

**PUBLIC VOICE COMMITTEE MEETING**

**20 August 2019**

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**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**REPORTS BY COUNCIL OFFICERS**

<b>Attachment A - Plans</b>	<b>DA2018/01191 – 144 Maryland Drive Maryland</b> <b>Alterations and additions to commercial premises, associated carpark, change of use, and erection of tavern and signage</b>
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# MARYLAND SHOPPING CENTRE REDEVELOPMENT

## GENERAL NOTES

- NOT FOR CONSTRUCTION.
- DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS ONLY.
- ALL LEVELS RELATIVE TO AUSTRALIAN HEIGHT DATUM.
- ALL AREA CALCULATIONS ARE PRELIMINARY ONLY AND APPROXIMATED. ALL AREAS FOR LEGAL PURPOSES SHOULD BE UNDERTAKEN FROM AS-CONSTRUCTED CONDITIONS. AREAS ARE LIKELY TO CHANGE DURING THE DESIGN DEVELOPMENT AND DOCUMENTATION PROCESSES.
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## PROJECT

MARYLAND SHOPPING CENTRE

## ADDRESS

144 MARYLAND DRIVE, MARYLAND

## DRAWN

MJ

## DATE

12.07.19

## CLIENT

REYNOLDS

## DWG NO.

12.07.19

## DRAWING NO.

01

## ISSUE

PRE S



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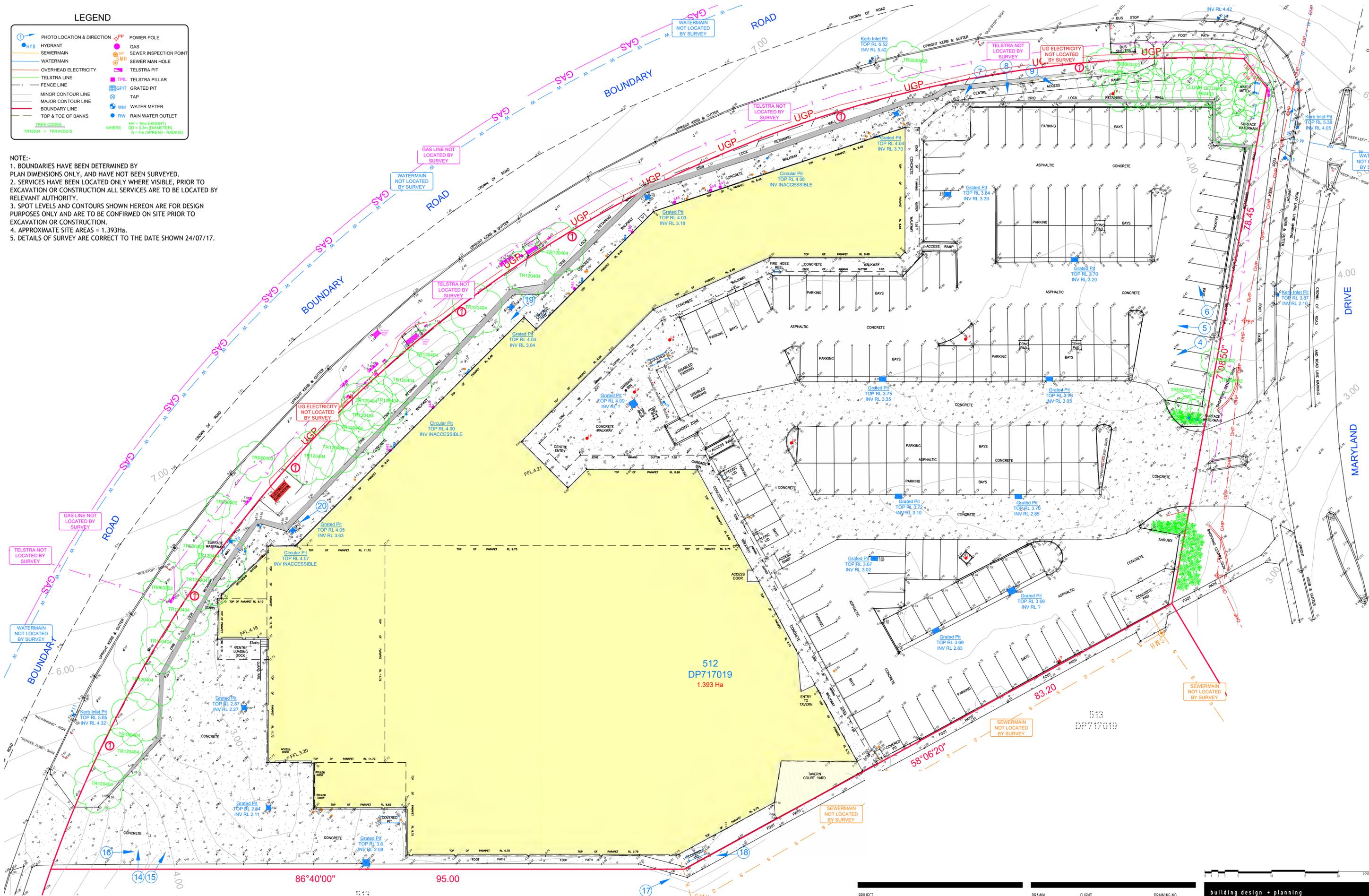
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**LEGEND**

	PHOTO LOCATION & DIRECTION		POWER POLE
	HYDRANT		GAS
	SEWERMAIN		SEWER INSPECTION POINT
	WATERMAIN		SEWER MAN HOLE
	OVERHEAD ELECTRICITY		TELSTRA PIT
	TELSTRA LINE		TELSTRA PILLAR
	FENCE LINE		GRADED PIT
	MINOR CONTOUR LINE		TAP
	MAJOR CONTOUR LINE		WATER METER
	BOUNDARY LINE		RAIN WATER OUTLET
	TOP & TOE OF BANKS		
	TREE CODES TR16034 = TRHYDD/S		

- NOTE:-**
- BOUNDARIES HAVE BEEN DETERMINED BY PLAN DIMENSIONS ONLY, AND HAVE NOT BEEN SURVEYED.
  - SERVICES HAVE BEEN LOCATED ONLY WHERE VISIBLE, PRIOR TO EXCAVATION OR CONSTRUCTION ALL SERVICES ARE TO BE LOCATED BY RELEVANT AUTHORITY.
  - SPOT LEVELS AND CONTOURS SHOWN HEREON ARE FOR DESIGN PURPOSES ONLY AND ARE TO BE CONFIRMED ON SITE PRIOR TO EXCAVATION OR CONSTRUCTION.
  - APPROXIMATE SITE AREAS = 1.393Ha.
  - DETAILS OF SURVEY ARE CORRECT TO THE DATE SHOWN 24/07/17.



