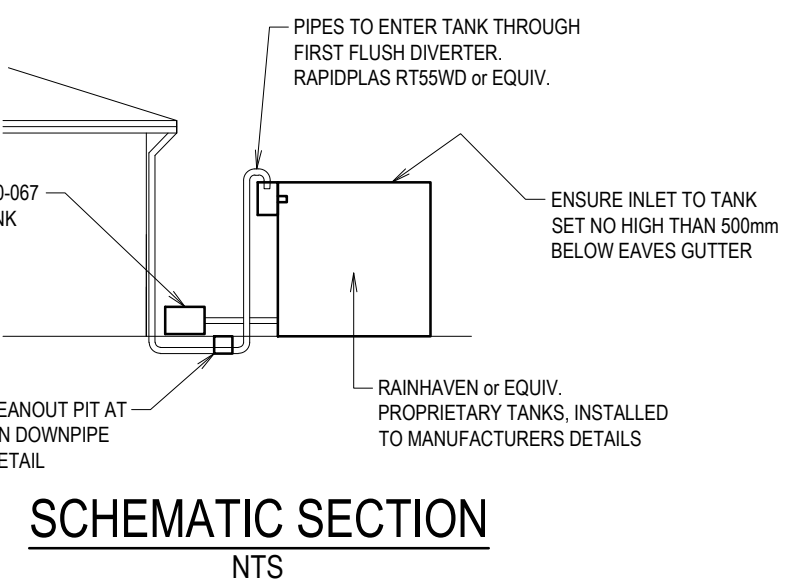
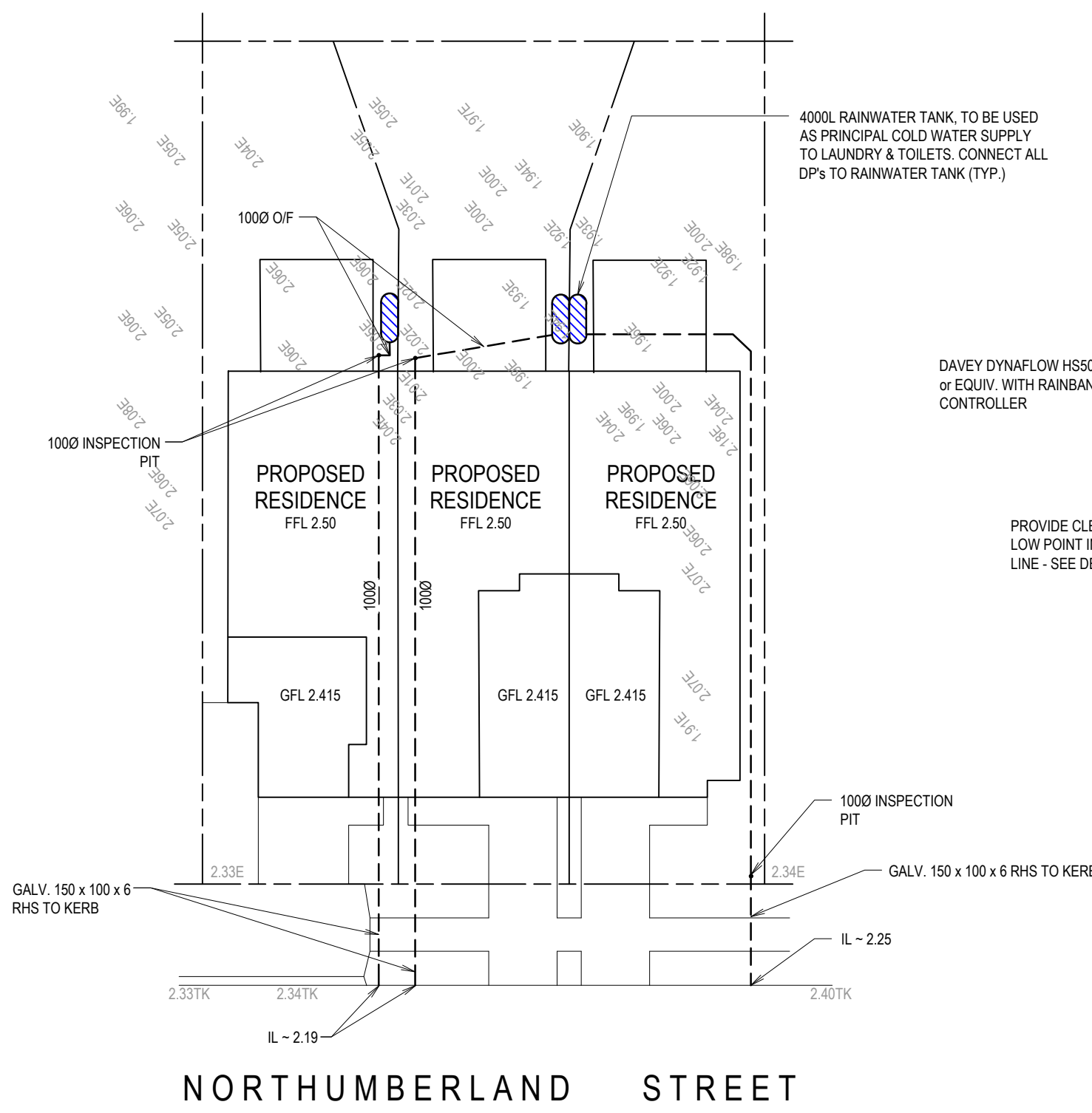
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HUNTER WATER ASSETS POSITION ARE
 APPROXIMATE ONLY.
 SUBJECT PROPERTY BOLDED.
 ALL MEASUREMENTS ARE METRIC.

