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**DAC 17/05/22 – 20 DENISON STREET NEWCASTLE WEST –
MA2021/00470 - SEC 4.55(2) MODIFICATION TO DA2018/01498 -
SHOP TOP HOUSING - CHANGES TO FLOOR PLANS AND
ELEVATIONS**

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MA2021/00470 - SEC 4.55(2) MODIFICATION TO DA2018/01498 -
SHOP TOP HOUSING - CHANGES TO FLOOR PLANS AND
ELEVATIONS**

ITEM-7 Attachment A: Submitted Plans

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20 DENISON STREET NEWCASTLE WEST

SECTION 4.55 APPLICATION

PREPARED FOR
DENISON ST APARTMENTS PTY LTD



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DENISON STREET
NEWCASTLE

PROJECT NO : 17032

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DRAWING TITLE
COVER PAGE

SCALES
PHASE
S4.55 APPLICATION

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AREA SUMMARY

SITE AREA	1,636m ²
PERMISSIBLE FSR (6:1)	9,816m ²
PROPOSED FSR (4.5:1)	7,487m ²
PROPOSED RESIDENTIAL	7,264m ²
PROPOSED RETAIL	223m ²

LANDSCAPING SUMMARY

MINIMUM COMMUNAL OPEN SPACE	409m ² (25%)
PROPOSED COMMUNAL OPEN SPACE	445m ² (27%)
MINIMUM LANDSCAPED AREA	327m ² (20%)
PROPOSED LANDSCAPED AREA	591m ² (36%)
MINIMUM DEEP SOIL LANDSCAPING	164m ² (10%)
PROPOSED MASS PLANTING	521m ² (31%)

AREA SCHEDULE

LEVEL	GROSS FLOOR AREA (m2)
GF.GROUND FLOOR	268
MF.MEZZANINE	108
L01.LEVEL 01	357
L02.LEVEL 02	652
L03.LEVEL 03	432
L04.LEVEL 04	432
L05.LEVEL 05	432
L06.LEVEL 06	432
L07.LEVEL 07	432
L08.LEVEL 08	347
L09.LEVEL 09	347
L10.LEVEL 10	347
L11.LEVEL 11	347
L12.LEVEL 12	347
L12.LEVEL 13	347
L14.LEVEL 14	347
L15.LEVEL 15	347
L16.LEVEL 16	347
L17.LEVEL 17	347
L18.LEVEL 18	268
L19.LEVEL 19	182
L20.LEVEL 20	22
	7,487 m²

APARTMENT SCHEDULE

LEVEL	APARTMENT TYPE	QUANTITY
L01.LEVEL 01		
	1 BED	2
	2 BED	2
L02.LEVEL 02		
	1 BED	2
	2 BED	5
L03.LEVEL 03		
	1 BED	1
	2 BED	3
	3 BED	1
L04.LEVEL 04		
	1 BED	1
	2 BED	3
	3 BED	1
L05.LEVEL 05		
	1 BED	1
	2 BED	3
	3 BED	1
L06.LEVEL 06		
	1 BED	1
	2 BED	3
	3 BED	1
L07.LEVEL 07		
	1 BED	1
	2 BED	3
	3 BED	1
L08.LEVEL 08		
	2 BED	4
L09.LEVEL 09		
	2 BED	4
L10.LEVEL 10		
	2 BED	4
L11.LEVEL 11		
	2 BED	4
L12.LEVEL 12		
	2 BED	4
L12.LEVEL 13		
	2 BED	4
L14.LEVEL 14		
	2 BED	4
L15.LEVEL 15		
	2 BED	4
L16.LEVEL 16		
	2 BED	4
L17.LEVEL 17		
	2 BED	4
L18.LEVEL 18		
	3 BED	2
		78

APARTMENT SUMMARY SCHEDULE

APARTMENT TYPE	QUANTITY
1 BED	9
2 BED	62
3 BED	7
	78

PARKING SCHEDULE

TYPE	QUANTITY
BICYCLE	98
CAR	97
CAR WASH BAY	1
MOTORCYCLE	6

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DRAWING TITLE
AREA SCHEDULES

SCALES
@A1

PHASE
S4.55 APPLICATION

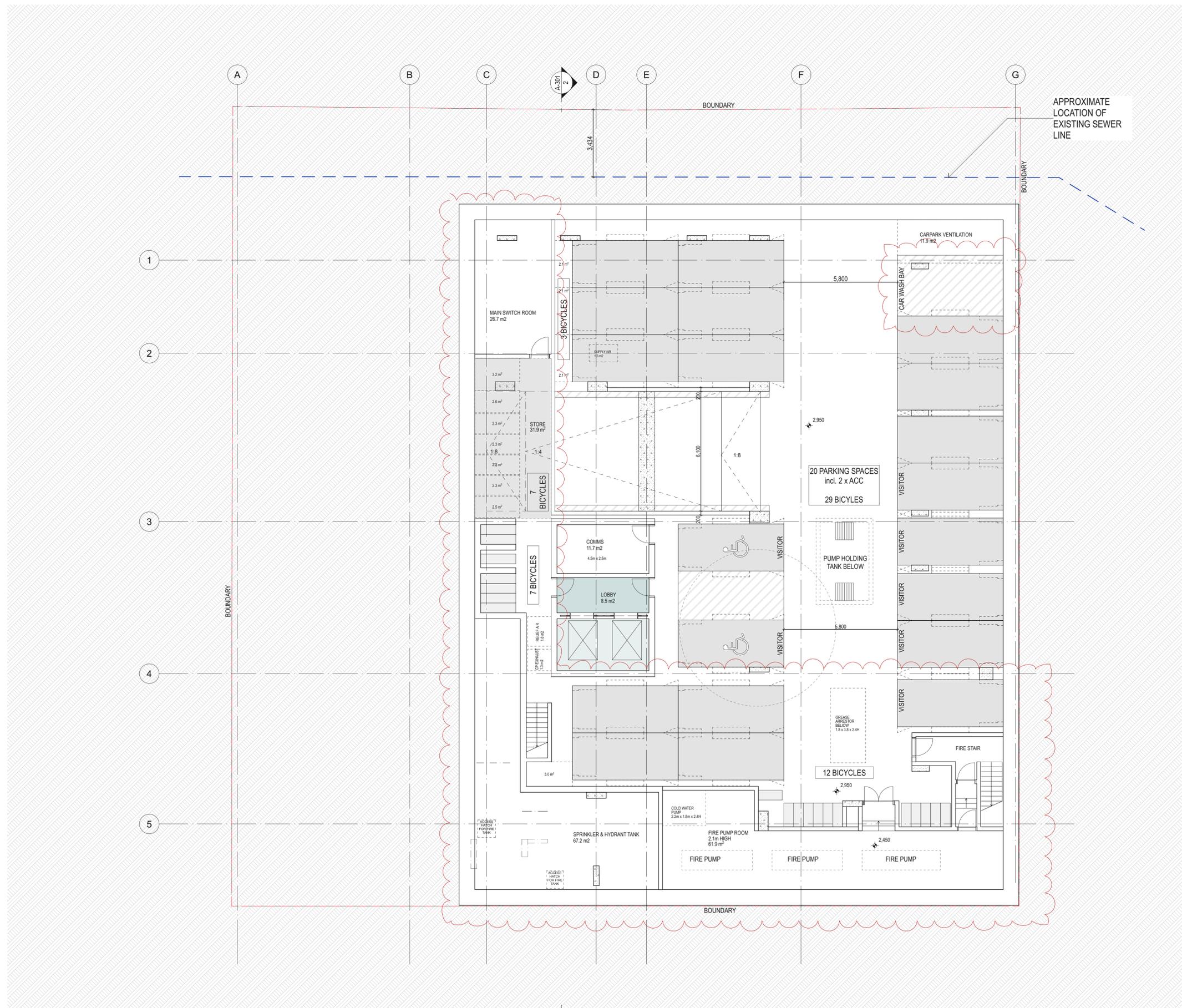
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12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION
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DRAWING TITLE
BASEMENT FLOOR PLAN

SCALES
 1:100 @A1

PHASE
 S4.55 APPLICATION

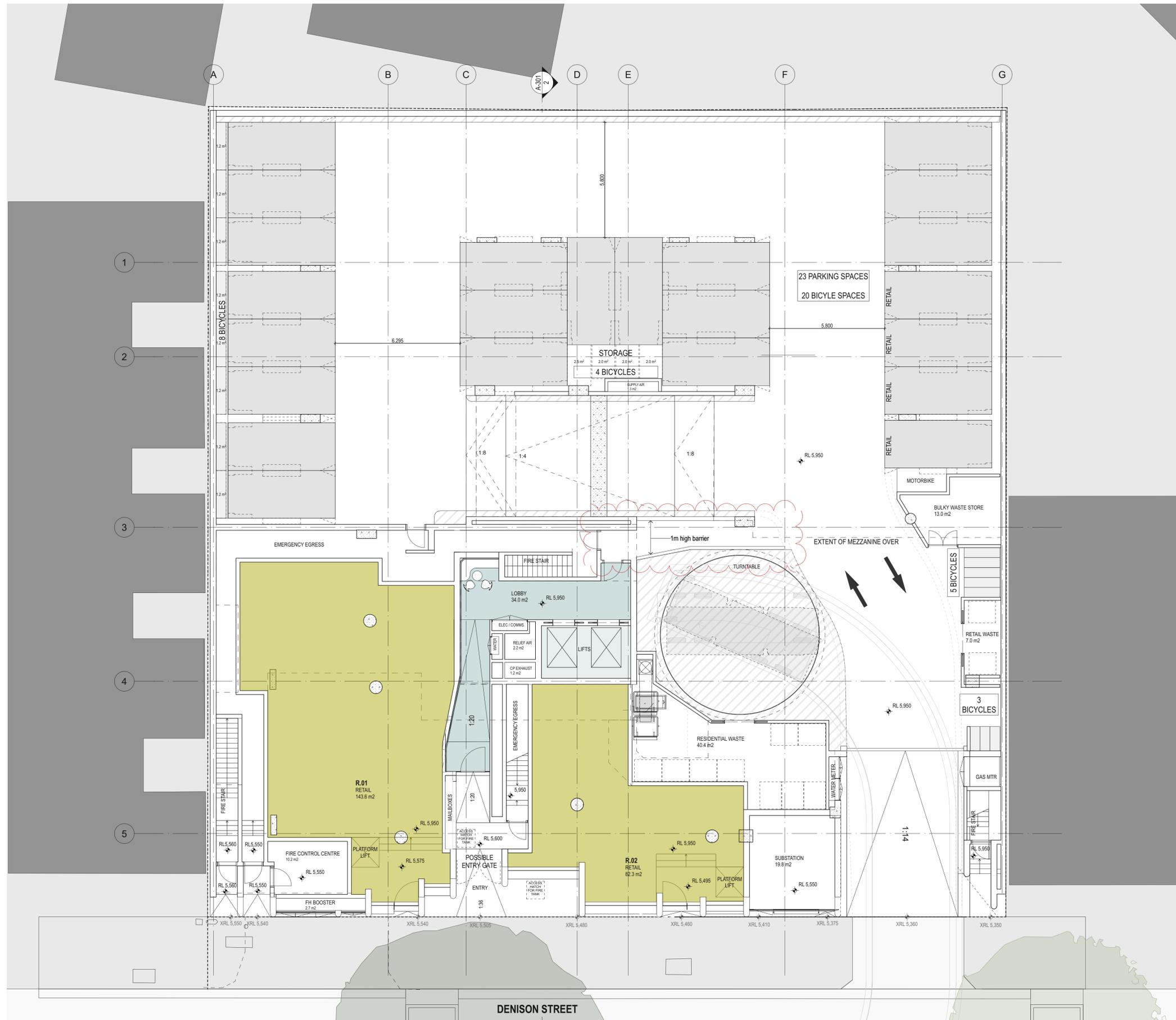
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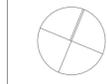
DATE
 4/3/22

REV
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12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION
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DRAWING TITLE
 GROUND FLOOR PLAN

SCALES
 1:100 @A1

PHASE
 S4.55 APPLICATION

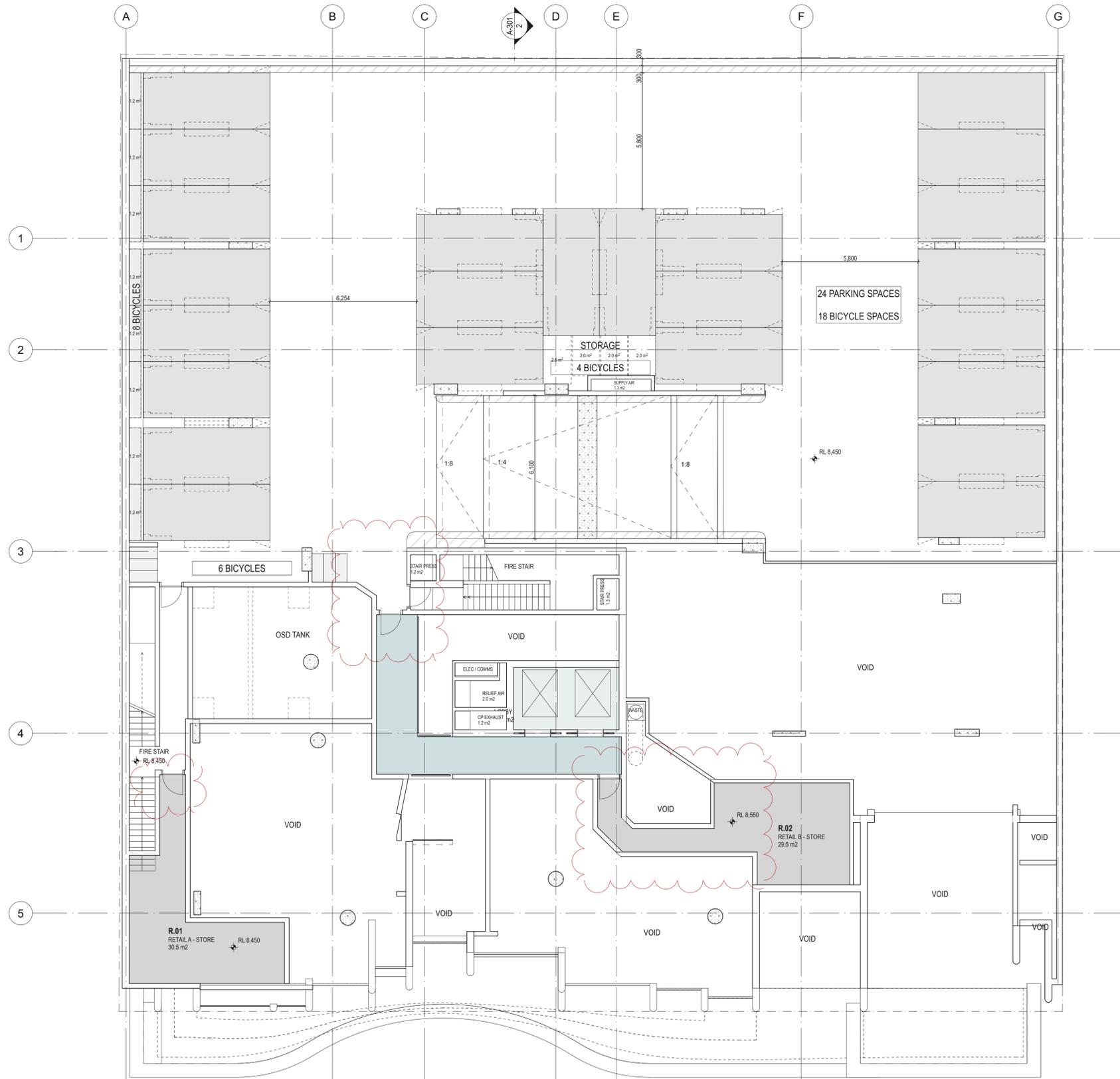
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DATE
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DRAWING TITLE
MEZZANINE FLOOR PLAN

SCALES
1:100 @A1

PHASE
S4.55 APPLICATION

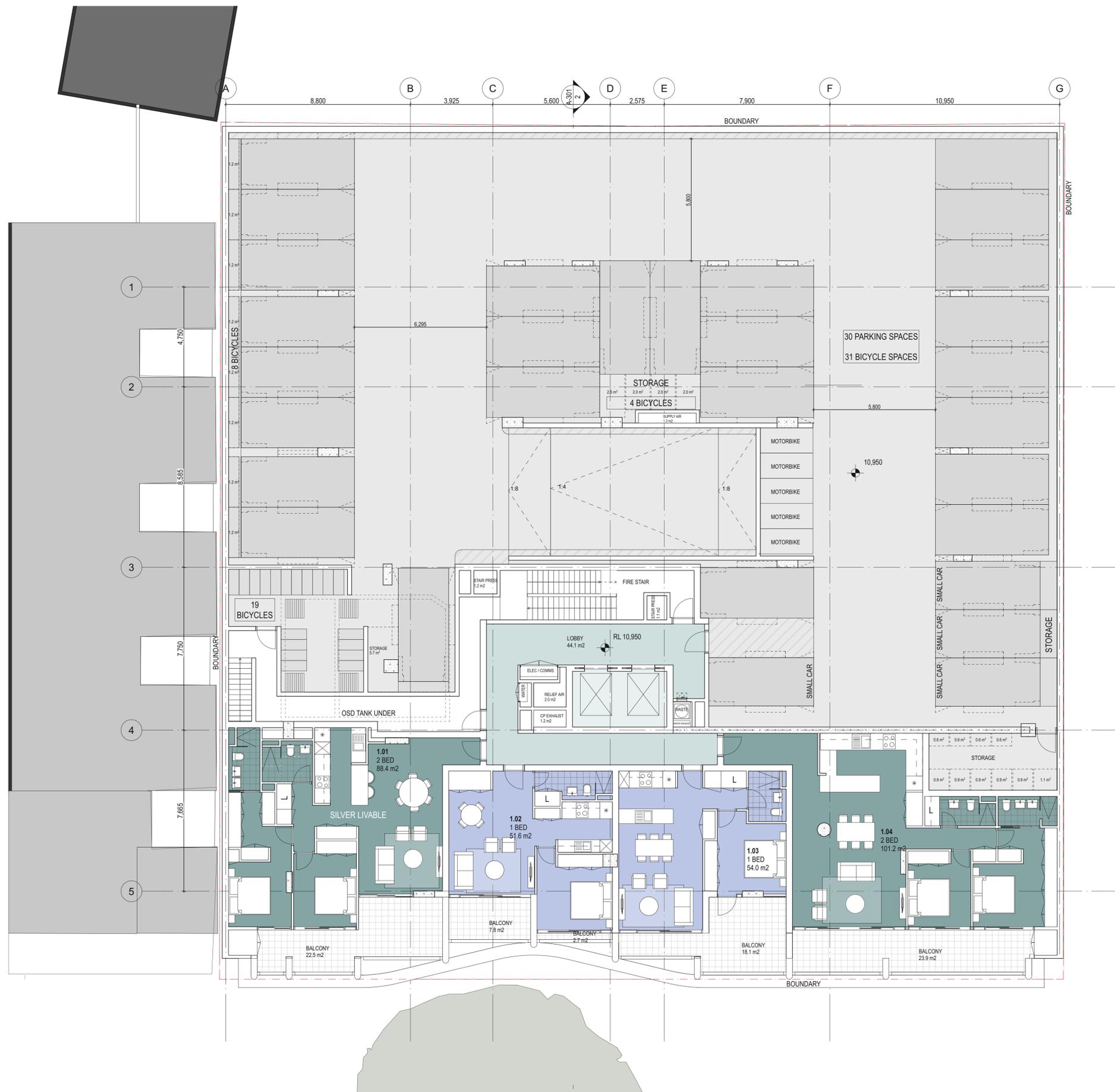
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30/3/2022