**SITE SURVEY**  
SCALE 1:250 @ A1

ALL PURPOSES SHOULD BE UNDERTAKEN FROM DEVELOPMENT AND DOCUMENTATION PROCESSES.  
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ADDRESS  
**144 MARYLAND DRIVE, MARYLAND**

DRAWN  
**MJ**  
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**12.07.19**

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**REYNOLDS**  
DWG NO.  
**02**

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MINMI 1km  
NEWCASTLE LINK RD 3km

FLETCHER

MARYLAND PUBLIC SCHOOL

MARYLAND SHOPPING CENTRE

WALLSEND

WETLANDS

SHORTLAND

NEWCASTLE 7km



LOCATION PLAN  
NTS

MARYLAND

MINMI ROAD

BILL ELLIOT OVAL

MARYLAND SKATE PARK

NEWCASTLE UNIVERSITY

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ADDRESS  
**144 MARYLAND DRIVE, MARYLAND**

DRAWN <b>MJ</b>	CLIENT <b>REYNOLDS</b>	DRAWING NO. <b>03</b>
DATE <b>12.07.19</b>	DWG NO.	ISSUE <b>PRE S</b>



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**PROPOSED SITE PLAN**  
SCALE 1:500 @ A1

■ DENOTES NEW WORK

**AERIAL PHOTO**  
NTS

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LOT 512 DP 717019  
1.392ha

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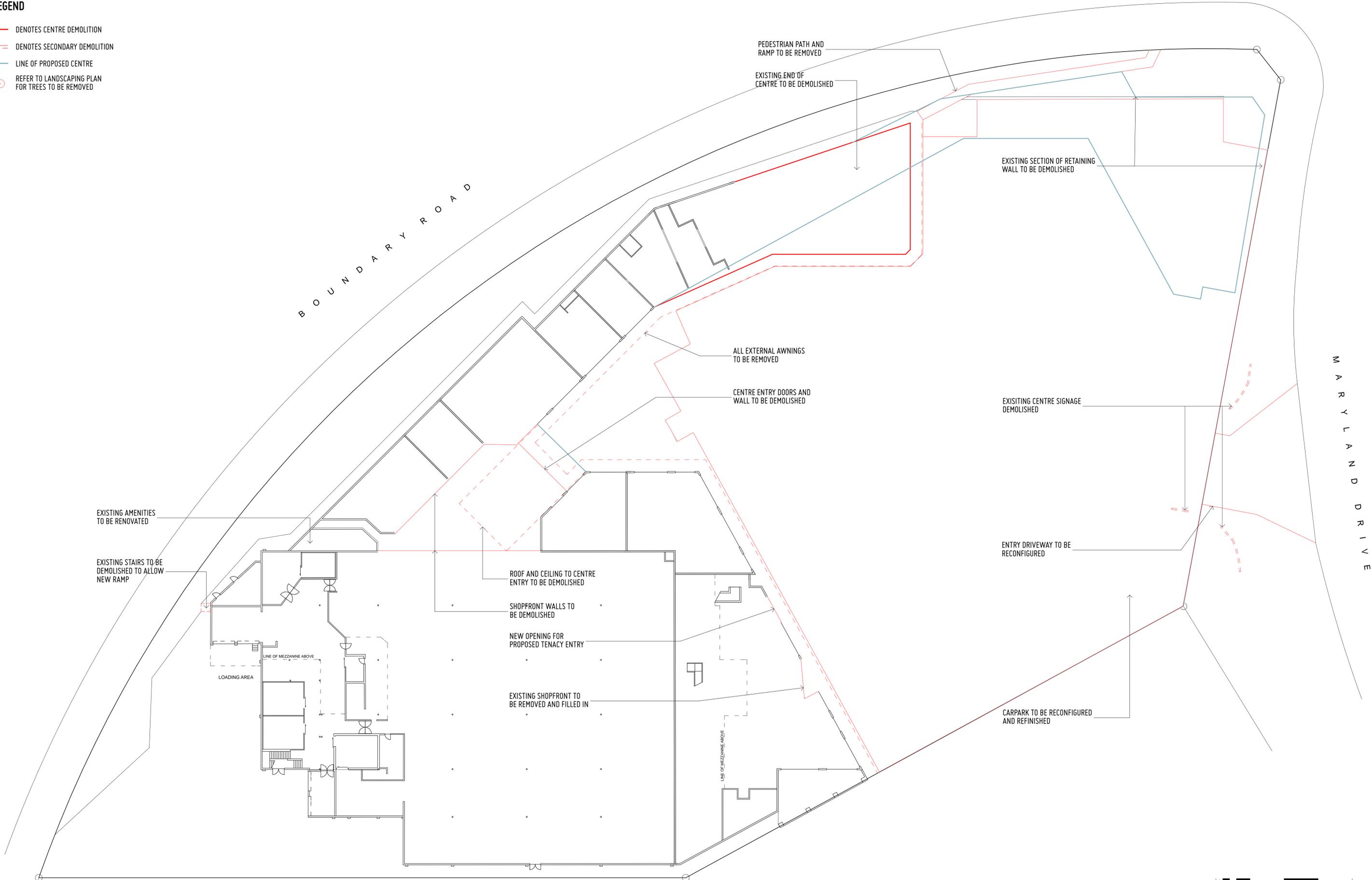
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**LEGEND**