IMPORTANT:

ANY INFORMATION ON THIS PLAN MAY NOT BE UP TO DATE AND THE CORPORATION ACCEPTS NO RESPONSIBILITY FOR ITS ACCURACY.



- STORMWATER**
1. THESE DRAWINGS TO BE READ IN CONJUNCTION WITH ARCHITECTURAL DETAILS.
 2. ALL WORKS IN ACCORDANCE WITH AS3500, COUNCIL DEVELOPMENT CONTROL PLANS, HWC REQUIREMENTS AND PROPRIETARY MANUFACTURER'S RECOMMENDATIONS.
 3. LOCATION OF TANKS & TANK TYPES CAN BE VARIED AT OWNER'S DIRECTION.
 4. ALL STORMWATER PIPES TO BE 90Ø STORMWATER GRADE, U.N.O. JOINTED & INSTALLED TO MANUFACTURER'S RECOMMENDATIONS.
 5. ALL STORMWATER LINES TO HAVE ALL JOINTS, INC. DP CONNECTIONS, FULLY SOLVENT WELDED (AS LINES ARE 'CHARGED')
 6. ALL LEVELS ARE DATUM AHD.
 7. ALL LEVELS ARE FINISHED PAVEMENT OR LAWN LEVELS.
 8. EXISTING LEVELS SHOWN eg. 9.96E NEW LEVELS SHOWN eg. x 10.83.

- LEGEND**
- RL REDUCED LEVEL
 - IL INVERT LEVEL
 - GP GRATED PIT, LIGHT DUTY IN LANDSCAPED AREAS, MEDIUM DUTY IN TRAFFICABLE AREAS
 - FFL 10.91 FINISHED FLOOR LEVEL
 - GFL 10.82 FINISHED GARAGE LEVEL
 - x 10.83 FINISHED SURFACE LEVEL
 - 11.30E EXISTING SURFACE LEVEL, CONTOURS SHOWN ALSO EXISTING
 - O/F OVERFLOW FROM RAINWATER TANK
 - APPROX EXTENTS OF RETAINING WALL, APPROX HEIGHT SHOWN [600]
 - INDICATES DIRECTION OF SURFACE FLOW
 - 4000L RAINWATER HARVESTING TANK

NORTHUMBERLAND STREET

STORMWATER MANAGEMENT PLAN

1:200

CONNECT ALL DOWNPIPES TO ASSIGNED RAINWATER TANK

THE STORMWATER SYSTEM HAS BEEN DESIGNED FOR DRAINING OF THE PROPOSED NEW RESIDENCE ONLY. IT HAS NOT BEEN DESIGNED FOR CONNECTION OF EXISTING PIPES, HARDSTAND AREAS, BUILDINGS OR ANY FUTURE IMPROVEMENTS

Rev.	By	Date	Description	Des'd
B	ER	12.09.19	AMENDED	G.H
A	MD	17.01.18	ORIGINAL ISSUE	AH