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DRAWING TITLE: FIRST FLOOR PLAN

SCALES: 1:100 @A1

PHASE: S4.55 APPLICATION

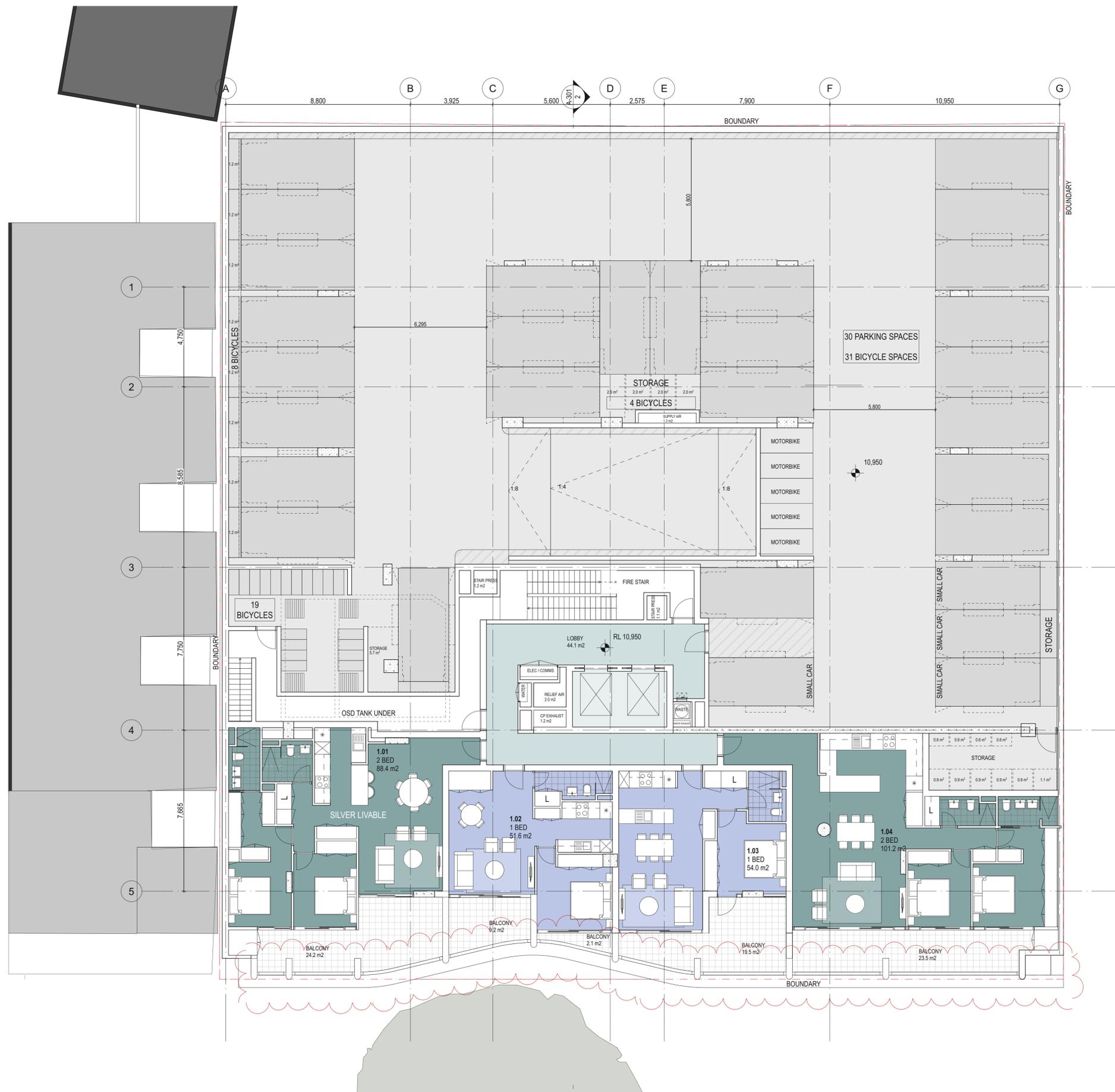
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DATE: 12/11/21

REV: A



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DRAWING TITLE
FIRST FLOOR PLAN

SCALES
1:100 @A1

PHASE
S4.55 APPLICATION

DRAWING NO
A-103

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DATE
30/3/2022

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NOTE: Areas labelled as 'Mass Planting' are in common ownership

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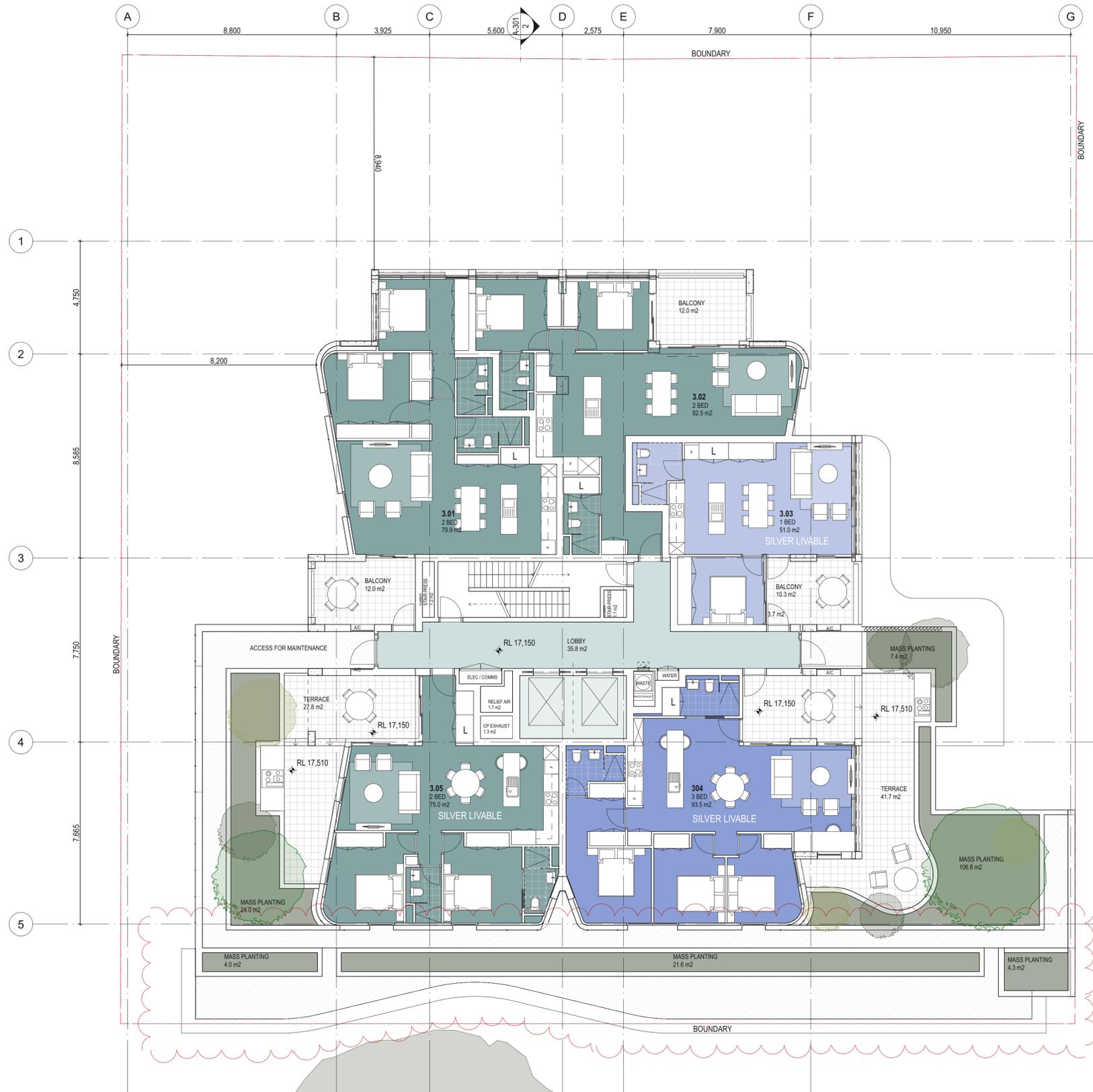
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SECOND FLOOR PLAN

SCALES 1:100 @A1

PHASE S4.55 APPLICATION

DRAWING NO A-104

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NOTE: Areas labelled as 'Mass Planting' are in common ownership

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DRAWING TITLE
THIRD FLOOR PLAN

SCALES
1:100 @A1

PHASE
S4.55 APPLICATION

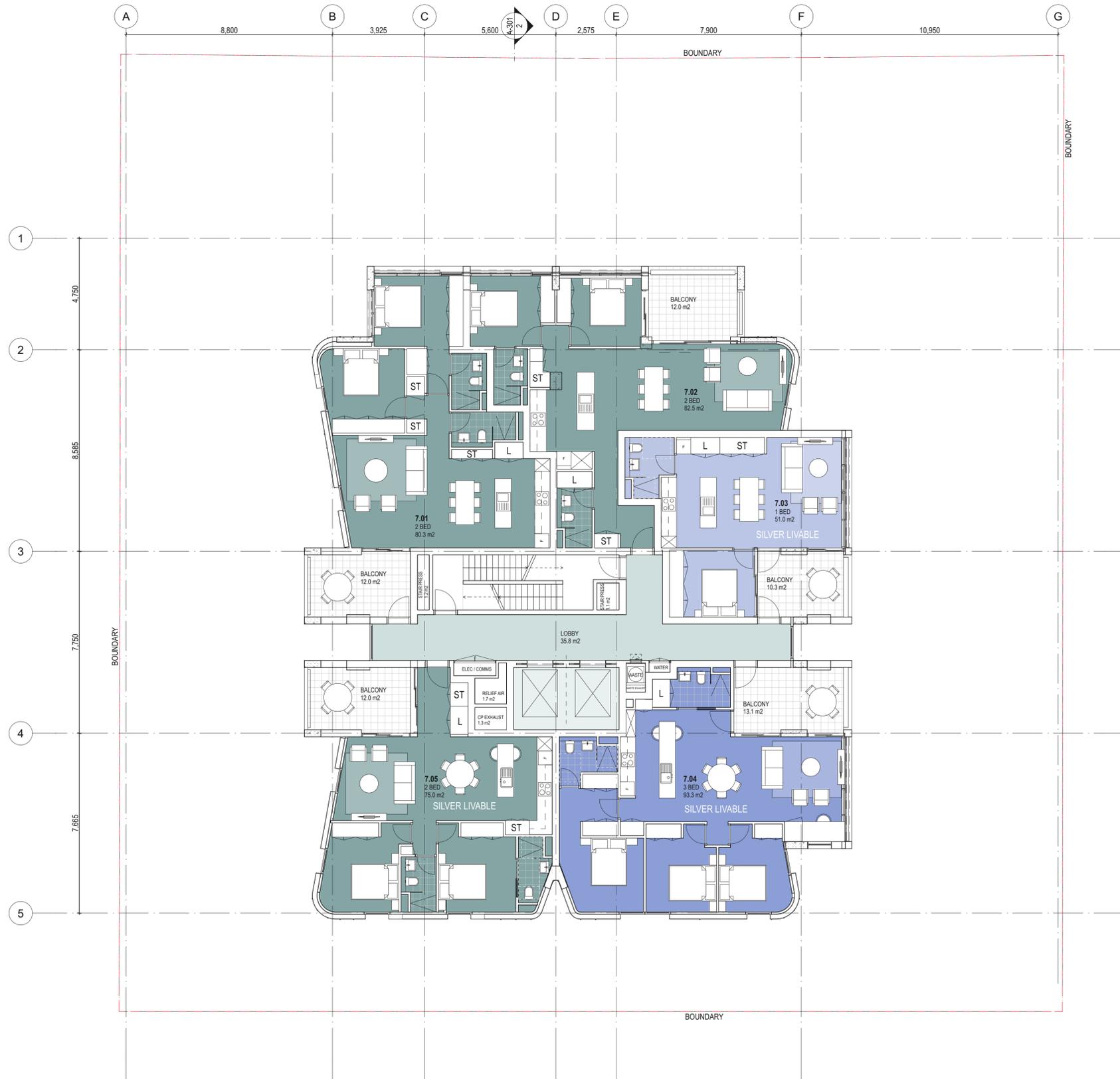
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DRAWING TITLE
TYPICAL LOWER FLOOR (L4-7)

SCALES
1:100 @A1

PHASE
S4.55 APPLICATION

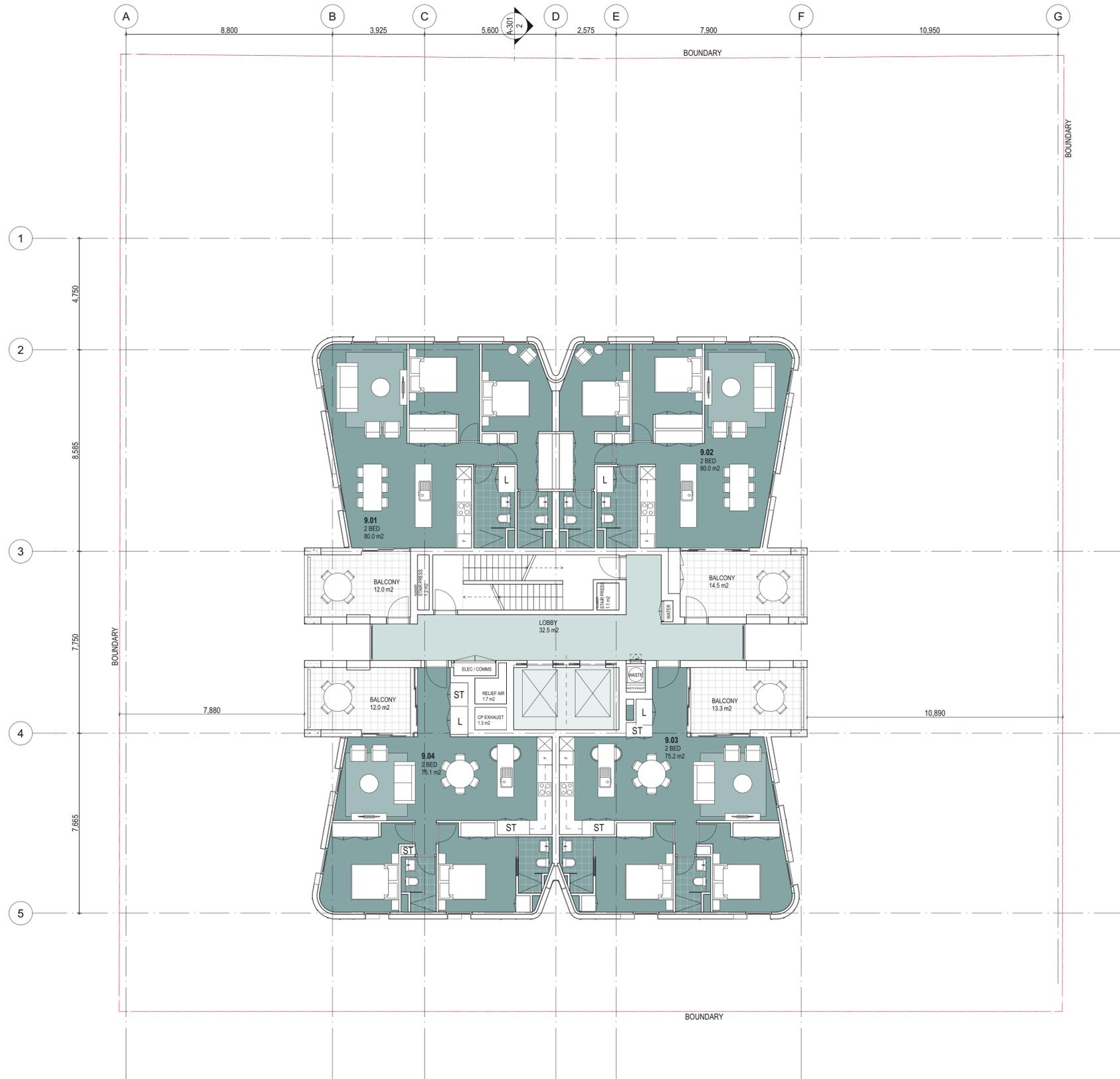
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DRAWING TITLE
TYPICAL UPPER FLOOR (L8-17)

SCALES
S4.55 APPLICATION

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S4.55 APPLICATION

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DRAWING TITLE
LEVEL 18 FLOOR PLAN

SCALES
 1:100 @A1

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A-108

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DRAWING TITLE
LEVEL 19 FLOOR PLAN