- DENOTES CENTRE DEMOLITION
- - - DENOTES SECONDARY DEMOLITION
- LINE OF PROPOSED CENTRE
- REFER TO LANDSCAPING PLAN FOR TREES TO BE REMOVED



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DRAWN	CLIENT	DRAWING NO.
<b>MJ</b>	<b>REYNOLDS</b>	<b>06</b>
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\* DENOTES CAR PARK AND PATH LIGHTING

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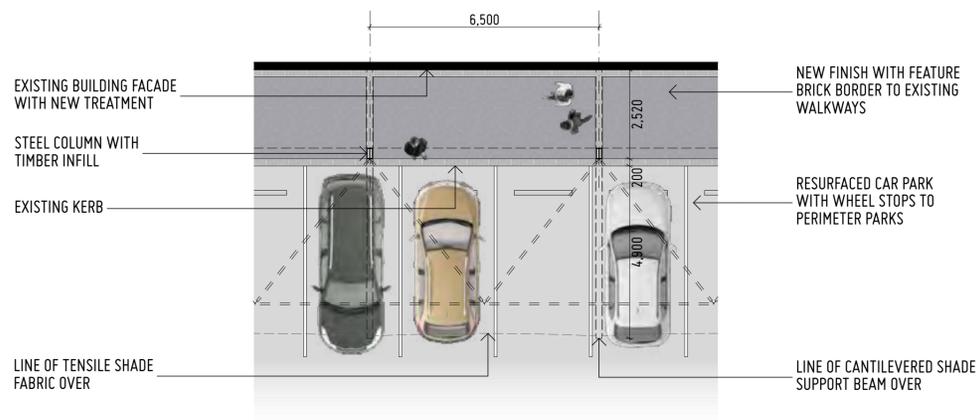
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**TYPICAL AWNING PLAN**  
SCALE 1:100 @ A1



**ALFRESCO AND CENTRE ENTRY PLAN**  
SCALE 1:200 @ A1



**DIMENSIONED CARPARK PLAN**  
SCALE 1:200 @ A1

**PARKING METRICS**

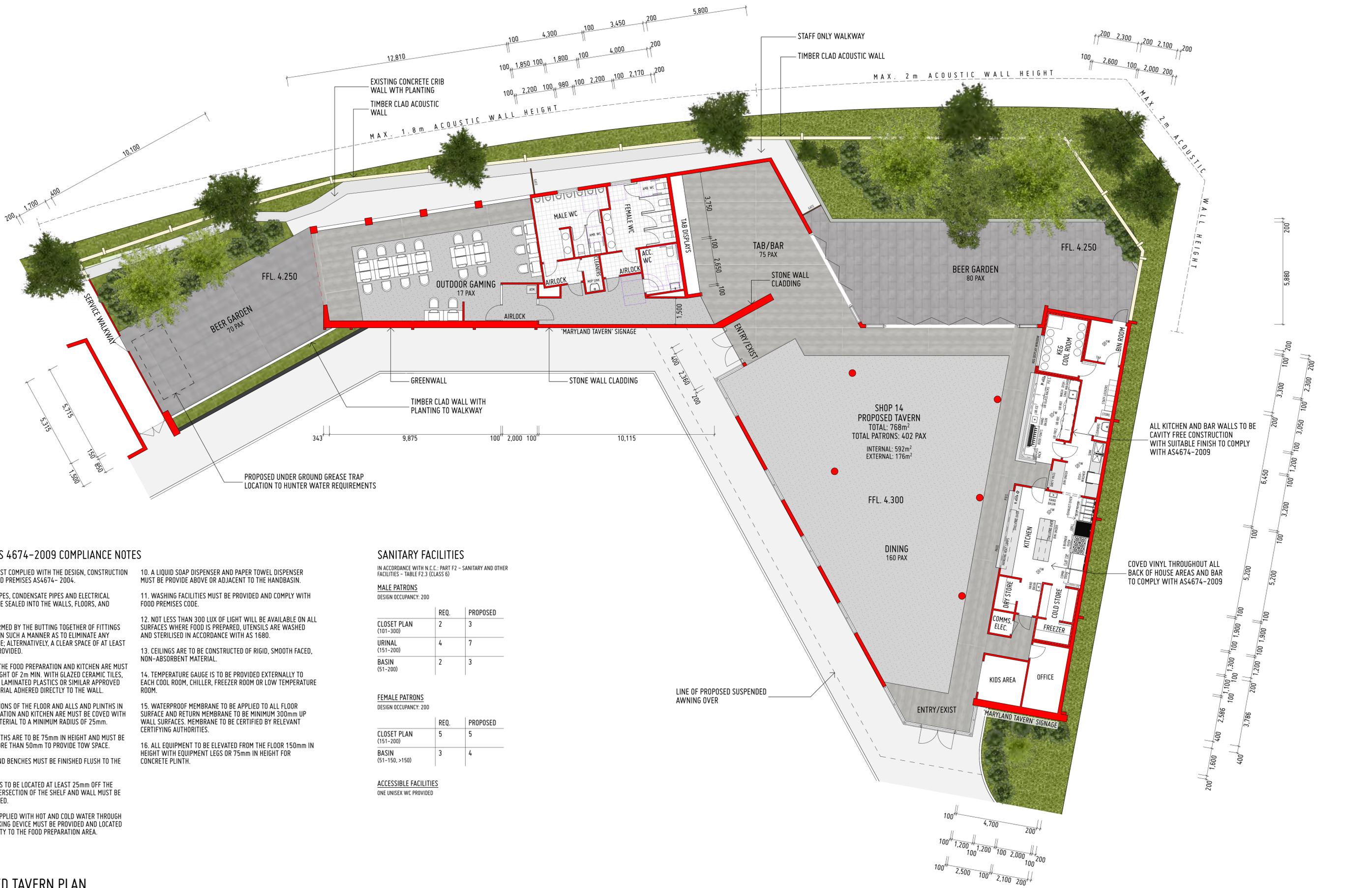
EXISTING	PROPOSED
180 SPACES	147 SPACES
2 ACCESSIBLE SPACES	4 ACCESSIBLE SPACES
1 MINI BUS SPACE	
<b>TOTAL: 183 SPACES</b>	<b>TOTAL: 151 SPACES</b>
+ 1 MRV LOADING ZONE	+ 1 MRV LOADING ZONE
	+ 2 MOTORBIKE SPACES