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Client **DICKSON**

Project **PROPOSED TOWNHOUSES**
LOTS 33 & 34 NORTHUMBERLAND STREET
MARYVILLE

Approved by

Drawing No. **71775-SWD - 01 OF 01**

Revision **B**

Sheet **A3**





ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/08/2020 – DA2019/01097 – 15 NORTHUMBERLAND STREET
MARYVILLE – MULTI-DWELLING – DEMOLITION OF DWELLING,
ERECTION OF THREE ATTACHED DWELLINGS AND TWO LOT
INTO THREE LOT SUBDIVISION**

ITEM-26 **Attachment B:** Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No: DA2019/01097

Land: Lot 33 Sec D DP 5062
Lot 34 Sec D DP 5062

Property Address: 15 Northumberland Street Maryville NSW 2293

Proposed Development: Multi Dwelling Housing - Erection of three attached, two lot into three lot subdivision, and demolition of existing dwelling house

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site & Subdivision Plan	Garman Design, Ref: MG-3-2017, Sheet 1, DA rev 2.	Mark Garman	12.02.2020
Site analysis & Sediment and Erosion Plan	Garman Design, Ref: MG-3-2017, Sheet 3, DA rev 2.	Mark Garman	12.02.2020
Floor Plans & Elevations	Garman Design, Ref: MG-3-2017, Sheet 2, DA rev 2.	Mark Garman	12.02.2020
Landscape Plans	Garman Design, Ref: MG-3-2017, Sheet 4, DA rev 2.	Hannah Garman	12.02.2020
Stormwater Management Plan	Forum Consulting Engineers, Dwg No: 71775-SWD, Sheet A3, Rev B	Forum Consulting Engineers	12.09.2019.
Waste Management Plan	Site Waste and Minimisation Plan: 15 Northumberland Street, Maryville.	G.Dickson	09.09.2019

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. The car parking and vehicular access are to be designed to comply with the relevant provisions of *AS/NZS 2890 Parking facilities*. Details are to be included in documentation for a Construction Certificate application.
3. All proposed driveways, parking bays, loading bays and vehicular turning areas are to be constructed with a basecourse of a depth to suit design traffic and be sealed with either bitumen seal, asphaltic concrete, concrete or interlocking pavers. Details are to be included in documentation for a Construction Certificate application.
4. Roof water from the proposed new work is to be directed to proposed water tanks with a minimum capacity of 4000 litres per dwelling and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
5. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012, the associated Technical Manual and AS/NZS 3500.3 *Plumbing and drainage Part 3 Stormwater drainage*, as indicated on the stormwater management concept plan prepared by Forum Consulting Engineers, Dwg No: 71775-SWD, Sheet A3, Rev B dated 12.09.2019. The plan is to be updated to include an inspection pit prior to crossing the front boundary for each of the three discharge pipes. Full details are to be included in documentation for a Construction Certificate application.
6. The floor level of all proposed buildings (excluding garages) is to be verified on plans for a Construction Certificate application to be 2.5m Australian Height Datum.
7. Residential vehicular crossings are to be constructed across the road reserve, in accordance with the following criteria:
 - a) Constructed in accordance with Council's A1300 - Driveway Crossings Standard Design Details.
 - b) The driveway crossings, within the road reserve, shall be a maximum of 6 metres, 2.5m & 2.5m wide
 - c) Letterboxes, landscaping and any other obstructions to visibility should be kept clear of or limited in height to 1.2 metre, in the 2 metre by 2.5 metre splay within the property boundary each side of the driveway entrance
 - d) The proposed driveway shall be a minimum of 3 metres clear of the trunk of any tree within the public reserve
 - e) The proposed driveway shall be a minimum of 750mm clear of the centre of any pole or obstruction within the public reserve and 1 metre clear of any drainage pit.

These works are not approved until consent under Section 138 of the *Roads Act 1993 (NSW)* has been granted by Council. An application under Section 138 must be applied for and approved before the issue of a Construction Certificate.

8. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993*.

The consent is to be obtained, or other satisfactory arrangements confirmed in writing from the City of Newcastle, before the issue of a Construction Certificate.

9. The existing *Jacaranda mimosifolia* (Jacaranda) street tree (Council ID 25011) is approved to be removed, subject to arrangements being made for the removal of the street tree by contacting Council's City Greening Services. All tree removal works are to be carried out by Council at the Developer's expense.
10. Two street trees are required to be planted as compensation for the removal of the existing tree. A fee, to be determined by contacting Council's City Greening Services, is to be paid to Council for the required compensatory planting and evidence of the payment of the required fee is to be included in the documentation for a Construction Certificate application.