SCALES
 1:100 @A1

PHASE
 S4.55 APPLICATION

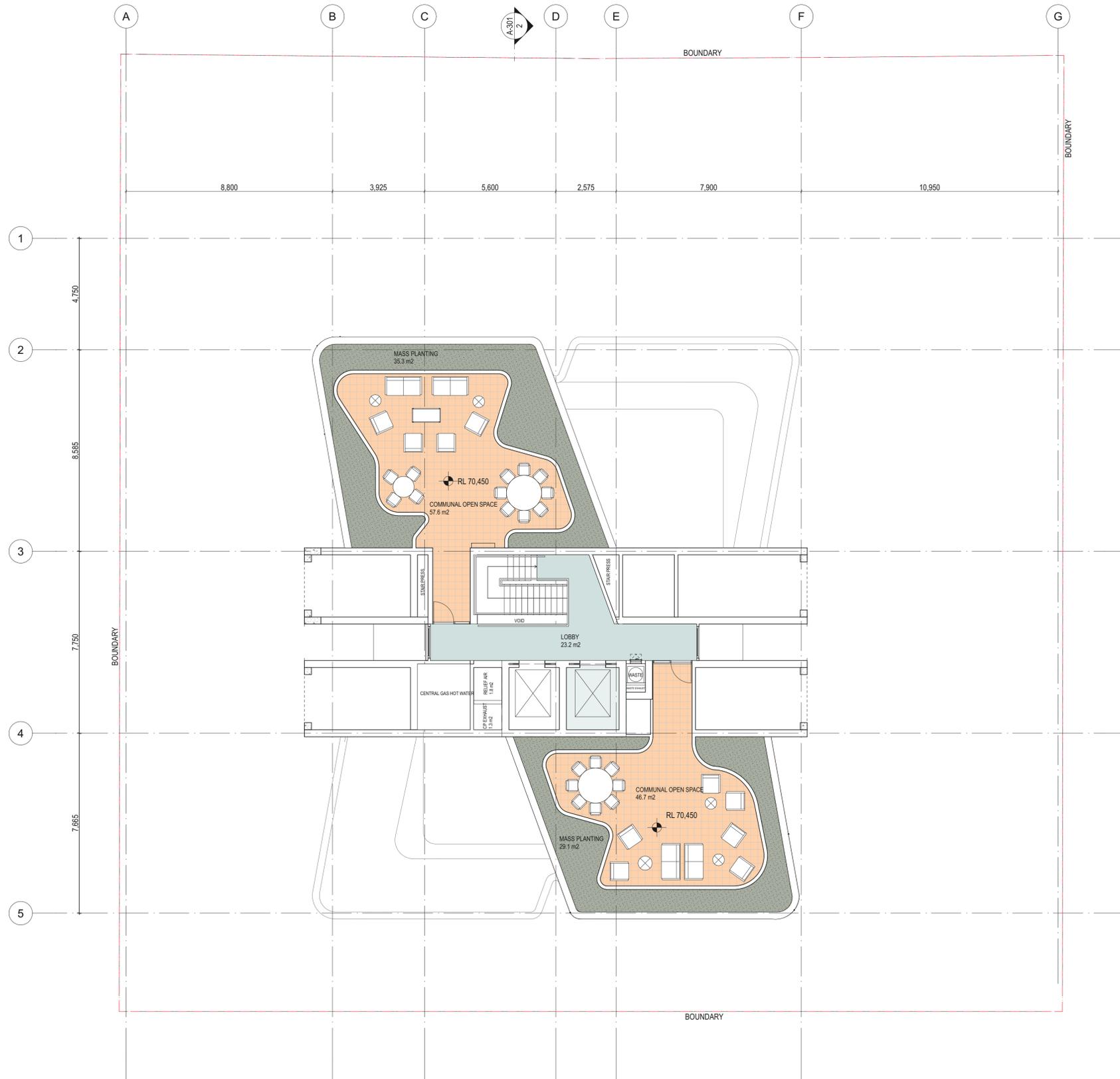
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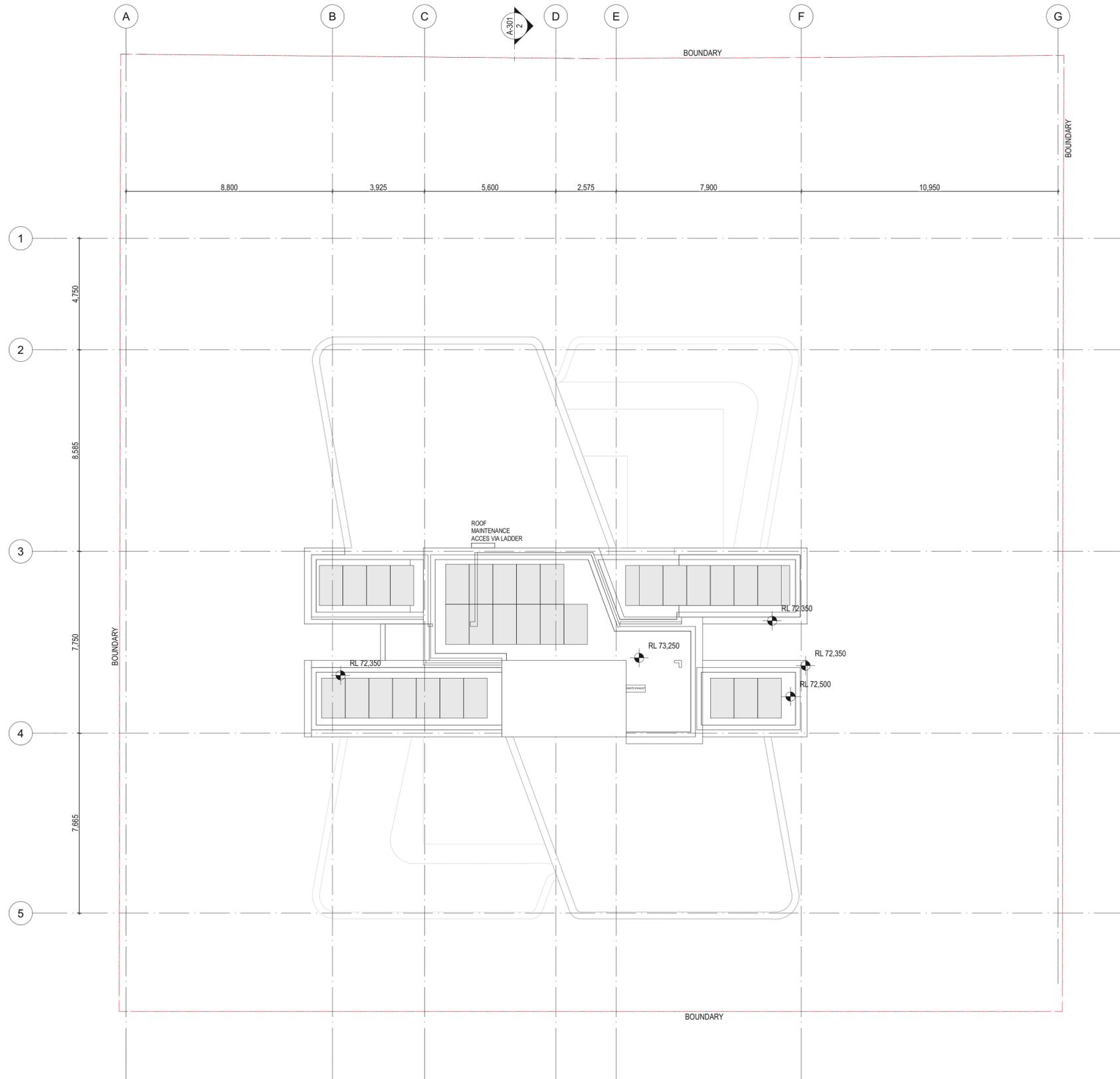
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LEVEL 20 FLOOR PLAN		KPRM, JM	
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TG		12/11/21	
SCALES	1:100 @A1	DRAWING NO	REV
PHASE	S4.55 APPLICATION	A-110	A



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DRAWING TITLE
ROOF PLAN

SCALES
 1:100 @A1

PHASE
 S4.55 APPLICATION

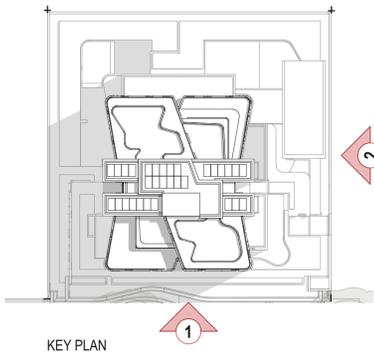
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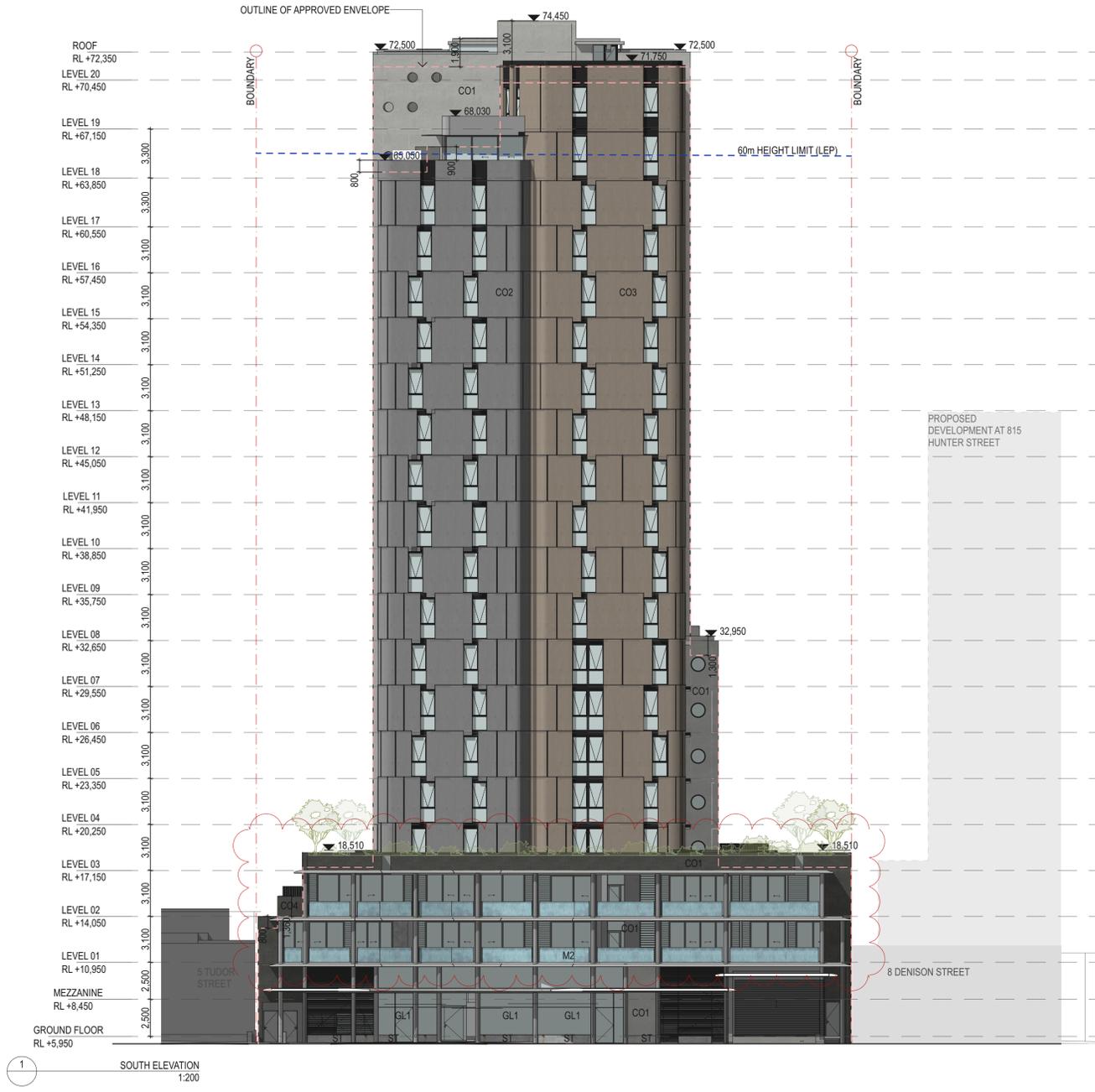
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MATERIAL PALETTE

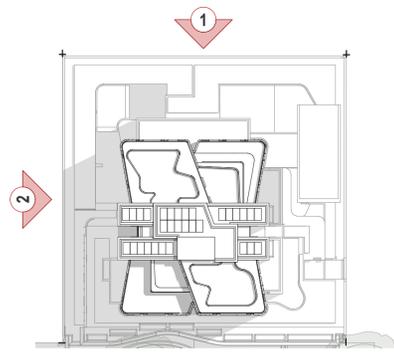
CO1 Off form concrete - natural	CO2 Precast concrete panel cladding	CO3 Precast concrete panel cladding - sand coloured pigmentation	CO4 Off form concrete - dark pigmentation	CO5 Off form concrete - light pigmentation	M1 Powder coated metal framing	M2 Oxidised copper	MLO Ventil External Louvres	GL1 Clear glass to balustrades, windows and shopfronts	ST Stone Cladding



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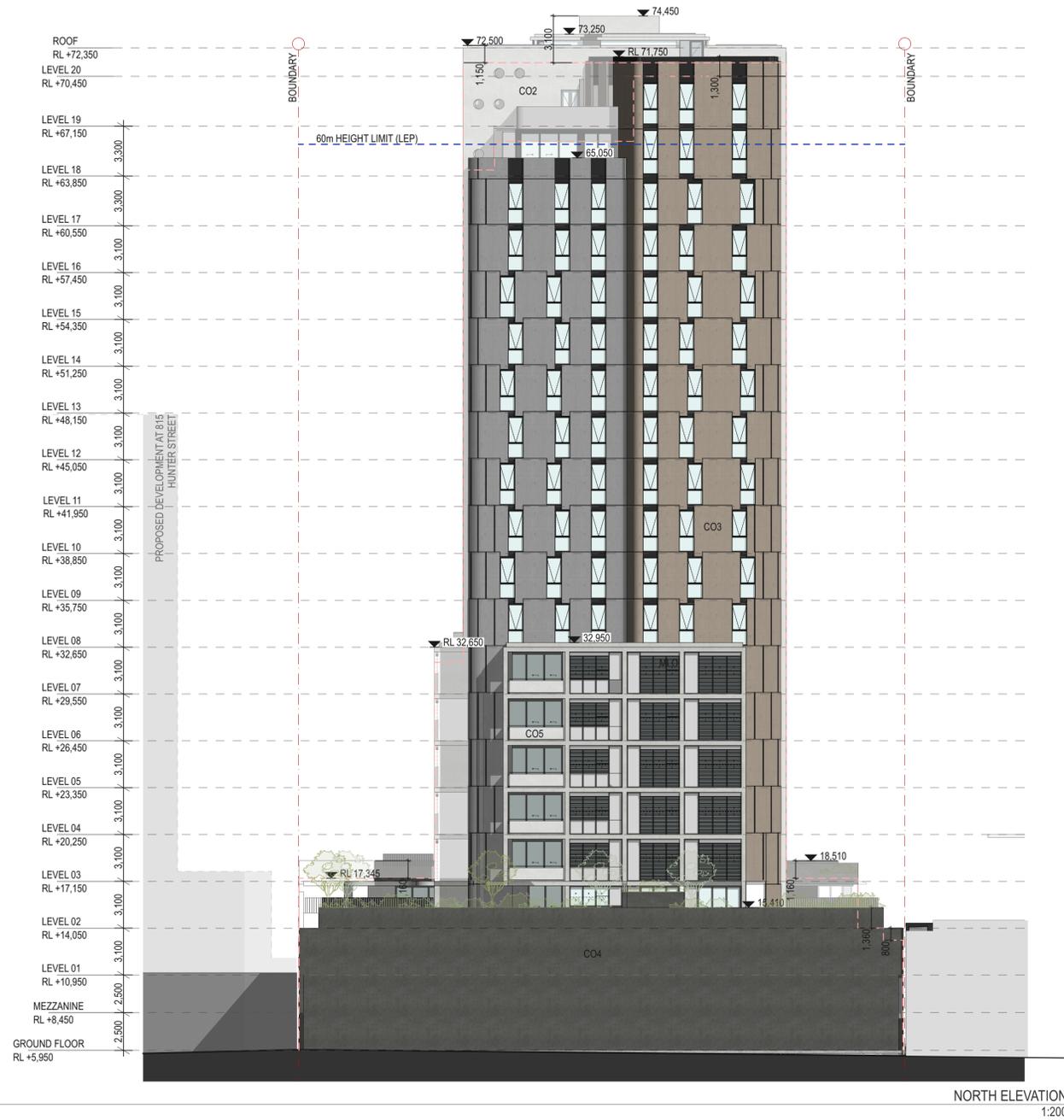
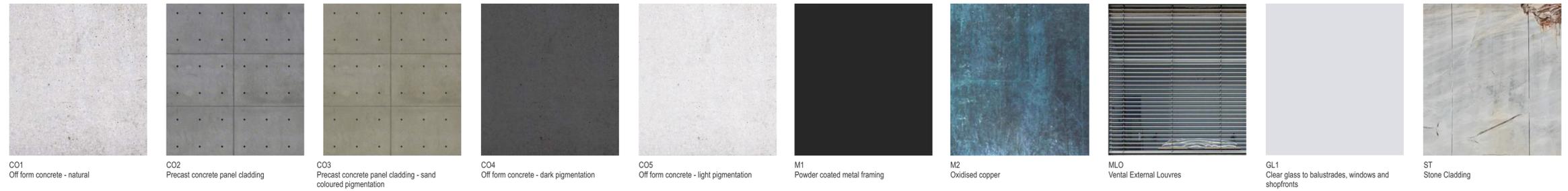
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	PROJECT: DENISON STREET NEWCASTLE PROJECT NO : 17032	ARCHITECT TONKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street ABN: 46002722349 P: (02) 9215 4900 F: (02) 9215 4901 EMAIL info@tzg.com.au WEB www.tzg.com.au	DRAWING TITLE ELEVATIONS 01 SCALES 1:200 @A1 PHASE S4.55 APPLICATION DRAWING NO A-201	DRAWN BY KPRM, JM CHECKED TG DATE 30/3/2022 REV B
--	--	---	--	--



KEY PLAN

MATERIAL PALETTE



DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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PROJECT:
DENISON STREET
NEWCASTLE