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<b>PROJECT</b> MARYLAND SHOPPING CENTRE	<b>DRAWN</b> MJ	<b>CLIENT</b> REYNOLDS	<b>DRAWING NO.</b> 08
<b>ADDRESS</b> 144 MARYLAND DRIVE, MARYLAND	<b>DATE</b> 12.07.19	<b>DWG NO.</b>	<b>ISSUE</b> PRE S

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**GENERAL AS 4674-2009 COMPLIANCE NOTES**

1. ALL FIT OUT MUST COMPLY WITH THE DESIGN, CONSTRUCTION & FITOUT FOR FOOD PREMISES AS4674-2004.
2. ALL SERVICE PIPES, CONDENSATE PIPES AND ELECTRICAL CONDUITS MUST BE SEALED INTO THE WALLS, FLOORS, AND PLINTHS.
3. ALL JOINTS FORMED BY THE BUTTING TOGETHER OF FITTINGS MUST BE SEALED IN SUCH A MANNER AS TO ELIMINATE ANY CAVITY OR CREVICE; ALTERNATIVELY, A CLEAR SPACE OF AT LEAST 75mm IS TO BE PROVIDED.
4. ALL WALLS IN THE FOOD PREPARATION AND KITCHEN ARE MUST BE TILED TO A HEIGHT OF 2m MIN. WITH GLAZED CERAMIC TILES, STAINLESS STEEL, LAMINATED PLASTICS OR SIMILAR APPROVED IMPERVIOUS MATERIAL ADHERED DIRECTLY TO THE WALL.
5. ALL INTERSECTIONS OF THE FLOOR AND ALLS AND PLINTHS IN THE FOOD PREPARATION AND KITCHEN ARE MUST BE COVERED WITH AN APPROVED MATERIAL TO A MINIMUM RADIUS OF 25mm.
6. CONCRETE PLINTHS ARE TO BE 75mm IN HEIGHT AND MUST BE RECESSED NOT MORE THAN 50mm TO PROVIDE TOW SPACE.
7. SINKS, TUBS AND BENCHES MUST BE FINISHED FLUSH TO THE WALL.
8. ALL SHELVING IS TO BE LOCATED AT LEAST 25mm OFF THE WALL OR THE INTERSECTION OF THE SHELF AND WALL MUST BE COMPLETELY SEALED.
9. HANDBASIN SUPPLIED WITH HOT AND COLD WATER THROUGH AN APPROVED MIXING DEVICE MUST BE PROVIDED AND LOCATED IN CLOSE PROXIMITY TO THE FOOD PREPARATION AREA.

10. A LIQUID SOAP DISPENSER AND PAPER TOWEL DISPENSER MUST BE PROVIDE ABOVE OR ADJACENT TO THE HANDBASIN.
11. WASHING FACILITIES MUST BE PROVIDED AND COMPLY WITH FOOD PREMISES CODE.
12. NOT LESS THAN 300 LUX OF LIGHT WILL BE AVAILABLE ON ALL SURFACES WHERE FOOD IS PREPARED, UTENSILS ARE WASHED AND STERILISED IN ACCORDANCE WITH AS 1680.
13. CEILINGS ARE TO BE CONSTRUCTED OF RIGID, SMOOTH FACED, NON-ABSORBENT MATERIAL.
14. TEMPERATURE GAUGE IS TO BE PROVIDED EXTERNALLY TO EACH COOL ROOM, CHILLER, FREEZER ROOM OR LOW TEMPERATURE ROOM.
15. WATERPROOF MEMBRANE TO BE APPLIED TO ALL FLOOR SURFACE AND RETURN MEMBRANE TO BE MINIMUM 300mm UP WALL SURFACES. MEMBRANE TO BE CERTIFIED BY RELEVANT CERTIFYING AUTHORITIES.
16. ALL EQUIPMENT TO BE ELEVATED FROM THE FLOOR 150mm IN HEIGHT WITH EQUIPMENT LEGS OR 75mm IN HEIGHT FOR CONCRETE PLINTH.

**SANITARY FACILITIES**

IN ACCORDANCE WITH N.C.C.: PART F2 - SANITARY AND OTHER FACILITIES - TABLE F2.3 (CLASS 6)

**MALE PATRONS**  
DESIGN OCCUPANCY: 200

	REQ.	PROPOSED
CLOSET PLAN (101-300)	2	3
URINAL (151-200)	4	7
BASIN (51-200)	2	3

**FEMALE PATRONS**  
DESIGN OCCUPANCY: 200

	REQ.	PROPOSED
CLOSET PLAN (151-200)	5	5
BASIN (51-150, >150)	3	4

**ACCESSIBLE FACILITIES**  
ONE UNISEX WC PROVIDED

**PROPOSED TAVERN PLAN**

SCALE 1:100 @ A1

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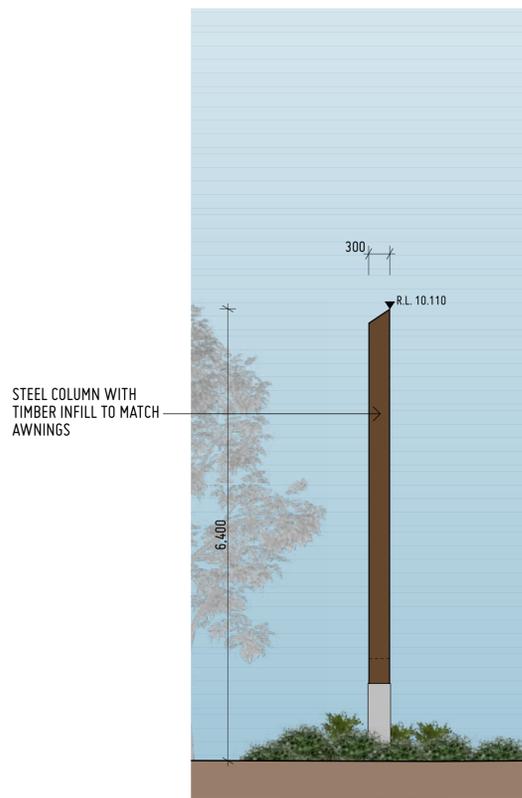
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**NEW CENTRE PYLON SIGNAGE**  
SCALE 1:100 @ A1