The tree selection and location of the required compensatory tree will be determined by Council's City Greening Coordinator in accordance with 'The City of Newcastle's Street Tree Master Plan'. The location of the compensatory tree planting may not be in the immediate proximity of the site.

11. The developer designing and constructing the following works in connection with the proposed development within the Northumberland Street public road reserve, adjacent to the site, at no cost to Council and in accordance with Council's guidelines and design specifications:
 - a) Reconstruct footpath across the frontage of the site.
 - b) Associated drainage works

Engineering design plans and specifications for the works being undertaken within the public road reserve are required to be prepared by a suitably qualified practising civil engineer with experience and competence in the related field and submitted to Council for approval pursuant to Section 138 of the *Roads Act 1993 (NSW)*. The consent must be obtained, or other satisfactory arrangements confirmed in writing from Council, before the issue of a Construction Certificate.

12. The second storey of each dwelling is to be a flood refuge in a Probable Maximum Flood event and is to be structurally certified by a professional engineer, ensuring that the building is able to withstand the hydraulic loading due to flooding from the Probable Maximum Flood (Flood Level reduced level 3.09m Australian Height Datum, Maximum Flow Velocity of floodwaters 0.2m/s). Full details are to be included in documentation for a Construction Certificate application.
13. A total monetary contribution of \$8,892.45 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the *Environmental Planning and Assessment Act 1979*, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.

Note:

- i) This condition is imposed in accordance with the provisions of the City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019*.
- ii) The City of Newcastle's *Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019* permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.
- iii) The amount of contribution payable under this condition has been calculated on

the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approximate release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

14. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required by the conditions of this consent are to be detailed on a comprehensive landscape plan and specification. The plan and specification are to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
- a) cross sections through the site
 - b) proposed contours or spot levels
 - c) botanical names
 - d) quantities and container size of all proposed trees
 - e) shrubs and ground cover
 - f) details of proposed soil preparation
 - g) mulching and staking
 - h) treatment of external surfaces and retaining walls where proposed
 - i) drainage, location of taps and
 - j) maintenance periods.

The plan and specification are to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

15. The applicant is to comply with all requirements of the Hunter Water Corporation regarding the connection of water supply and sewerage services, including the payment of any required cash contribution towards necessary amplification of service mains in the locality as a result of the increased intensity of land use proposed. A copy of the Corporation's compliance certificate (refer Section 50 *Hunter Water Act 1991*) is to be included in documentation for a Construction Certificate application.
16. Facilities are to be provided within the proposed individual private courtyards, or in another screened location, for the storage of garbage. Full details are to be included in documentation for a Construction Certificate application.

17. Erosion and sediment control measures are to be implemented prior to the commencement of works and be maintained during the period of construction in accordance with the details set out on an Erosion and Sediment Control Plan that is to be submitted for approval with the Construction Certificate application. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

18. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
19. If construction/demolition work is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or involves the need to enclose a public place, a hoarding or fence is to be erected between the work site and the public place. If necessary an awning is to be erected, sufficient to prevent any substance from, or in connection with, the work falling into the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.
20. A registered surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
21. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to City of Newcastle requirements, in accordance with Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012.
22. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
23. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the City of Newcastle and to the demolisher prior to commencement of work.
 24. Demolition works are to be undertaken in accordance with *Australian Standard 2601:2001 - The Demolition of Structures* and the following requirements:
 - a) Demolition works are to be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan is to be kept on site for the duration of the proposed development;
 - b) The removal, handling and disposal of any asbestos material is to be undertaken

only by an asbestos removal contractor who holds the required class of Asbestos Licence, issued by SafeWork NSW;

- c) A copy of all waste disposal receipts are to be kept on site for the duration of the proposed development and made available to authorised City of Newcastle officers upon request;
 - d) Seven working days' notice in writing is to be given to the City of Newcastle and the owners/occupiers of neighbouring premises prior to the commencement of any demolition work. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises is also to include City of Newcastle's contact telephone number (4974 2000) and the SafeWork NSW telephone number (4921 2900); and
 - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
25. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
26. Any waste containers used in association with the proposed demolition are to be located on the site where possible.
- Note: Where this is not feasible, an application is to be made for the City of Newcastle's approval to position the container on the adjacent public road in accordance with City of Newcastle's adopted Building Waste Container Policy.
27. All demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site and the site being cleared and levelled.
- Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.
28. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
29. Waste management is to be implemented in accordance with the approved Waste Management Plan. At a minimum, the following measures are to be implemented during the construction phase:
- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
 - b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
 - c) Provision is to be made to prevent windblown rubbish leaving the site; and
 - d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

30. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

31. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
32. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
33. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
- Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

34. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

35. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
36. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.