PROJECT NO : 17032

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WEB www.tzg.com.au

DRAWING TITLE
ELEVATIONS 02

SCALES
1:200 @A1

PHASE
S4.55 APPLICATION

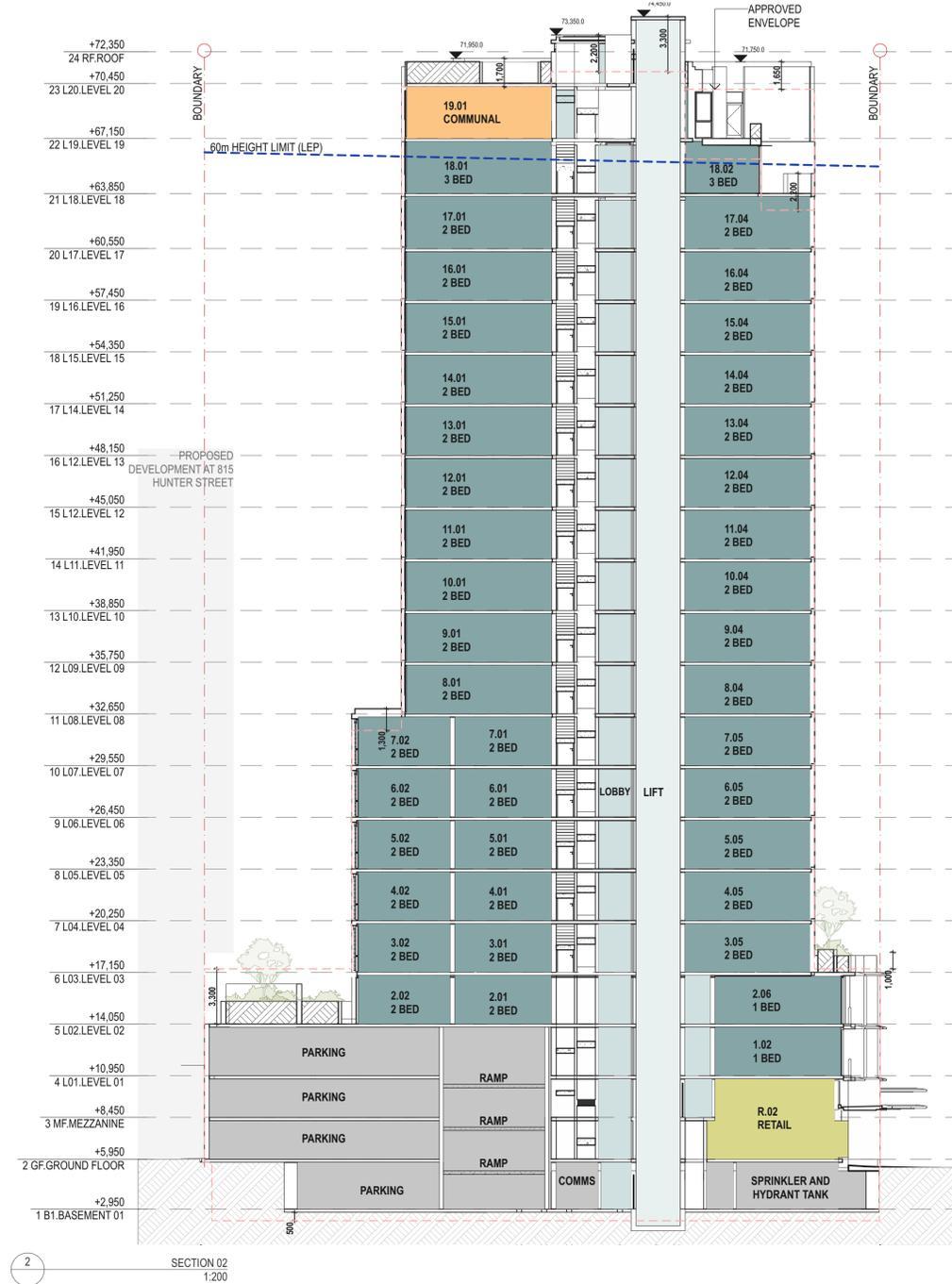
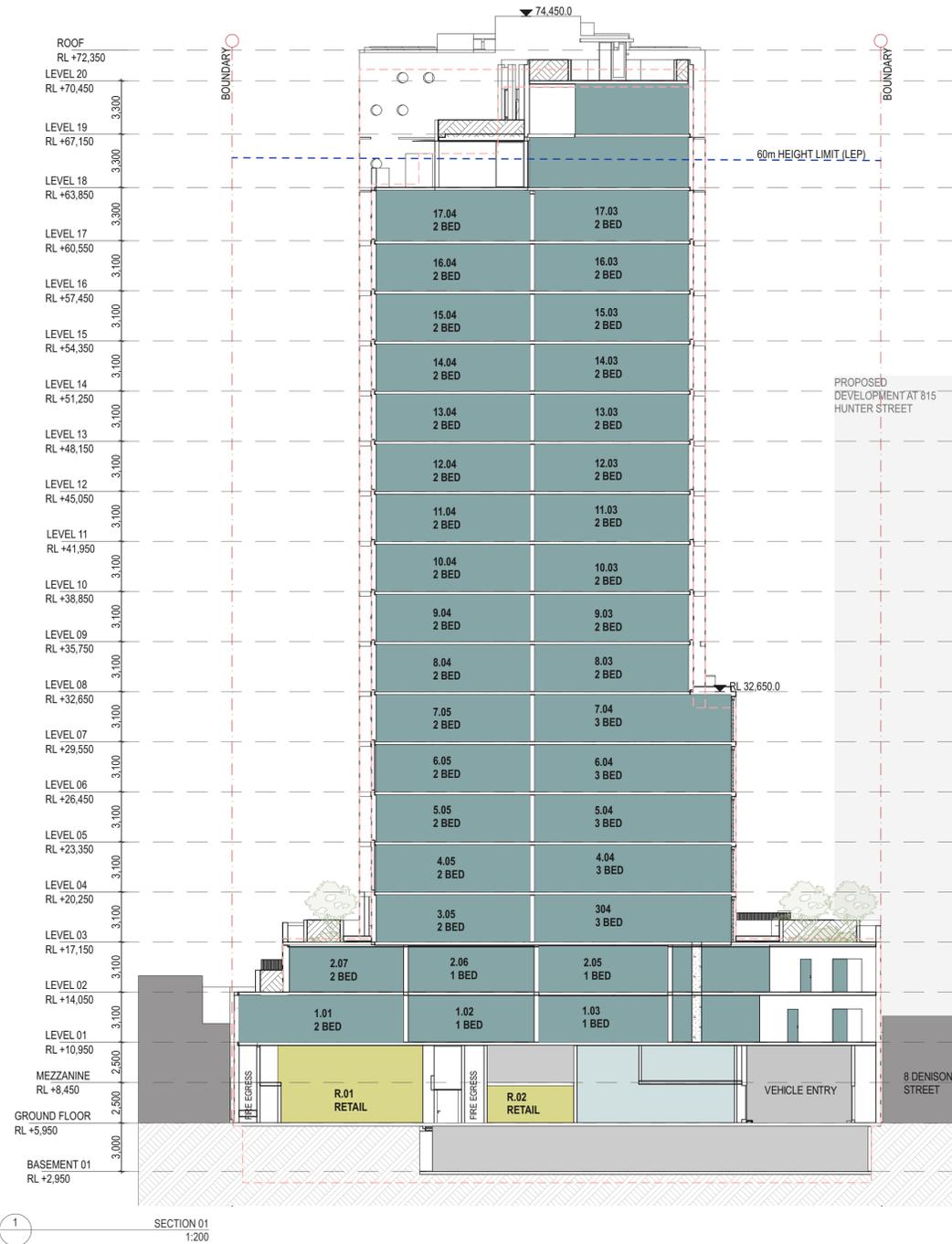
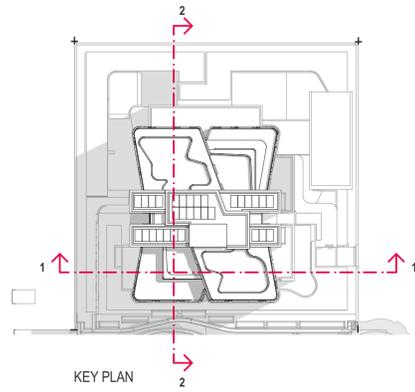
DRAWING NO
A-202

DRAWN BY
KPRM/JM

CHECKED
TG

DATE
12/11/21

REV
A



DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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PROJECT:
**DENISON STREET
NEWCASTLE**

PROJECT NO : 17032

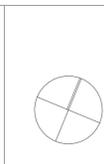
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DRAWING TITLE		DRAWN BY	
SECTIONS		KPRM, JM	
SCALES		CHECKED	TG
1:200 @A1		DATE	12/11/21
PHASE	DRAWING NO	REV	A
S4.55 APPLICATION	A-301		



DATE	REV	DESCRIPTION:
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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PROJECT:
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PROJECT NO : 17032

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DRAWING TITLE
PHOTOMONTAGE 01

SCALES @A1

PHASE S4.55 APPLICATION

DRAWING NO **A-401**

DRAWN BY
 KPRM, JM

CHECKED
 TG

DATE
 12/11/21

REV
 A



DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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DRAWING TITLE
PHOTOMONTAGE 02

SCALES @A1

PHASE S4.55 APPLICATION

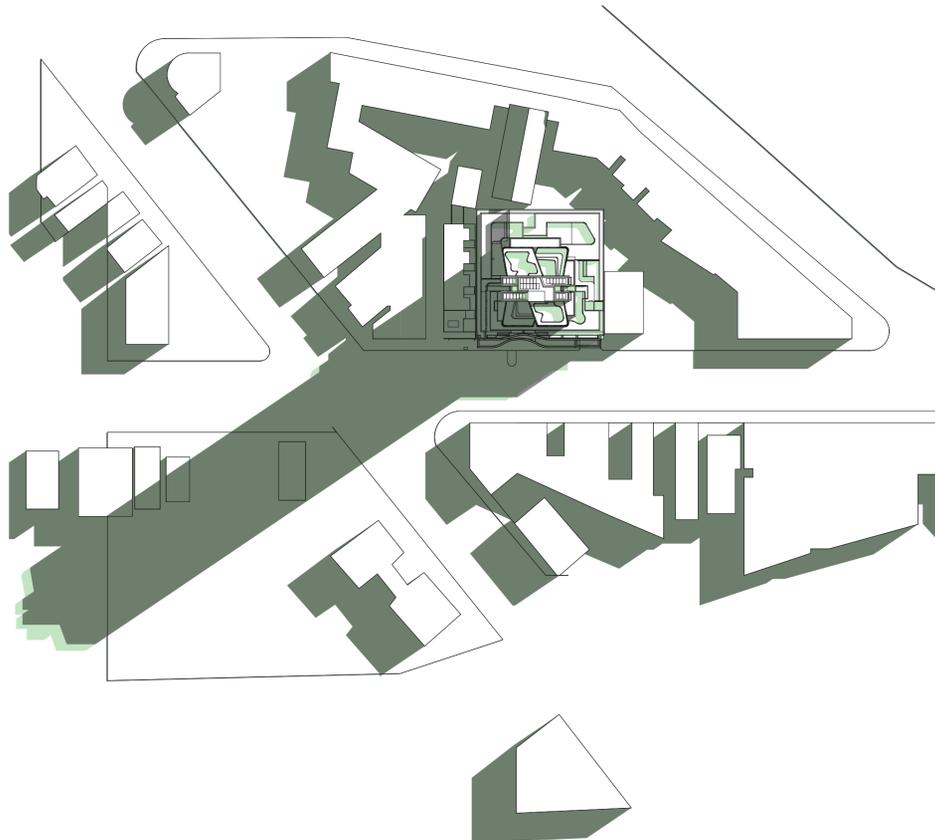
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DRAWN BY
 KPR.M.JM

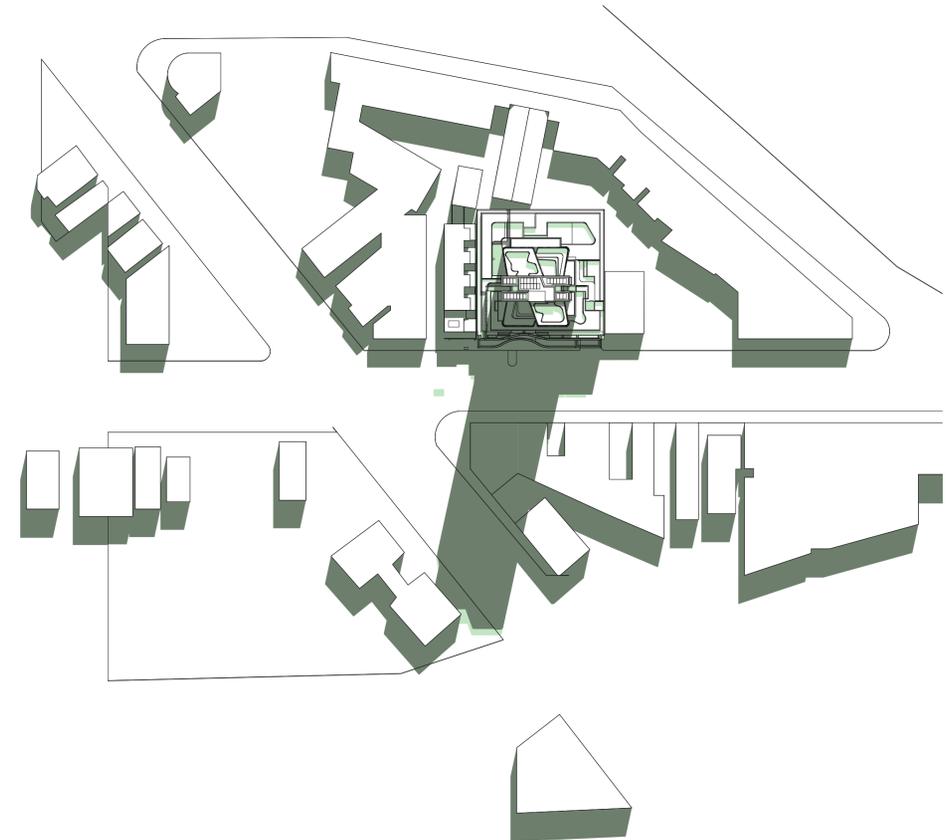
CHECKED
 TG

DATE
 12/11/21

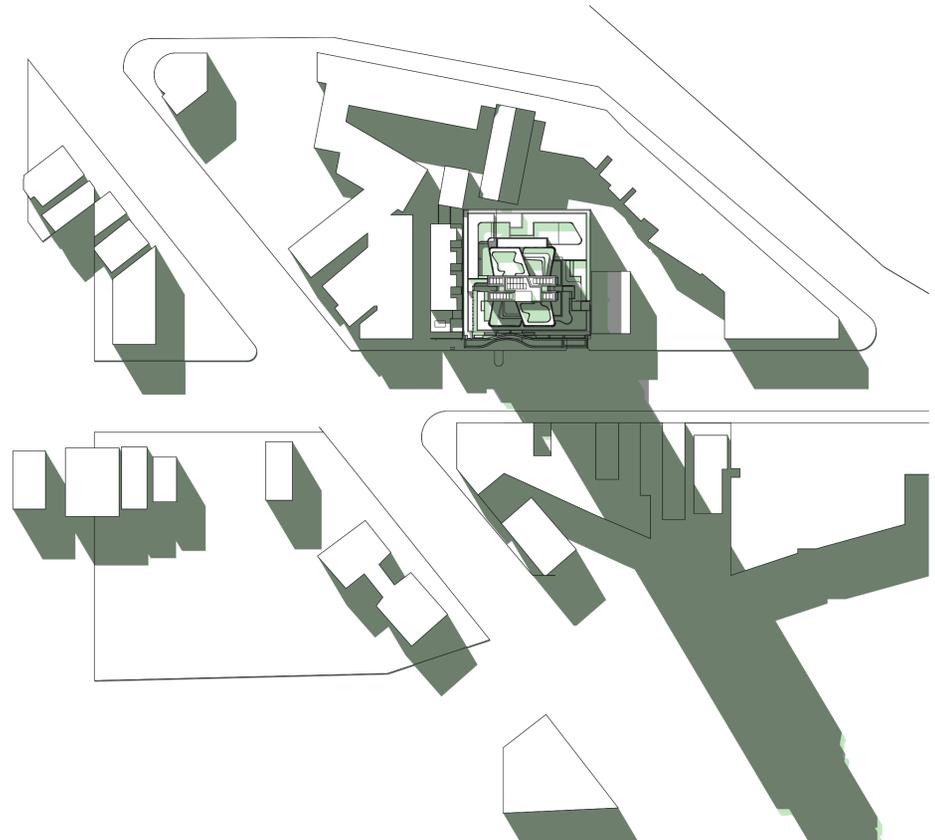
REV
A



1 SHADOW DIAGRAM PROPOSED



2 SHADOW DIAGRAM PROPOSED

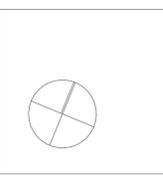


3 SHADOW DIAGRAM PROPOSED

- APPROVED DA SHADOWS
- PROPOSED ADDITIONAL SHADOWS

DATE	REV	DESCRIPTION:
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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DRAWING TITLE
SHADOW DIAGRAMS - JUNE

SCALES
 @A1

PHASE
 S4.55 APPLICATION

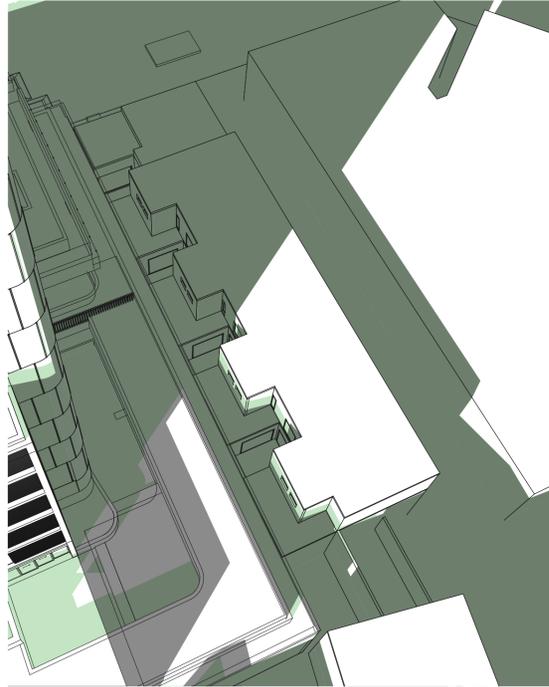
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A-501