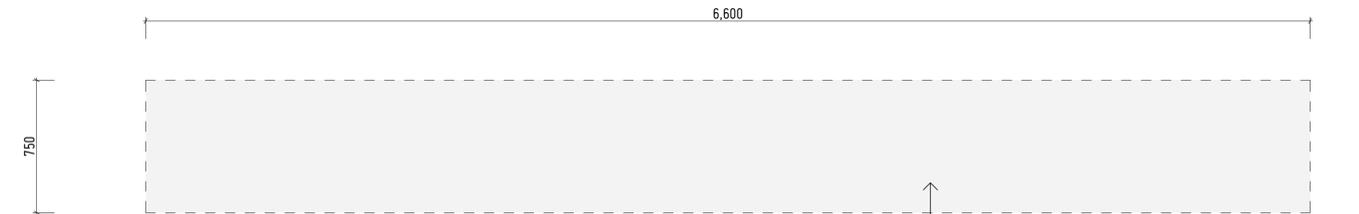


EDGE LIT CENTRE LOGO TO FUTURE DESIGN AND DETAIL

STEEL COLUMN WITH TIMBER INFILL TO MATCH AWNINGS

INDICATIVE TENANCY BACKLIT SIGNAGE ZONES

LOW LEVEL SHRUBBERY TO ENSURE SIGHT LINES



INDICATIVE ILLUMINATED SIGNAGE

**SUPERMARKET RETAILER SIGNAGE (1x)**  
SCALE 1:20 @ A1

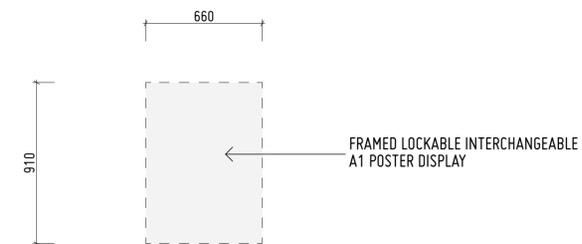


ILLUMINATED SIGNAGE TO FUTURE TENANCY GUIDELINES

**TYPICAL TENANCY SIGNAGE (9x)**  
SCALE 1:20 @ A1



**MARYLAND TAVERN SIGNAGE 1**  
SCALE 1:20 @ A1



FRAMED LOCKABLE INTERCHANGEABLE A1 POSTER DISPLAY

**MARYLAND TAVERN A1 POSTER SIGNAGE (4x)**  
SCALE 1:20 @ A1



**MARYLAND TAVERN SIGNAGE 2**  
SCALE 1:20 @ A1

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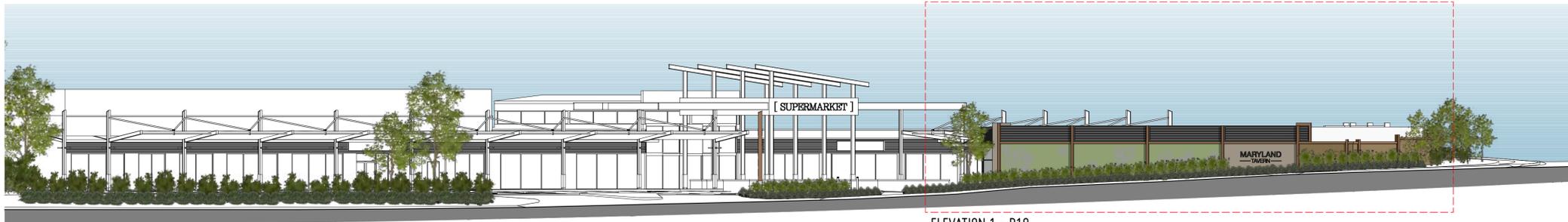
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ELEVATION 1 - P10