37. All building work is to be carried out in accordance with the provisions of the National Construction Code.
38. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
39. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.
40. All necessary measures are to be undertaken to control dust pollution from the site. These measures are to include, but are not limited to:
 - a) Restricting topsoil removal;
 - b) Regularly and lightly watering dust prone areas (note: prevent excess watering as it can cause damage and erosion);
 - c) Alter or cease construction work during periods of high wind; and
 - d) Erect green or black shade cloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

41. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.
42. Any redundant existing vehicular crossing is to be removed at no cost to the City of Newcastle. The road reserve and kerb is to be restored to the City of Newcastle's satisfaction. Works are to be completed prior to the issuing of an Occupation Certificate for the proposed development.
43. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
44. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
45. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the City of Newcastle with Occupation Certificate documentation.
46. A Landscape Practical Completion Report is to be submitted to the Principal Certifier prior to the issue of an Occupation Certificate. The report is to verify that all landscape works have been carried out in accordance with the comprehensive landscape design

plan and specifications that were required to be included in documentation for a Construction Certificate application and is to verify that an effective maintenance program has been commenced.

47. An application is to be made for a Subdivision Certificate. The application is to be supported by a survey plan of subdivision, the Administration sheet and a Section 50 Certificate from the Hunter Water Corporation.
48. An instrument under Section 88B of the *Conveyancing Act 1919*, setting out the terms of easements as required by this consent, along with related notations on the plan of subdivision, are to be submitted to the City Of Newcastle for certification. The City of Newcastle is to be identified as a party whose consent is required to release, vary or modify easements.
49. The approved multi dwelling housing development on the site is to be completed to at least lock-up stage prior to the issue of the Subdivision Certificate.

Lock-up stage is taken to mean the stage at which each building's external wall cladding and roof covering is fixed and external doors and windows are fixed (even if those doors and windows are only temporary).

50. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.

The minimum numeral height is to be 75mm.

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

51. The premises are allocated the following street addresses in accordance with City of Newcastle's *House Numbering Policy* and the *Surveying and Spatial Regulation*.

Lot Numbers on plan	Council Allocated Street Addresses			
	House Number	Street Name	Street Type	Suburb
Proposed Lot 1	17	Northumberland	Street	Maryville
Proposed Lot 2	15A	Northumberland	Street	Maryville
Proposed Lot 3	15	Northumberland	Street	Maryville

52. The operation of air conditioning units must operate as follows:
 - a) be inaudible in a habitable room during the hours of 10pm – 7am on weekdays and 10pm to 8am on weekends and public holidays;
 - b) emit a sound pressure level when measured at the boundary of any neighbouring residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level must be measured as a LAeq 15 minute; and
 - c) not discharge any condensate or moisture onto the ground surface of the premises or into stormwater drainage system in contravention of the requirements of the *Protection of the Environment Operations Act 1997*.

ADVISORY MATTERS

- For the purpose of applying the provisions of the National Construction Code for class 1, 2, 3, 4, 9a (health care) and 9c (aged care) buildings, it is advised that the proposed building is located in a Flood Hazard Area and the:
 - a) Defined Flood Level (DFL) is 2.2m Australian Height Datum (AHD)
 - b) Flood Hazard Level is 2.5m AHD (Freeboard is 500mm above DFL)
 - c) Maximum Flow Velocity of floodwaters for the Defined Flood Event is 0.1m/s
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- An application is to be submitted to the City of Newcastle for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
 - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 18/08/2020 – DA2019/01097 – 15 NORTHUMBERLAND STREET
MARYVILLE – MULTI-DWELLING – DEMOLITION OF DWELLING,
ERECTION OF THREE ATTACHED DWELLINGS AND TWO LOT
INTO THREE LOT SUBDIVISION**

ITEM-26 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

DA2019/01097 – 15 NORTHUMBERLAND STREET, MARYVILLE

- | | |
|------------------|------------------------------------------|
| 16 October 2019 | - Development Application lodged with CN |
| 21 October 2019 | - Public notification (14 days) |
| 21 November 2019 | - CN request for additional information |
| 13 February 2020 | - Additional information received |
| 17 February 2020 | - Public notification (14 days) |
| 21 April 2020 | - Public Voice committee meeting |