DRAWN BY
 KPRM, JM

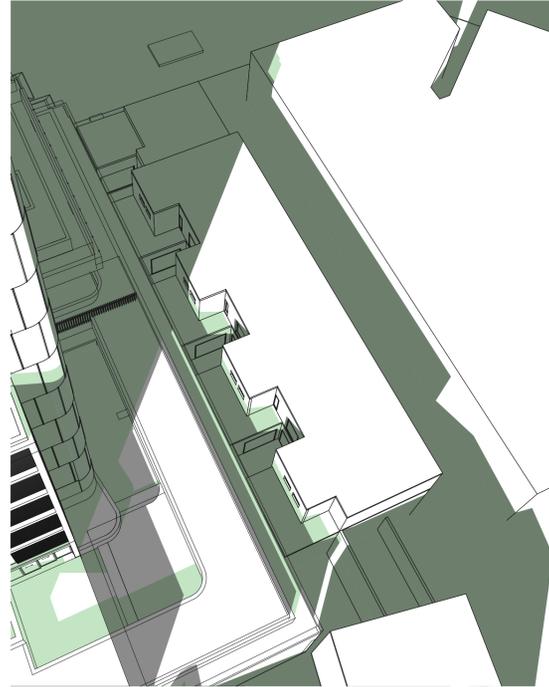
CHECKED
 TG

DATE
 12/11/21

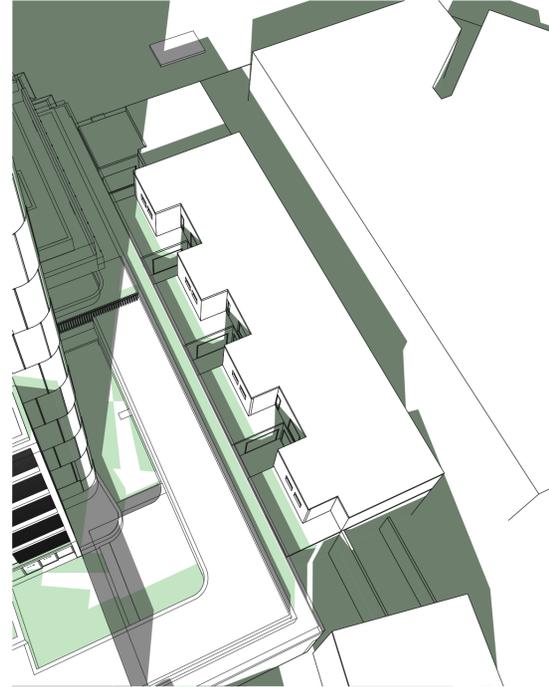
REV
A



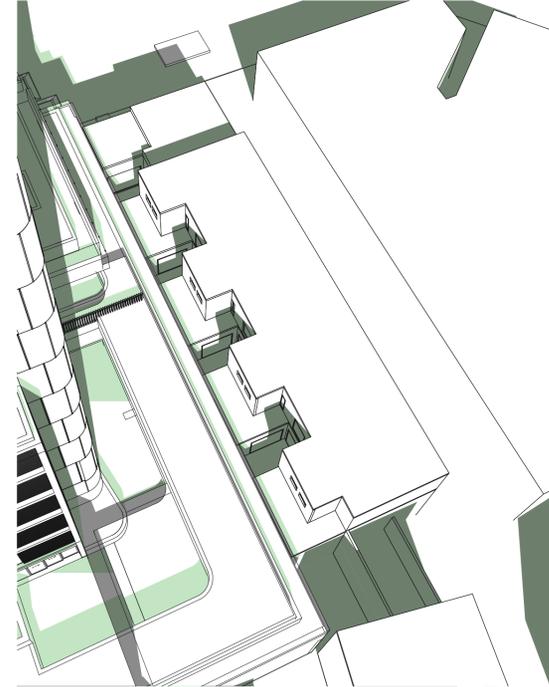
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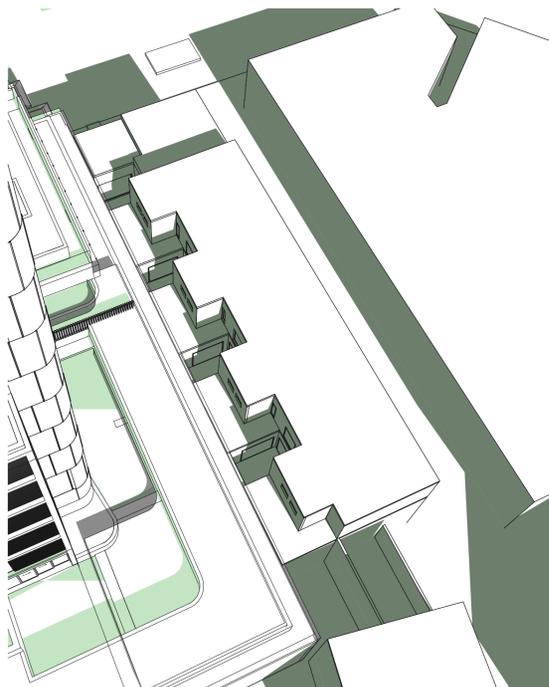
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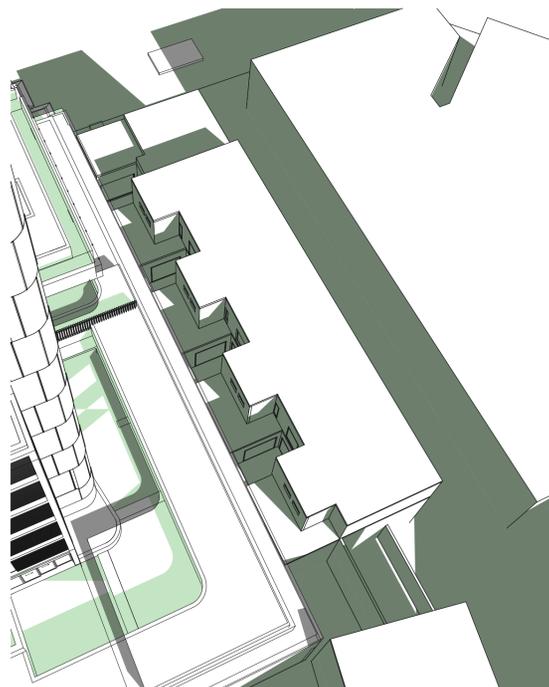
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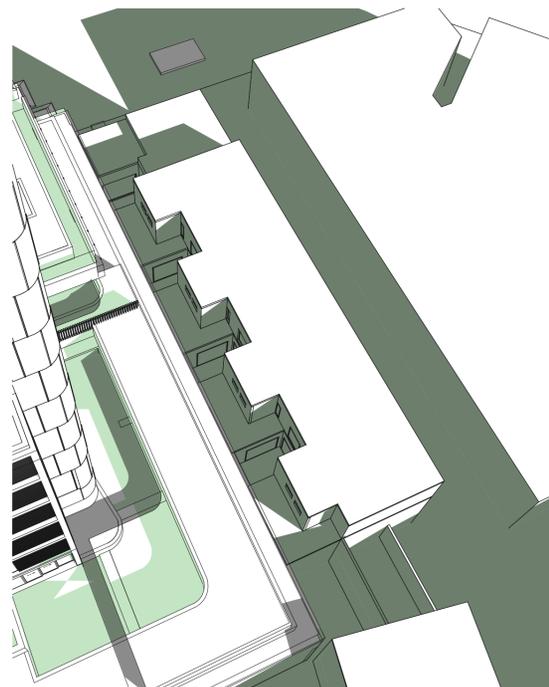
8 12PM PROPOSED



10 1PM PROPOSED



12 2PM PROPOSED



14 3PM PROPOSED

DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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DRAWING TITLE
**SHADOW ANALYSIS - TUDOR
 STREET**

SCALES
 @A1

PHASE
 S4.55 APPLICATION

DRAWING NO
A-502

DRAWN BY
 KPRM, JM

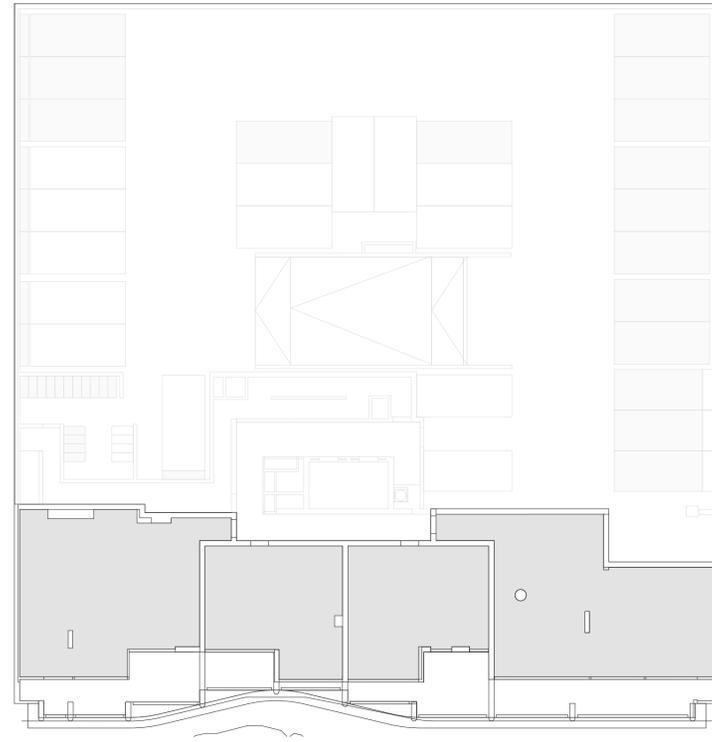
CHECKED
 TG

DATE
 12/11/21

REV
A

Solar Access

	No Solar	Solar < 2 Hours	Solar > 2 Hours	Total
Level 01	4	0	0	4
Level 02	2	0	5	7
Level 03	0	1	4	5
Lower Typical Plan (L4-7)	0	4	16	20
Upper Typical Plan (L8-17)	0	10	30	40
Level 18	0	0	2	2
Total	6	14	57	78
Sepp65 REQS	Max 15%	-	Min 70%	-
Proposed %	7%	20%	73%	-



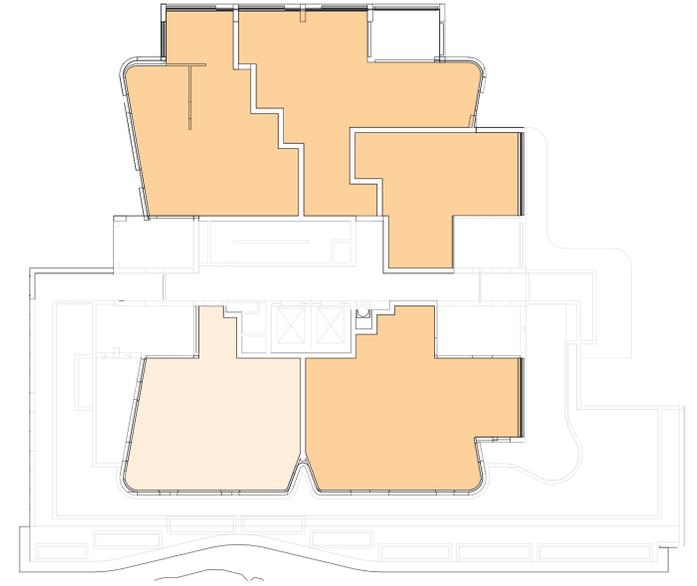
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LEVEL 02 FLOOR PLAN
1:200



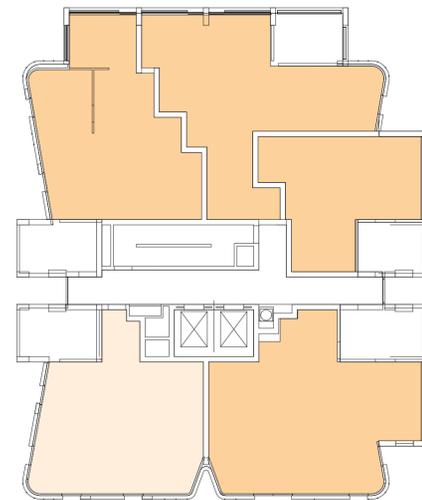
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LEVEL 03 FLOOR PLAN
1:200



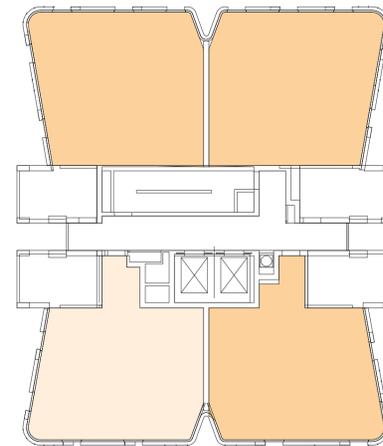
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LOWER TYPICAL PLAN
1:200



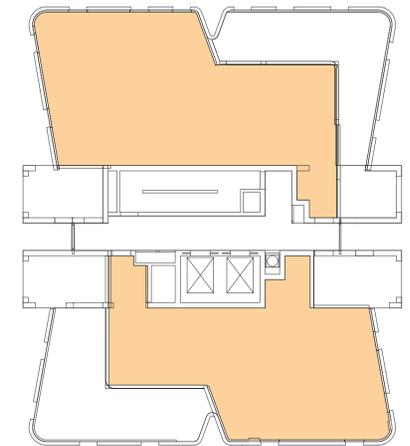
5

UPPER TYPICAL PLAN
1:200



6

LEVEL 18 FLOOR PLAN
1:200



DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION

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**DENISON STREET
NEWCASTLE**

PROJECT NO : 17032

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DRAWING TITLE
SOLAR DIAGRAMS

SCALES
PHASE
S4.55 APPLICATION

DRAWING NO
A-601

DRAWN BY
KPRM, JM

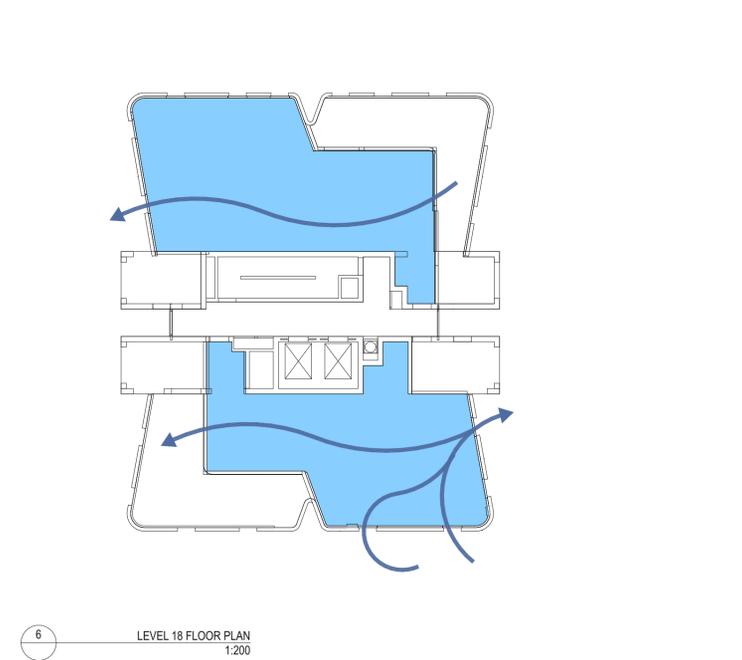
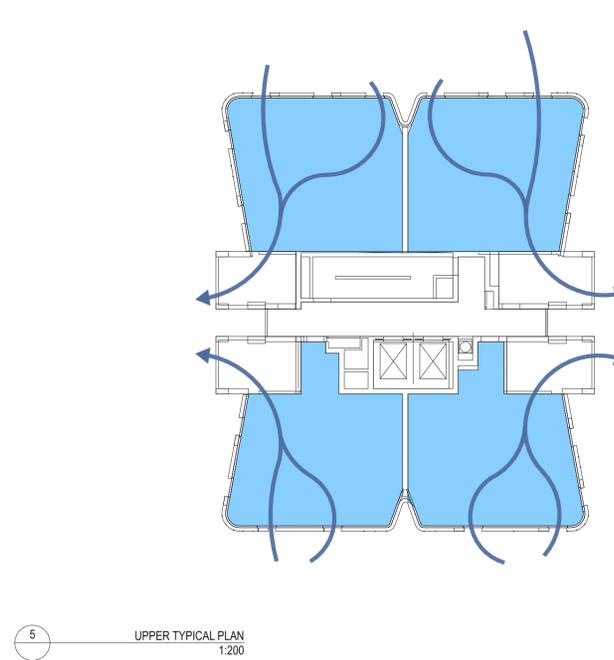
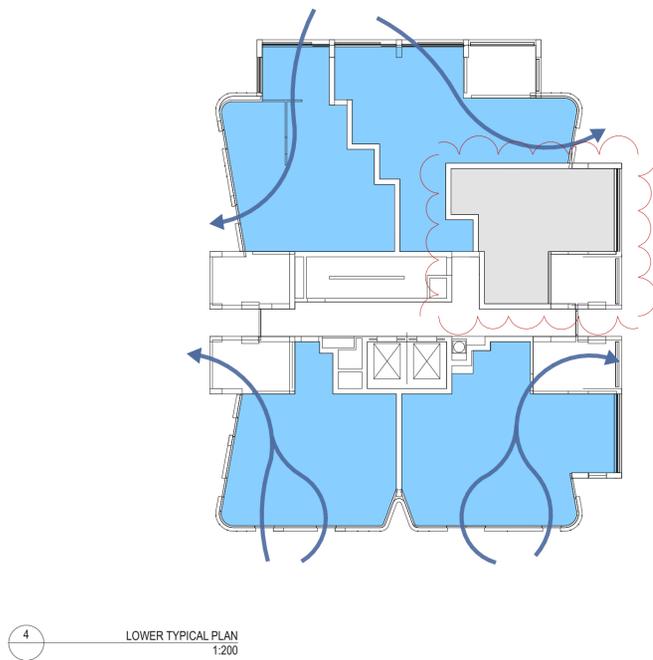
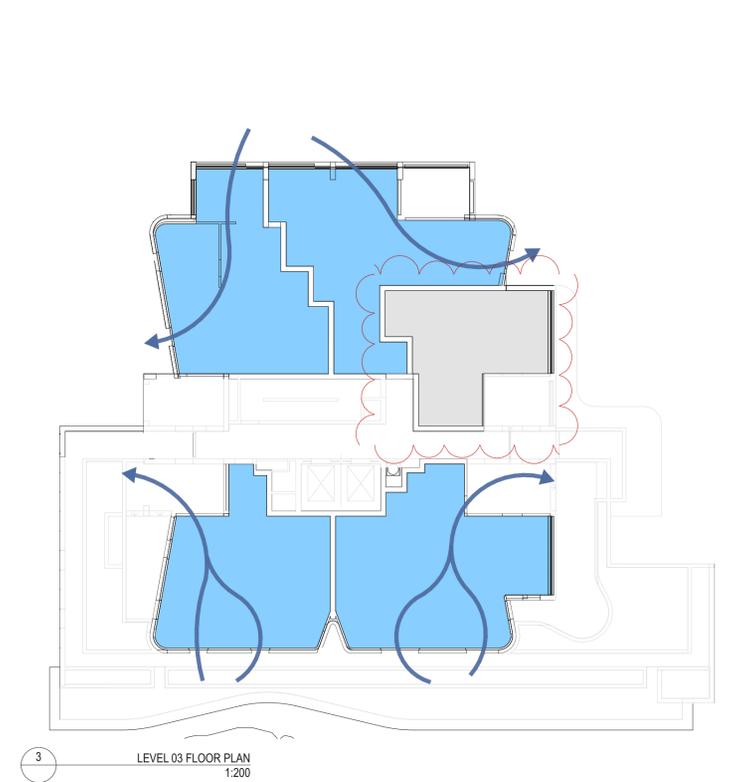
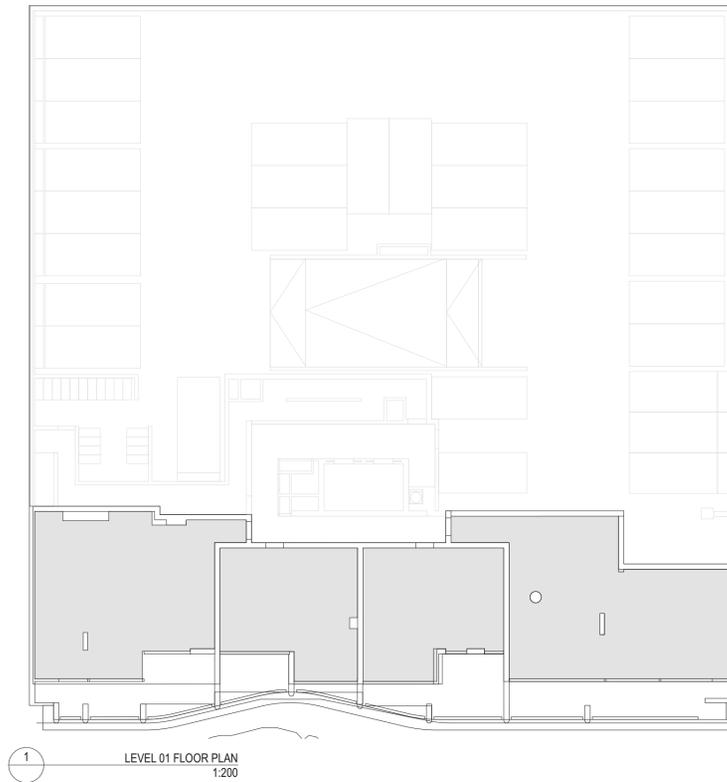
CHECKED
TG