**EAST ELEVATION (MARYLAND DRIVE)**

SCALE 1:200 @ A1



ELEVATION 2 - P10

ELEVATION 3 - P10

**EAST ELEVATION (INTERNAL)**

SCALE 1:200 @ A1



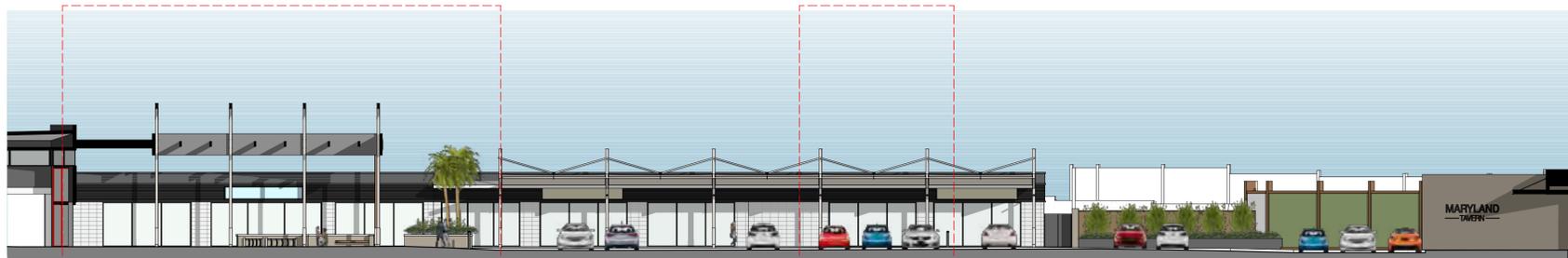
ELEVATION 4 - P10

ELEVATION 5 - P10

ELEVATION 6 - P11

**NORTH ELEVATION (INTERNAL)**

SCALE 1:200 @ A1



ELEVATION 7 - P11

ELEVATION 8 - P11

**NORTH ELEVATION (INTERNAL)**

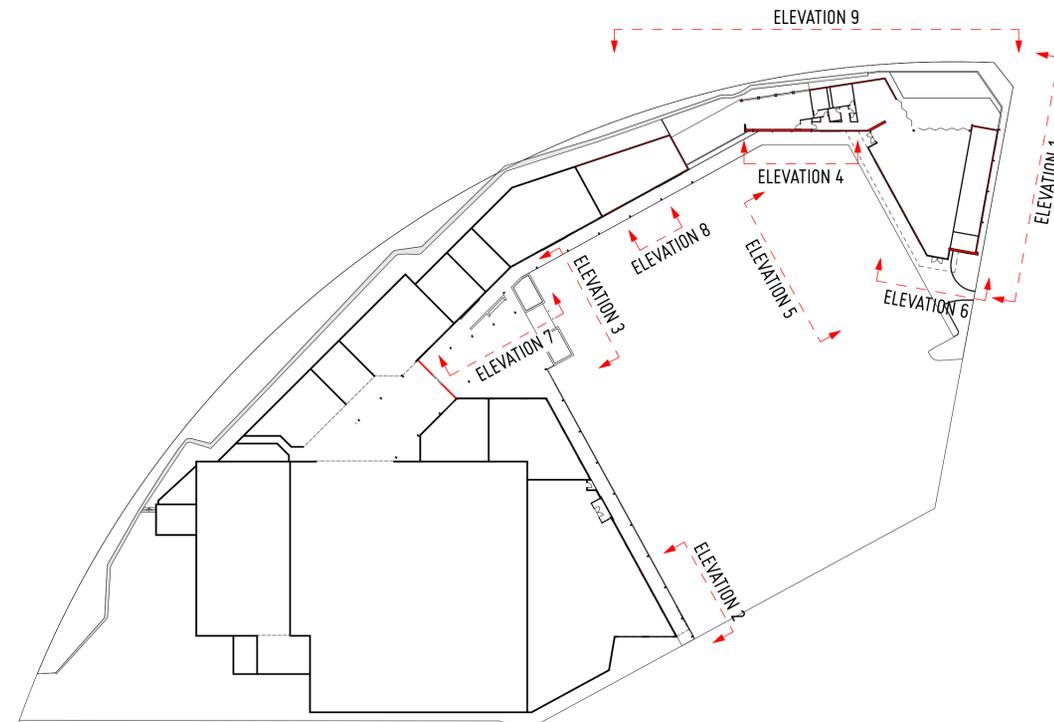
SCALE 1:200 @ A1



ELEVATION 9 - P11

**NORTH ELEVATION (BOUNDARY ROAD)**

SCALE 1:200 @ A1



**ELEVATION KEY PLAN**

NTS

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**MJ**

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**12.07.19**

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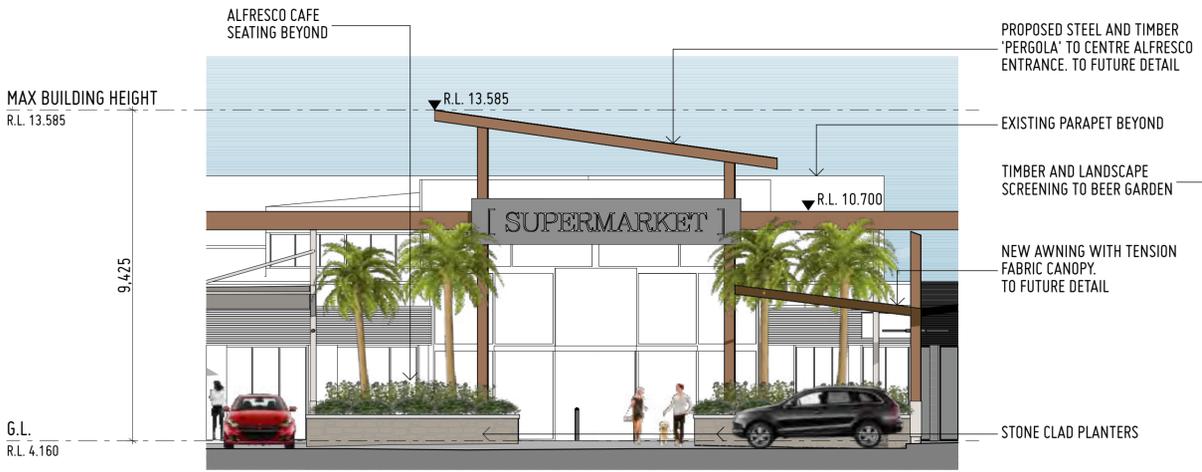
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**ELEVATION 1**  
SCALE 1:100 @ A1



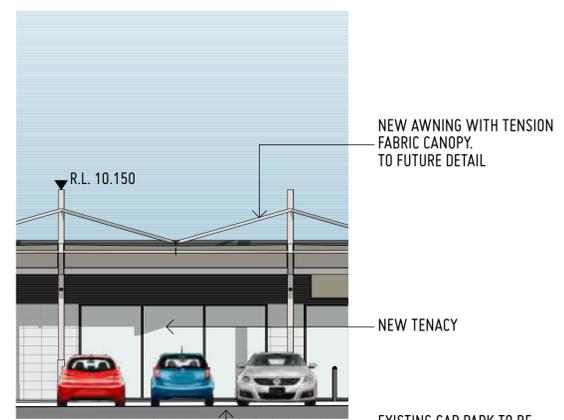
**ELEVATION 2**  
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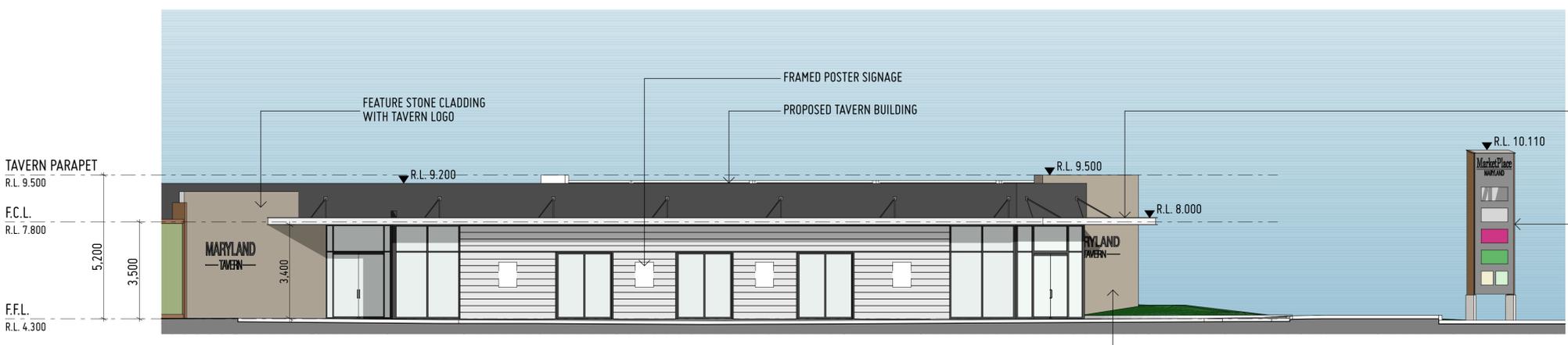
**ELEVATION 3**  
SCALE 1:100 @ A1



**ELEVATION 4**  
SCALE 1:100 @ A1



**ELEVATION 8**  
SCALE 1:100 @ A1



**ELEVATION 5**  
SCALE 1:100 @ A1

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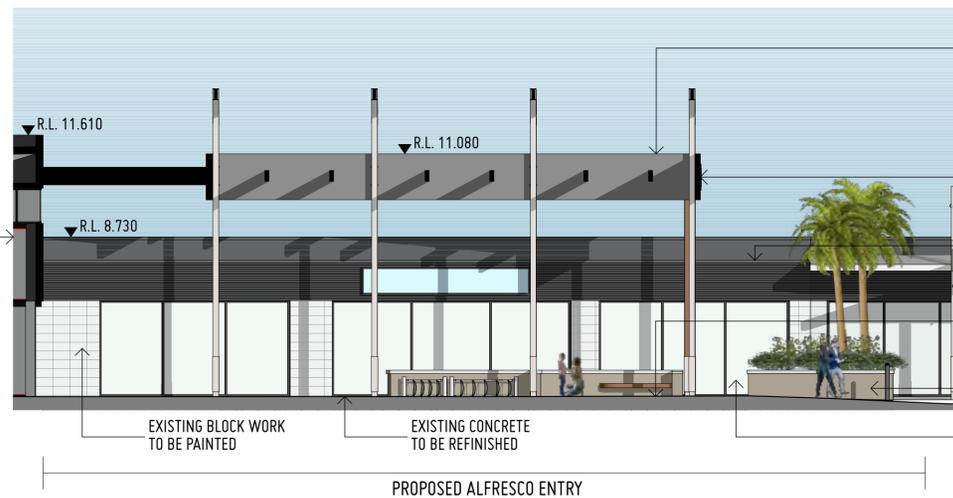
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**ELEVATION 6**  
SCALE 1:100 @ A1

- FEATURE STONE CLADDING WITH TAVERN LOGO
- PROPOSED NEW CENTRE ENTRY
- PROPOSED TAVERN BUILDING WITH GREEN WALL, STONE, AND TIMBER FACADE
- NEW PEDESTRIAN ENTRY PATH



**ELEVATION 7**  
SCALE 1:100 @ A1

- PROPOSED STEEL AND TIMBER PERGOLA TO CENTRE ALFRESCO ENTRANCE. TO FUTURE DETAIL
- GROCERY SIGNAGE
- NEW FEATURE CLADDING ABOVE EX. GLAZING WITH INCORPORATED TENANCY SIGNAGE
- KIDS PLAY AREA
- STONE PLANTER
- EXISTING GLAZING FRAMES TO BE PAINTED