DATE
12/11/21

REV
A

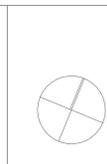
Cross Ventilation Analysis

	Naturally Ventilated Apartments	Total
Level 01	0	4
Level 02	5	7
Level 03	4	5
Lower Typical Plan (Level 4-7)	15	20
Upper Typical Plan (Level 8-17)	40	40
Level 18	2	2
Total	66	78
Sepp65 REQS	Min 60%	
Ratio	85%	



DATE	REV	DESCRIPTION
12.NOV.2021	A	ISSUE FOR S4.55 APPLICATION
30.MAR.2022	B	ISSUE FOR S4.55 APPLICATION - UPDATE 02

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PROJECT NO : 17032

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DRAWING TITLE
VENTILATION DIAGRAMS

SCALES
1:200 @A1

PHASE
S4.55 APPLICATION

DRAWING NO
A-602

DRAWN BY
KPRM, JM

CHECKED
TG

DATE
30/3/2022

REV
B

Landscape Concept Design

20 Denison Street, Newcastle West, NSW 2302

Landscape Concept Package - FOR DA

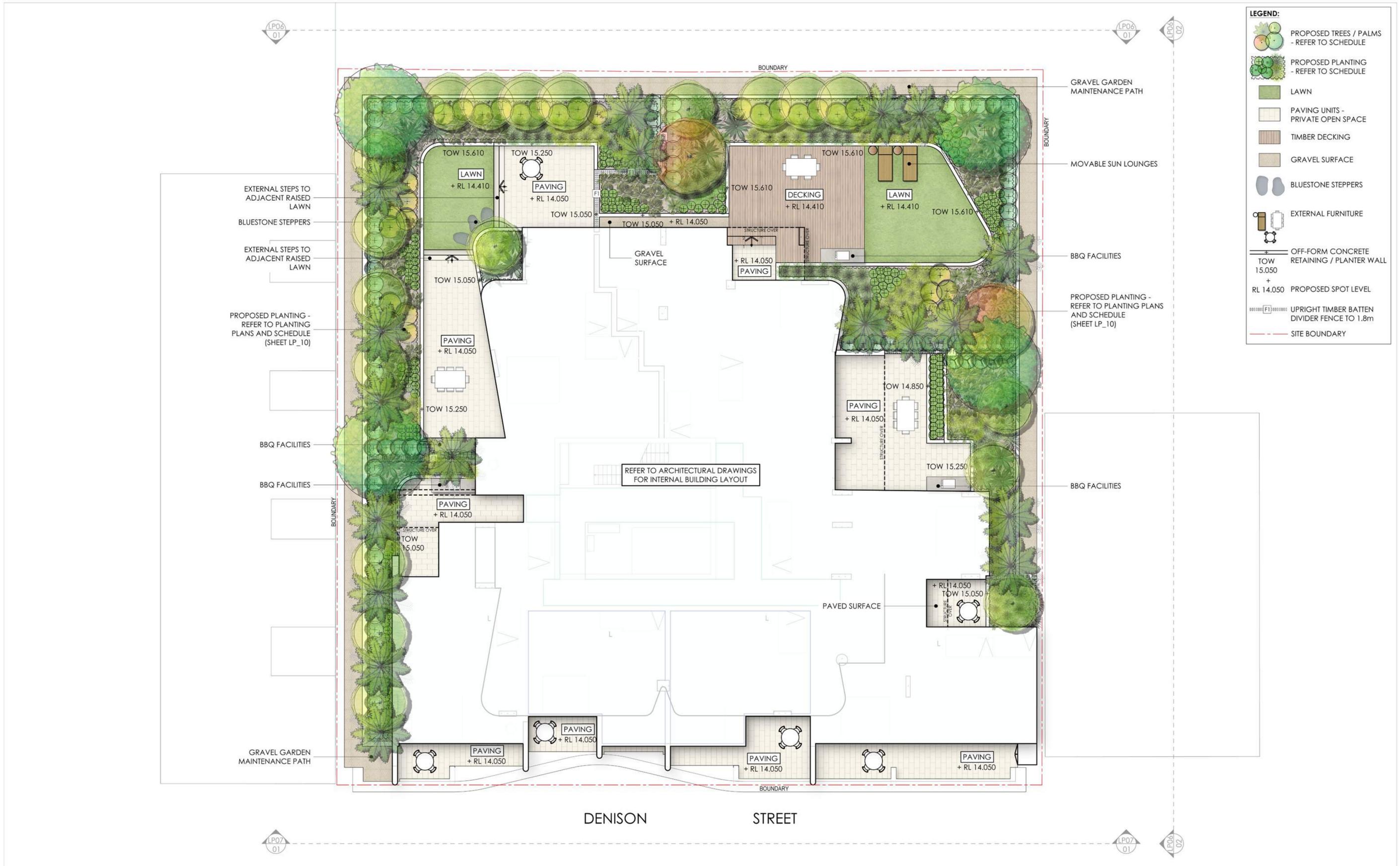
12 November 2021

Drawing Index:

Sheet Number	Drawing Title	Scale	Issue
E522_LP_01	Landscape Concept - 2nd Floor	1:100 @ A1	D
E522_LP_02	Landscape Concept - 3rd Floor	1:100 @ A1	D
E522_LP_03	Landscape Concept - 8th Floor	1:100 @ A1	D
E522_LP_04	Landscape Concept - 19th Floor	1:100 @ A1	D
E522_LP_05	Landscape Concept - 20th Floor	1:100 @ A1	D
E522_LP_06	Landscape Elevations 01	1:100 @ A1	D
E522_LP_07	Landscape Elevations 02	1:100 @ A1	D
E522_LP_08	Character Images	-	D
E522_LP_09	Planting Palette Images	-	D
E522_LP_10	Planting Plan - 2nd Floor	1:100 @ A1	D
E522_LP_11	Planting Plan - 3rd Floor	1:100 @ A1	D
E522_LP_12	Planting Plan - 8th Floor	1:100 @ A1	D
E522_LP_13	Planting Plan - 19th Floor	1:100 @ A1	D
E522_LP_14	Planting Plan - 20th Floor	1:100 @ A1	D
E552_LP_15	Landscape Specification, Maintenance Program & Details	As Shown	D



CPS
CREATIVE PLANNING SOLUTIONS

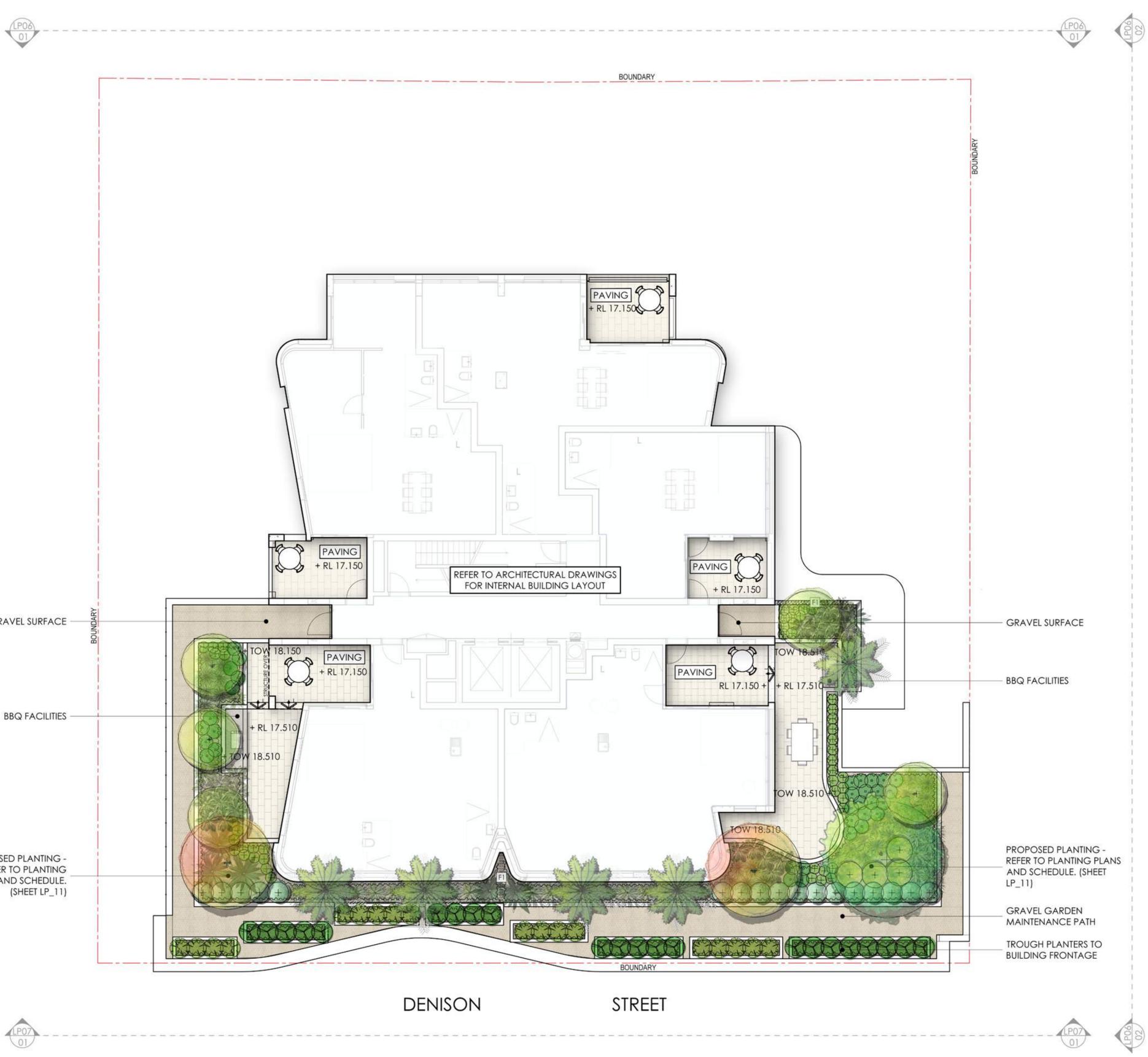


LEGEND:

- PROPOSED TREES / PALMS - REFER TO SCHEDULE
- PROPOSED PLANTING - REFER TO SCHEDULE
- LAWN
- PAVING UNITS - PRIVATE OPEN SPACE
- TIMBER DECKING
- GRAVEL SURFACE
- BLUESTONE STEPPERS
- EXTERNAL FURNITURE
- OFF-FORM CONCRETE RETAINING / PLANTER WALL
- TOW 15.050 + RL 14.050 PROPOSED SPOT LEVEL
- UPRIGHT TIMBER BATTEN DIVIDER FENCE TO 1.8m
- SITE BOUNDARY

Issue Code	Issue Description	By	Chk	Date
D CA	UPDATED FOR DA	NZ	GT	12.11.21
C CA	FOR DA	NZ	GT	27.10.21
B PRE	FOR REVIEW	NZ	GT	25.10.21
A PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction



LEGEND:

- PROPOSED TREES / PALMS - REFER TO SCHEDULE
- PROPOSED PLANTING - REFER TO SCHEDULE
- PAVING UNITS - PRIVATE OPEN SPACE
- GRAVEL SURFACE
- EXTERNAL FURNITURE
- OFF-FORM CONCRETE RETAINING / PLANTER WALL
- TOW 18.150 + RL 17.150 PROPOSED SPOT LEVEL
- UPRIGHT TIMBER BATTEN DIVIDER FENCE TO 1.8m
- SITE BOUNDARY

GRAVEL SURFACE

BBQ FACILITIES

PROPOSED PLANTING - REFER TO PLANTING PLANS AND SCHEDULE. (SHEET LP_11)

GRAVEL SURFACE

BBQ FACILITIES

PROPOSED PLANTING - REFER TO PLANTING PLANS AND SCHEDULE. (SHEET LP_11)

GRAVEL GARDEN MAINTENANCE PATH

TROUGH PLANTERS TO BUILDING FRONTAGE

DENISON STREET



LEVEL 3
397 RILEY STREET
SURRY HILLS NSW 2010
PO BOX 1074 BROADWAY NSW 2007
TEL: + (61) 2 8039 7461
INFO@CPSPLANNING.COM.AU
CPSPLANNING.COM.AU

DIMENSIONS:
All dimensions are in millimetres unless otherwise noted. Do not scale from this drawing. Verify all dimensions on site prior to construction.

CIVIL, STRUCTURAL, HYDRAULIC, ELECTRICAL AND SPECIALIST WATER FEATURE WORKS:
Refer to specialist and consultant's drawings for all information contained within these documents relating to and nominated as specialist and consultant work. Specialist and consultant drawing information contained in the landscape documents are indicative only and not for construction or certification purposes.

Issue Code	Issue Description	By	Chk	Date
D CA	UPDATED FOR DA	NZ	GT	12.11.21
C CA	FOR DA	NZ	GT	27.10.21
B PRE	FOR REVIEW	NZ	GT	25.10.21
A PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction

PROJECT

PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE

LANDSCAPE CONCEPT
3RD FLOOR

CLIENT

DENISON STREET
APARTMENTS P/L

Drawn : NZ
Designed : NZ
Project No. : E522
Bar Scale

1:100 @ A1 / 1:200 @ A3
SHEET NUMBER
E522_LP_02
REVISION
D

LEGEND:

-  PROPOSED PLANTING - REFER TO SCHEDULE
-  PAVING UNITS - PRIVATE OPEN SPACE
-  EXTERNAL FURNITURE
-  OFF-FORM CONCRETE RETAINING / PLANTER WALL
-  TOW 33.650 + RL 32.650 PROPOSED SPOT LEVEL
-  SITE BOUNDARY



Issue	Code	Issue Description	By	Chk	Date
D	CA	UPDATED FOR DA	NZ	GT	12.11.21
C	CA	FOR DA	NZ	GT	27.10.21
B	PRE	FOR REVIEW	NZ	GT	25.10.21
A	PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction

LEGEND:

-  PROPOSED TREES - REFER TO SCHEDULE
-  PROPOSED PLANTING - REFER TO SCHEDULE
-  PAVING UNITS - COMMUNAL OPEN SPACE
-  EXTERNAL FURNITURE
-  OFF-FORM CONCRETE RETAINING / PLANTER WALL
TOW 68.150
-  +
RL 67.150 PROPOSED SPOT LEVEL
-  SITE BOUNDARY



PROPOSED PLANTING - REFER TO PLANTING PLANS AND SCHEDULE. (SHEET LP_13)

TABLE SETTING

BBQ FACILITIES

PROPOSED PLANTING - REFER TO PLANTING PLANS AND SCHEDULE. (SHEET LP_13)

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D CA	UPDATED FOR DA	NZ	GT	12.11.21
C CA	FOR DA	NZ	GT	27.10.21
B PRE	FOR REVIEW	NZ	GT	25.10.21
A PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction

PROJECT
PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE
LANDSCAPE CONCEPT
19TH FLOOR

CLIENT
DENISON STREET
APARTMENTS P/L

Drawn : NZ
Designed : NZ
Project No. : E522
Bar Scale



1:100 @ A1 / 1:200 @ A3
SHEET NUMBER
E522_LP_04
REVISION
D

LEGEND:

- PROPOSED TREES - REFER TO SCHEDULE
- PROPOSED PLANTING - REFER TO SCHEDULE
- PAVING UNITS - COMMUNAL OPEN SPACE
- EXTERNAL FURNITURE
- OFF-FORM CONCRETE RETAINING / PLANTER WALL
- TOW 71.450 + RL 70.450 PROPOSED SPOT LEVEL
- OVERHEAD SHADE STRUCTURE
- SITE BOUNDARY



PROPOSED PLANTING - REFER TO PLANTING PLANS AND SCHEDULE. (SHEET LP_14)

OVERHEAD SHADE STRUCTURE

MOVABLE SUN LOUNGES

MOVABLE SUN LOUNGES

REFER TO ARCHITECTURAL DRAWINGS FOR INTERNAL BUILDING LAYOUT

TABLE SETTING

OVERHEAD SHADE STRUCTURE

DENISON STREET

CPS
CREATIVE PLANNING SOLUTIONS

LEVEL 3
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SURRY HILLS NSW 2010
PO BOX 1074 BROADWAY NSW 2007
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B	PRE	FOR REVIEW	NZ	GT	25.10.21
A	PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction

PROJECT
PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE
LANDSCAPE CONCEPT
20TH FLOOR