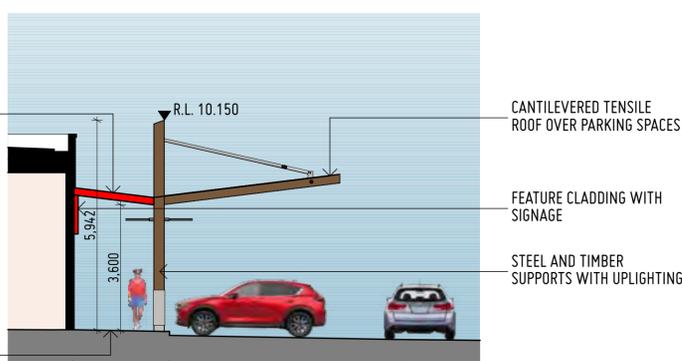


**ELEVATION 9**  
SCALE 1:100 @ A1

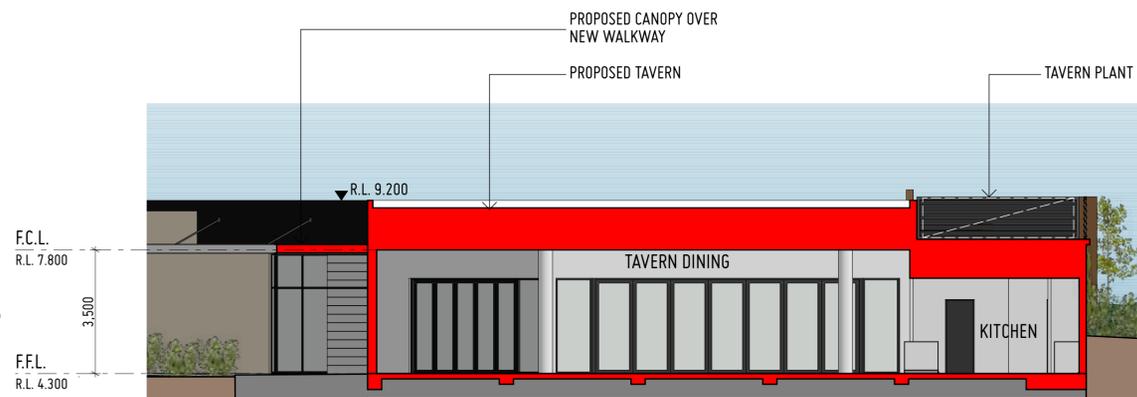
- TIMBER CLAD MAX. 1.8m ACOUSTIC WALL TO GAMING AND SECONDARY BEER GARDEN



**SECTION A (CENTRE ENTRY)**  
SCALE 1:100 @ A1



**SECTION B (TYPICAL WALKWAY AWNING)**  
SCALE 1:100 @ A1



**SECTION C (PROPOSED TAVERN)**  
SCALE 1:100 @ A1

■ DENOTES NEW WORK

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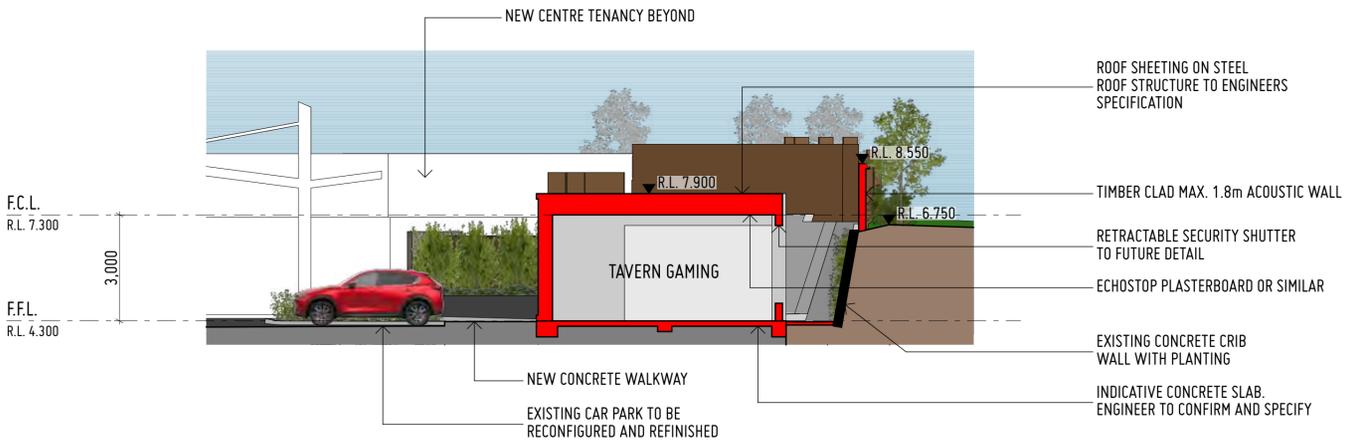
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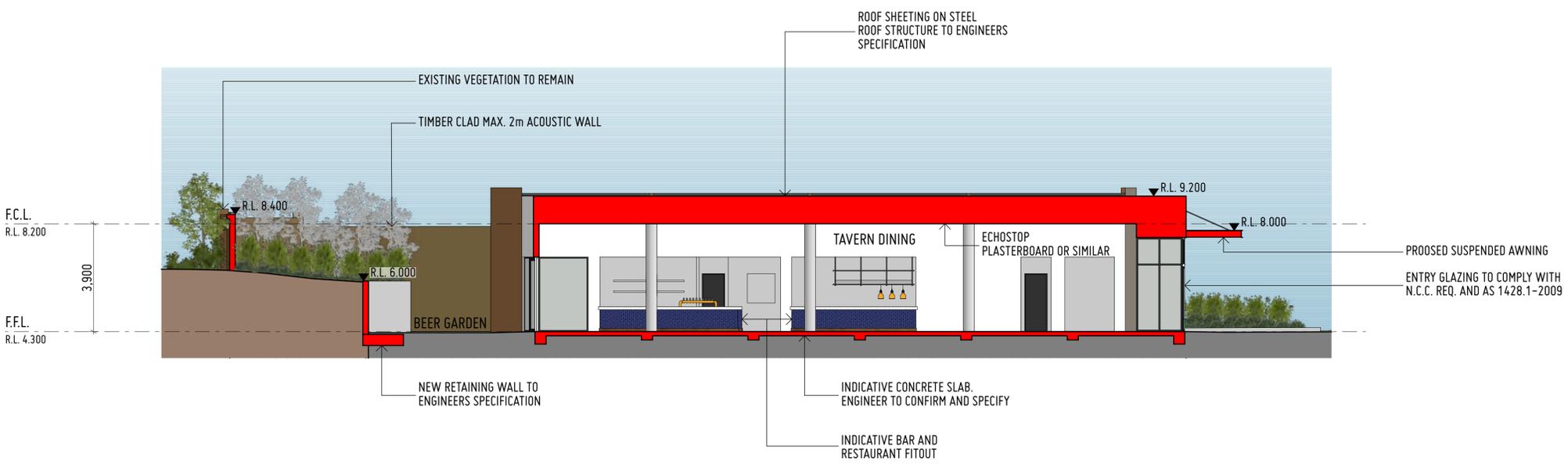
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SECTION D (PROPOSED TAVERN)  
SCALE 1:100 @ A1



SECTION E (PROPOSED TAVERN)  
SCALE 1:100 @ A1

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