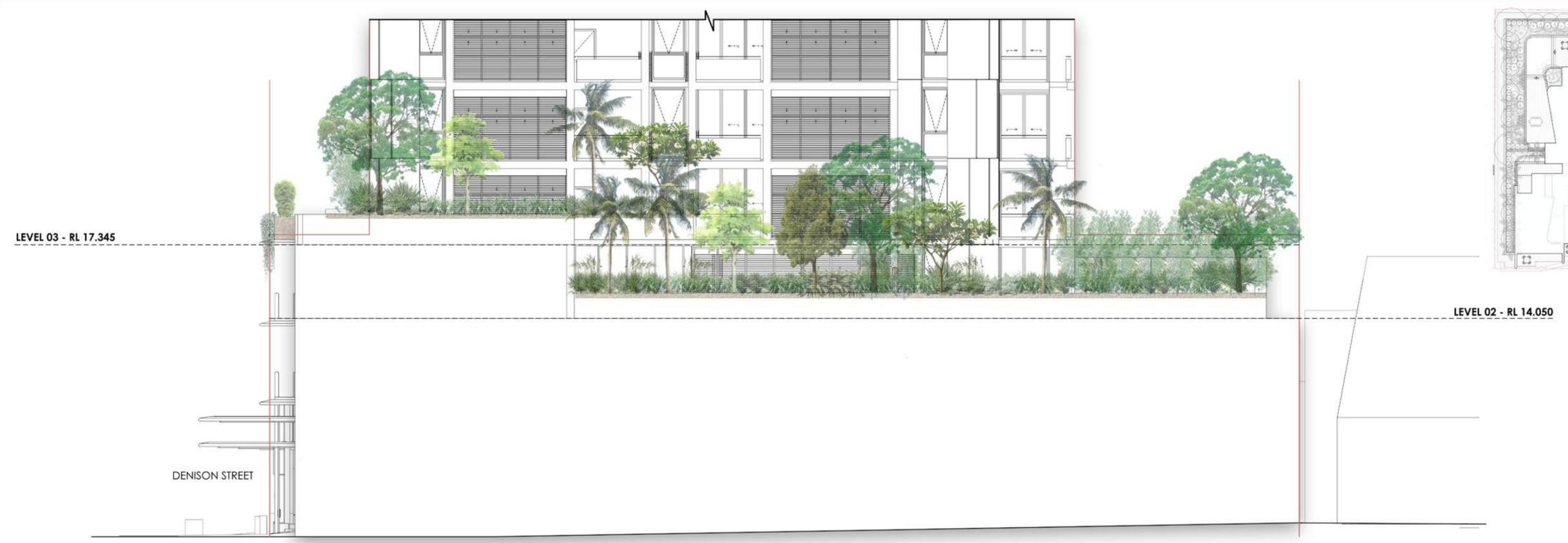
CLIENT
DENISON STREET
APARTMENTS P/L

Drawn : NZ
Designed : NZ
Project No. : E522
Bar Scale

1:100 @ A1 / 1:200 @ A3
SHEET NUMBER
E522_LP_05
REVISION
D



01 NORTH ELEVATION
SCALE 1:100 @A1



02 EAST ELEVATION
SCALE 1:100 @A1

Issue Code	Issue Description	By	Chk	Date
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PROPOSED DEVELOPMENT AT 815 HUNTER STREET

Location Plan

LEVEL 08 - RL 32.650

LEVEL 03 - RL 17.345

LEVEL 02 - RL 14.050

5 TUDOR STREET

8 DENISON STREET

01 SOUTH ELEVATION
SCALE 1:100 @A1

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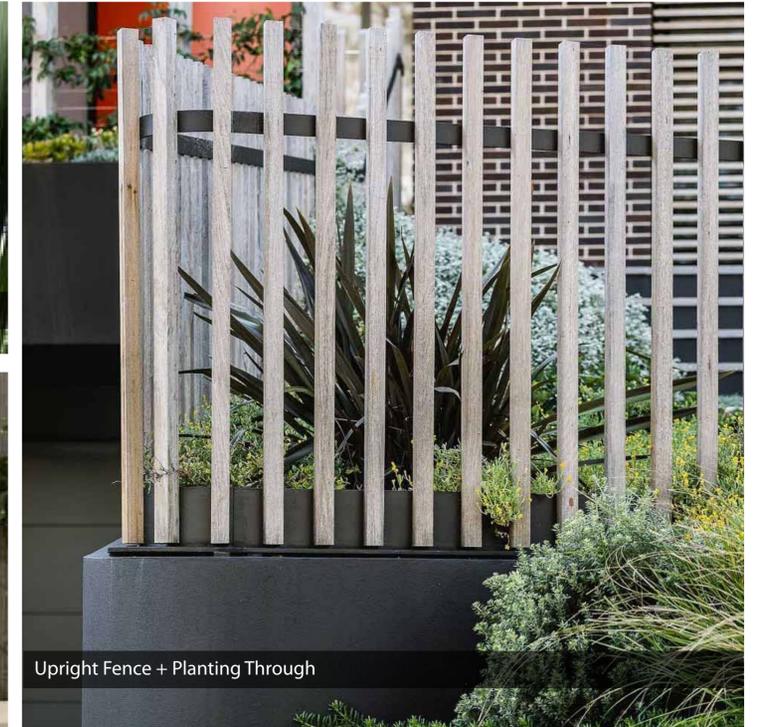
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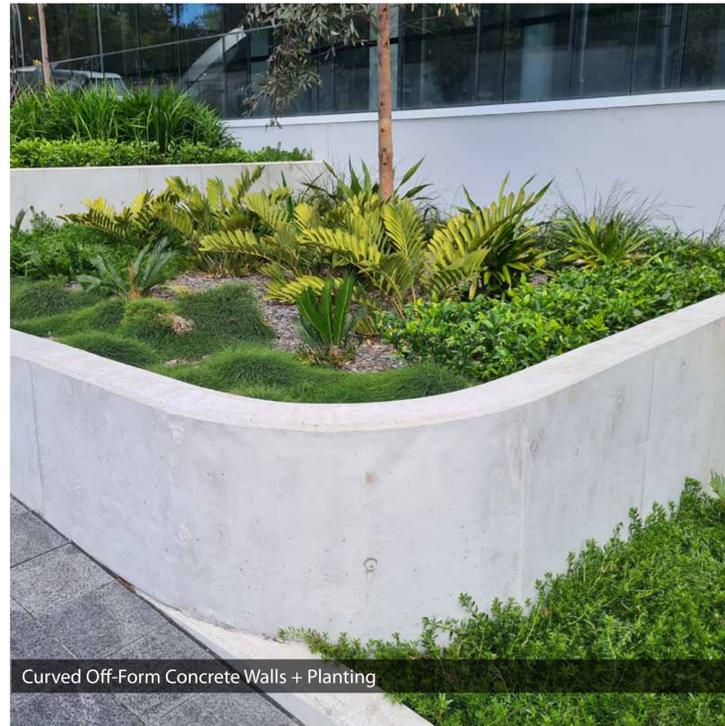
Travertine Paving Units



Coastal Palms



Upright Fence + Planting Through



Curved Off-Form Concrete Walls + Planting



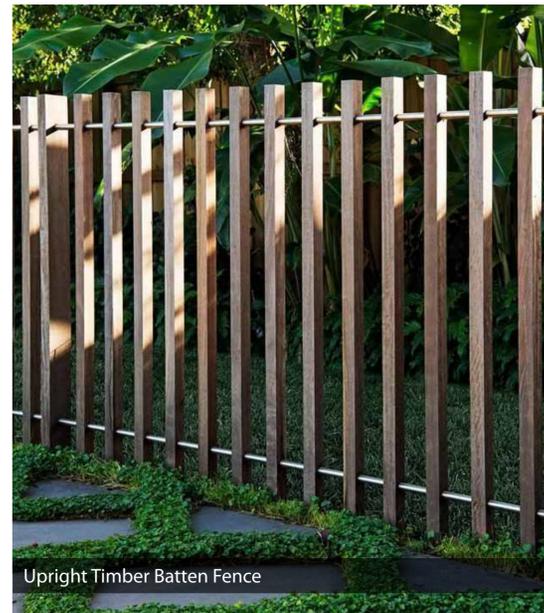
Movable Sun Lounge



Off-Form Concrete Planter Walls



Rooftop Shade Structure + Festoon Lighting



Upright Timber Batten Fence



Bluestone Steppers In Lawn

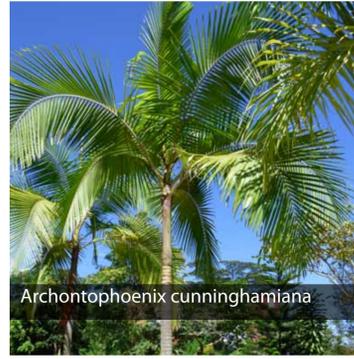


Timber Decking

Trees & Palms



Tristaniopsis laurina 'Luscious'



Archontophoenix cunninghamiana



Elaeocarpus emundii



Plumeria obtusa



Cyathea cooperi



Waterhousia floribunda



Lophostemon confertus

Hedges, Shrubs & Accents



Doryanthes excelsa



Asplenium australasicum



Alpinia caerulea



Philodendron 'Xanadu'



Westringia fruticosa



Acmena smithii 'Sublime'



Syzygium 'Straight and Narrow'



Syzygium 'Elite'



Poa labillardieri 'Eskdale'



Salvia rosmarinus prostratus



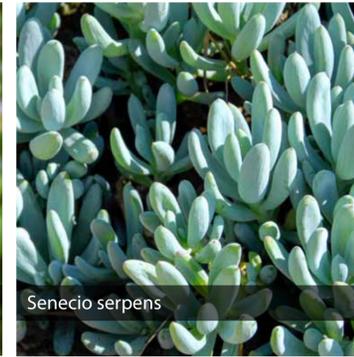
Dianella caerulea



Philodendron 'Xanadu'



Viola hederacea



Senecio serpens

Grasses, Groundcovers & Climbers



Lomandra longifolia 'Tanika'



Dichondra 'Silver Falls'

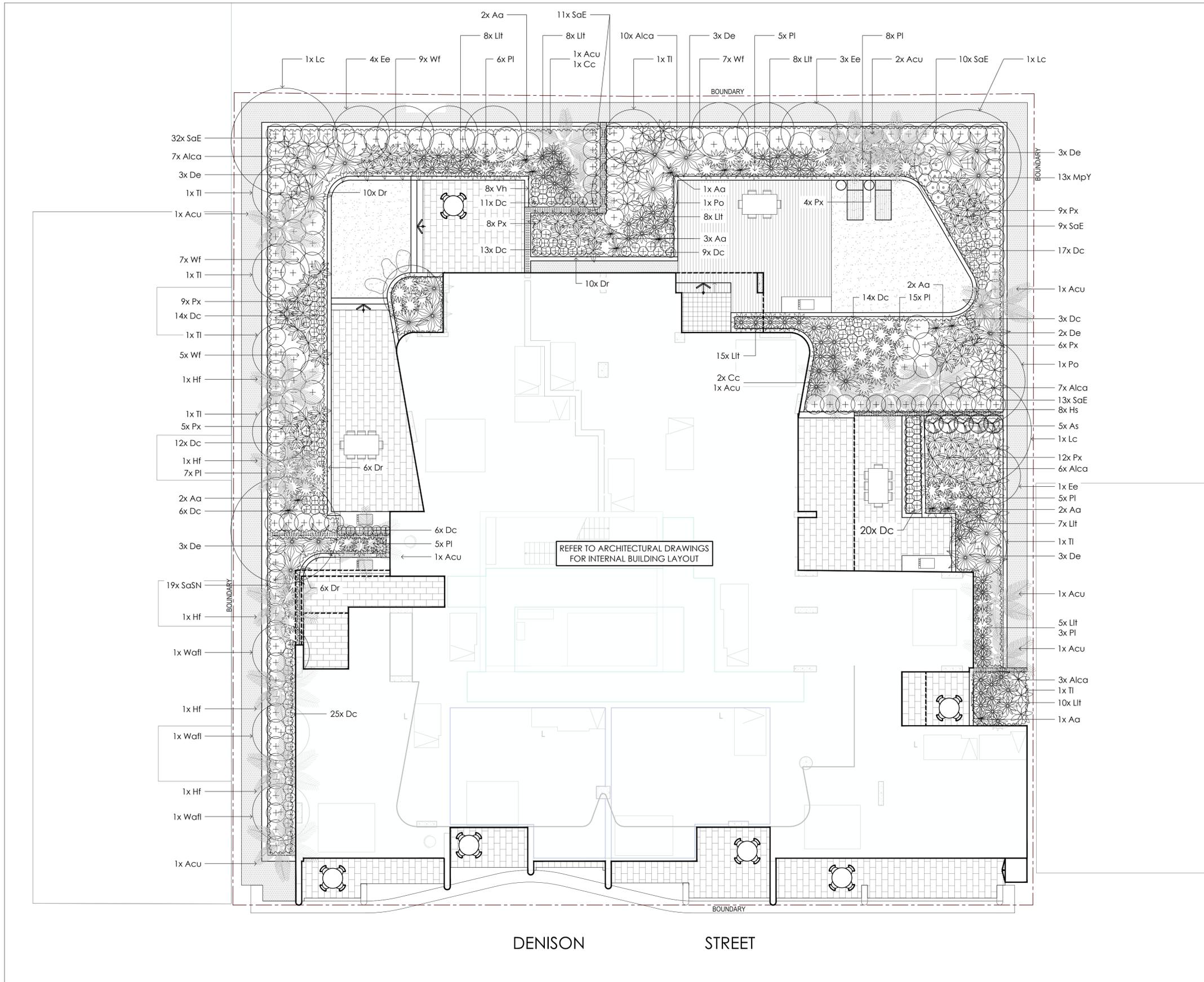


Hibbertia scandens



Myoporum parvifolium 'Yareena'

Note: Partial planting palette shown. For full planting list, refer to indicative planting schedules



INDICATIVE PLANT SCHEDULE - LEVEL 02						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES & PALMS						
Acu	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	25m	As Shown	45L	10
Cc	<i>Cyathea cooperi</i>	Straw Tree Fern	4m	As Shown	45L	3
Ee	<i>Elaeocarpus emundii</i>	Quandong	13m	As Shown	45L	8
Hf	<i>Howea forsteriana</i>	Kentia Palm	10m	As Shown	45L	5
Lc	<i>Lophostemon confertus</i>	Brush Box	15m	As Shown	45L	3
Po	<i>Plumeria obtusa</i>	Frangipani	6m	As Shown	200L	2
Tl	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	12m	As Shown	100L	7
Waf	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	12m	As Shown	45L	3
HEDGES, SHRUBS & ACCENTS						
Alca	<i>Alpinia caerulea</i>	Native Ginger	2.5m	4/m ²	200mm	33
Aa	<i>Asplenium australasicum</i>	Bird's Nest Fern	1.5m	1/m ²	200mm	13
As	<i>Acmena smithii 'Sublime'</i>	Sublime Lilly Pilly	4m	2/m ²	200mm	5
De	<i>Doryanthes excelsa</i>	Gynea Lily	3m	1/m ²	200mm	17
Px	<i>Philodendron 'Xanadu'</i>	Xanadu Philodendron	1.2m	3/m ²	200mm	53
SaE	<i>Syzygium australe 'Elite'</i>	Elite Lilly Pilly	3m	1/Lm	200mm	75
SaSN	<i>Syzygium australe 'Straight and Narrow'</i>	'Straight and Narrow' Lilly Pilly	5m	2/Lm	200mm	19
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	2m	1/m ²	200mm	28
GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	<i>Dianella caerulea</i>	Blue Flax Lily	0.5m	3/m ²	140mm	150
Dr	<i>Dichondra repens 'Silver Falls'</i>	Kidney Weed	Creep	4/m ²	140mm	32
Hs	<i>Hibbertia scandens</i>	Native Snake Vine	Climber	2/Lm	140mm	8
Lit	<i>Lomandra longifolia 'Tanika'</i>	Tanika Lomandra	0.7m	3/m ²	140mm	69
MpY	<i>Myoporum parvifolium 'Yareena'</i>	Creeping Boobialla	0.1m	4/m ²	140mm	13
PI	<i>Poa labillardieri 'Eskdale'</i>	Tussock Grass	1m	3/m ²	140mm	54
Vh	<i>Viola hederacea</i>	Native Violet	0.2m	4/m ²	140mm	8
LAWN						
TURF	<i>Stenotaphrum secundatum</i>	Soft Leaf Buffalo	n/a	n/a	Turf Roll	72m ²

NOTE: AUTOMATIC IRRIGATION IS TO BE PROVIDED TO ALL GARDEN BEDS WITHIN PROPOSED DEVELOPMENT

CPS
 CREATIVE PLANNING SOLUTIONS

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PROJECT
PROPOSED DEVELOPMENT
 20 DENISON STREET,
 NEWCASTLE

DRAWING TITLE
PLANTING PLAN
 2ND FLOOR

CLIENT
DENISON STREET
APARTMENTS P/L

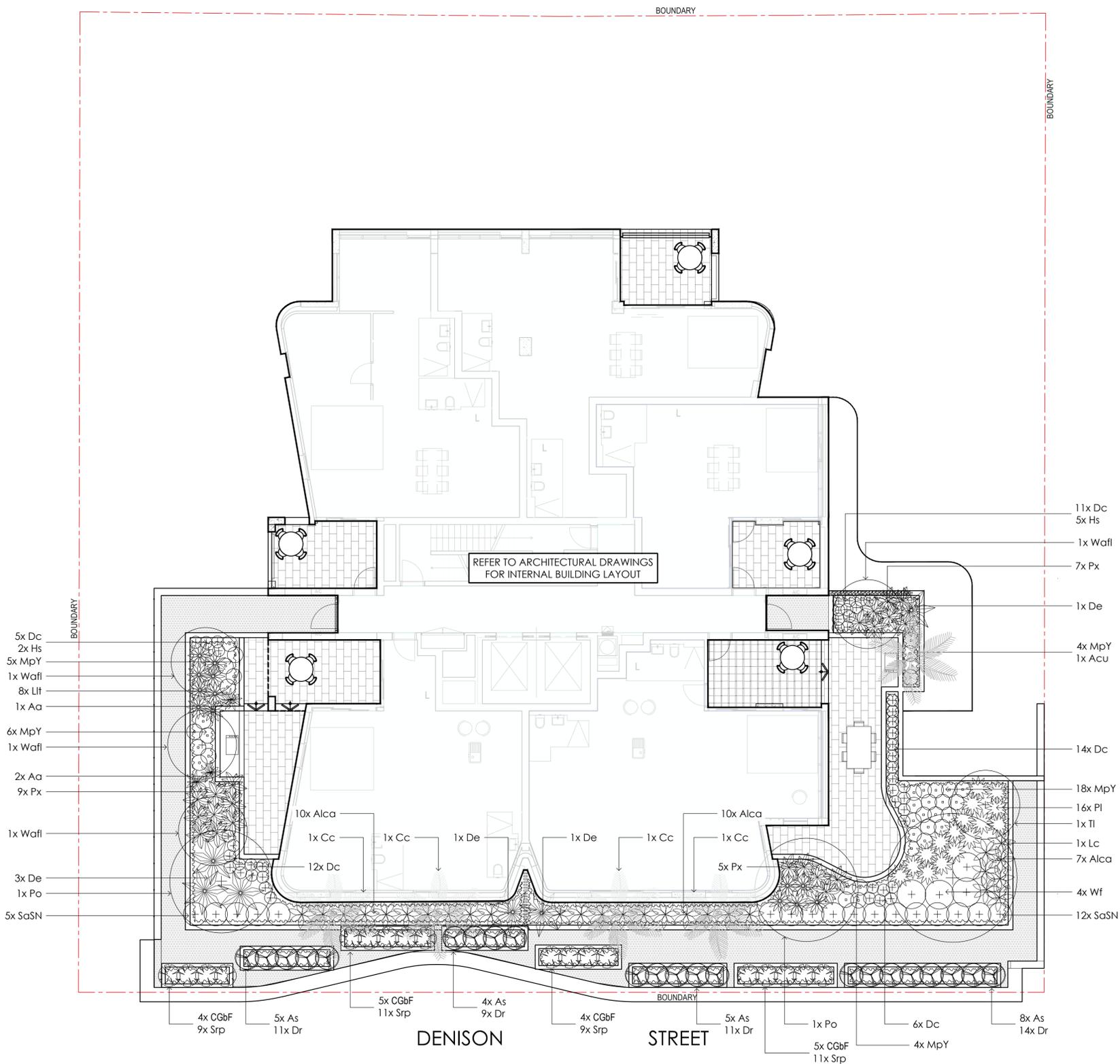
Drawn : NZ
 Designed : NZ
 Project No. : E522
 Bar Scale

1:100 @ A1 / 1:200 @ A3
 SHEET NUMBER
 E522_LP_10

REVISION
 D

INDICATIVE PLANT SCHEDULE - LEVEL 03						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES & PALMS						
Acu	<i>Archontophoenix cunninghamiana</i>	Bangalow Palm	25m	As Shown	45L	1
Cc	<i>Cyathea cooperi</i>	Straw Tree Fern	4m	As Shown	45L	4
Lc	<i>Lophostemon confertus</i>	Brush Box	15m	As Shown	45L	1
Po	<i>Plumeria obtusa</i>	Frangpani	6m	As Shown	200L	2
Tl	<i>Tristaniopsis laurina 'Luscious'</i>	Water Gum	12m	As Shown	100L	1
Wafi	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	12m	As Shown	45L	4
HEDGES, SHRUBS & ACCENTS						
Alca	<i>Alpinia caerulea</i>	Native Ginger	2.5m	4/m ²	200mm	27
Aa	<i>Asplenium australasicum</i>	Bird's Nest Fern	1.5m	1/m ²	200mm	3
As	<i>Acmena smithii 'Sublime'</i>	Sublime Lilly Pilly	4m	2/m ²	200mm	22
CGbF	<i>Callistemon 'Great Balls of Fire'</i>	Bottlebrush	3m	2/m ²	200mm	18
De	<i>Doryanthes excelsa</i>	Gynea Lily	3m	1/m ²	200mm	6
Px	<i>Philodendron 'Xanadu'</i>	Xanadu Philodendron	1.2m	3/m ²	200mm	21
SaSN	<i>Syzygium australe 'Straight and Narrow'</i>	'Straight and Narrow' Lilly Pilly	5m	2/Lm	200mm	17
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	2m	1/m ²	200mm	4
GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	<i>Dianella caerulea</i>	Blue Flax Lily	0.5m	3/m ²	140mm	48
Dr	<i>Dichondra repens 'Silver Falls'</i>	Kidney Weed	Creeper	4/m ²	140mm	45
Hs	<i>Hibbertia scandens</i>	Native Snake Vine	Climber	2/Lm	140mm	7
Lit	<i>Lomandra longifolia 'Tanika'</i>	Tanika Lomandra	0.7m	3/m ²	140mm	8
MpY	<i>Myoporum parvifolium 'Yareena'</i>	Creeping Boobialla	0.1m	4/m ²	140mm	37
PI	<i>Poa labillardieri 'Eskdale'</i>	Tussock Grass	1m	3/m ²	140mm	16
Srp	<i>Salvia rosmarinus prostratus</i>	Prostrate Rosemary	Creeper	2/Lm	140mm	40

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PROJECT
PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE
PLANTING PLAN
3RD FLOOR

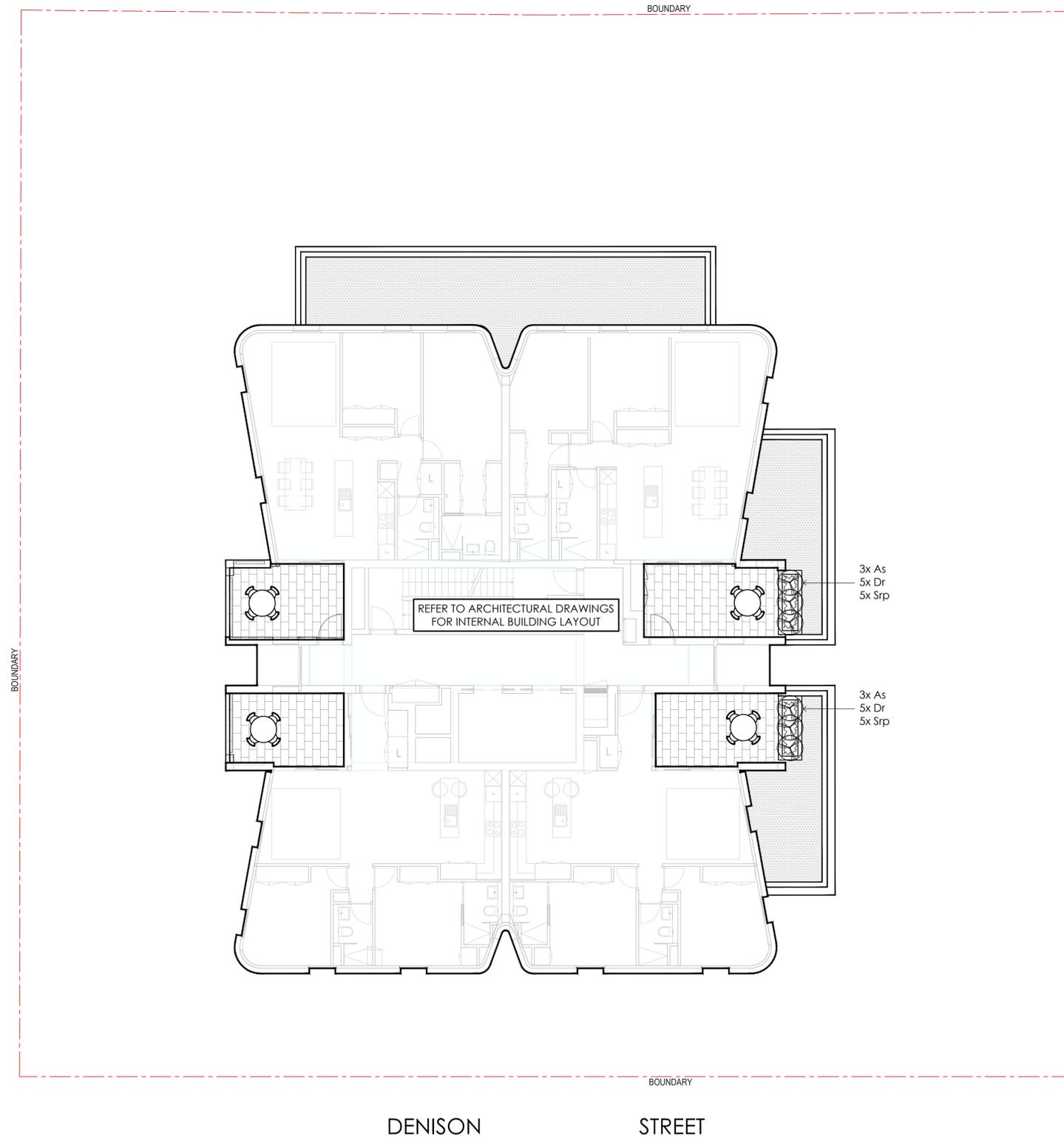
CLIENT
DENISON STREET
APARTMENTS P/L

Drawn : NZ
Designed : NZ
Project No. : E522
Bar Scale

1:100 @ A1 / 1:200 @ A3
SHEET NUMBER
E522_LP_11
REVISION
D

INDICATIVE PLANT SCHEDULE - LEVEL 08						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
HEDGES, SHRUBS & ACCENTS						
As	<i>Acmena smithii</i> 'Sublime'	Sublime Lilly Pilly	4m	2/m ²	200mm	22
GRASSES, GROUNDCOVERS & CLIMBERS						
Dr	<i>Dichondra repens</i> 'Silver Falls'	Kidney Weed	Creeper	4/m ²	140mm	45
Srp	<i>Salvia rosmarinus</i> prostratus	Prostrate Rosemary	Creeper	2/Lm	140mm	40

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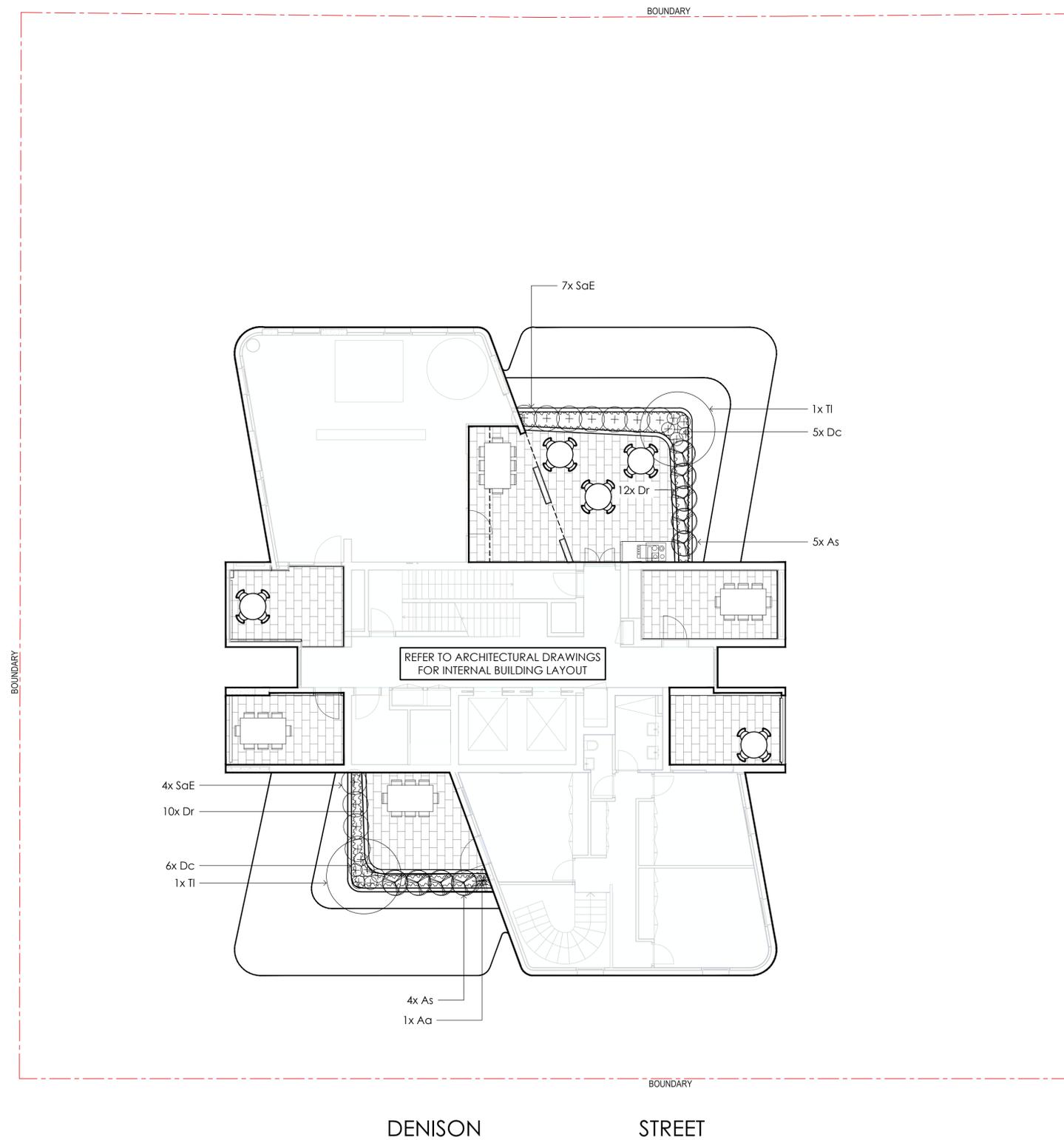


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INDICATIVE PLANT SCHEDULE - LEVEL 19						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES & PALMS						
TI	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	12m	As Shown	100L	2
HEDGES, SHRUBS & ACCENTS						
Aa	<i>Asplenium australasicum</i>	Bird's Nest Fern	1.5m	1/m ²	200mm	1
As	<i>Acmena smithii</i> 'Sublime'	Sublime Lilly Pilly	4m	2/m ²	200mm	9
SaE	<i>Syzygium australe</i> 'Elite'	Elite Lilly Pilly	3m	1/Lm	200mm	11
GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	<i>Dianella caerulea</i>	Blue Flax Lily	0.5m	3/m ²	140mm	11
Dr	<i>Dichondra repens</i> 'Silver Falls'	Kidney Weed	Creeper	4/m ²	140mm	22

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PROJECT

PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE

PLANTING PLAN
19TH FLOOR

CLIENT

DENISON STREET
APARTMENTS P/L

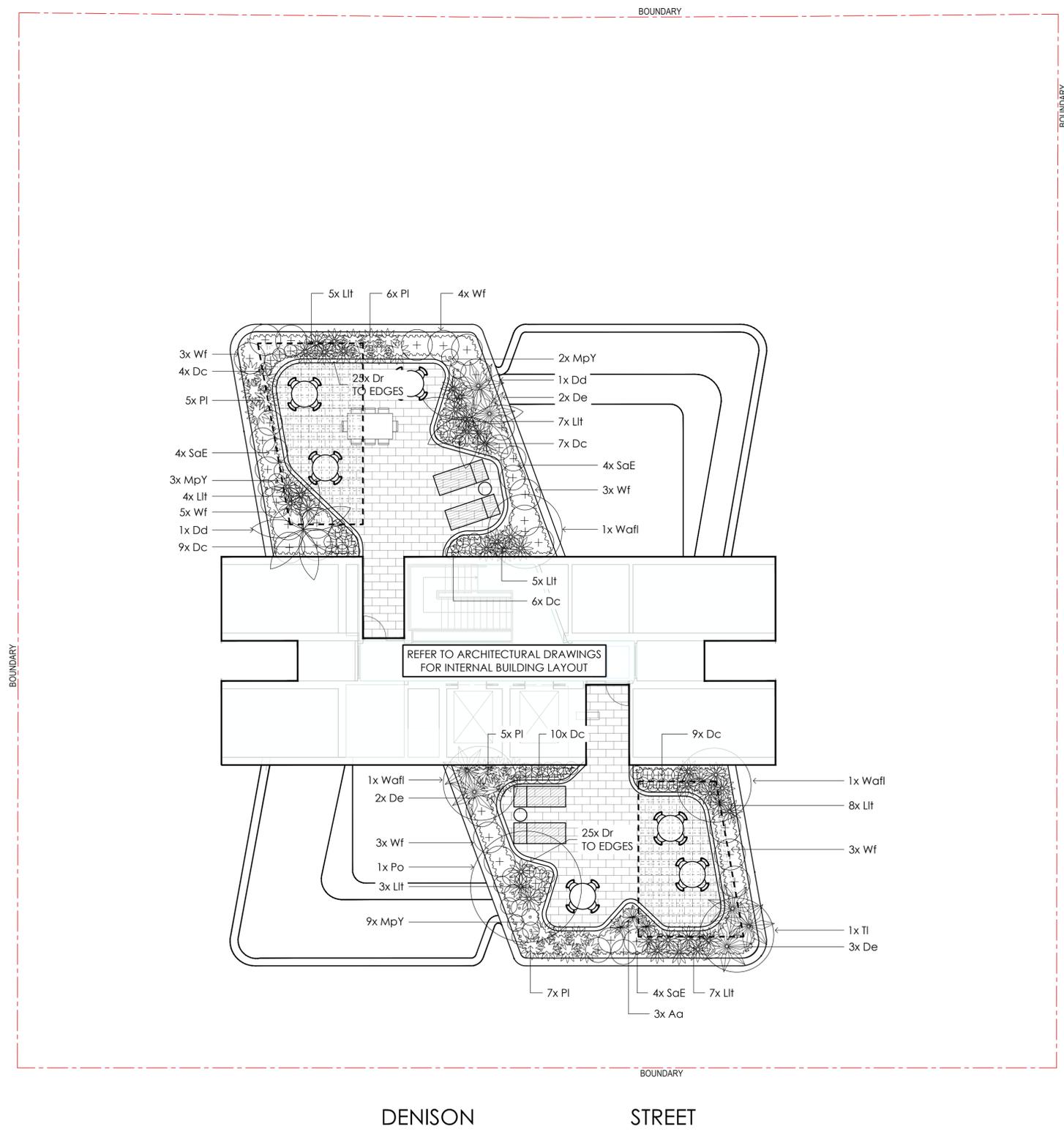
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Designed : NZ
Project No. : E522
Bar Scale

1:100 @ A1 / 1:200 @ A3
SHEET NUMBER
E522_LP_13
REVISION
D



INDICATIVE PLANT SCHEDULE - LEVEL 20						
CODE	BOTANICAL NAME	COMMON NAME	HEIGHT	SPACING	POT SIZE	QTY
TREES & PALMS						
Dd	<i>Dracaena draco</i>	Dragon Tree	6m	As Shown	100L	2
Po	<i>Plumeria obtusa</i>	Frangpani	6m	As Shown	200L	1
Tl	<i>Tristanopsis laurina</i> 'Luscious'	Water Gum	12m	As Shown	100L	2
Waf	<i>Waterhousia floribunda</i>	Weeping Lilly Pilly	12m	As Shown	45L	3
HEDGES, SHRUBS & ACCENTS						
Aa	<i>Asplenium australasicum</i>	Bird's Nest Fern	1.5m	1/m ²	200mm	3
De	<i>Doryanthes excelsa</i>	Gymea Lily	3m	1/m ²	200mm	7
SaE	<i>Syzygium australe</i> 'Elite'	Elite Lilly Pilly	3m	1/Lm	200mm	12
Wf	<i>Westringia fruticosa</i>	Coastal Rosemary	2m	1/m ²	200mm	21
GRASSES, GROUNDCOVERS & CLIMBERS						
Dc	<i>Dianella caerulea</i>	Blue Flax Lily	0.5m	3/m ²	140mm	21
Dr	<i>Dichondra repens</i> 'Silver Falls'	Kidney Weed	Creepers	4/m ²	140mm	45
Lit	<i>Lomandra longifolia</i> 'Tanika'	Tanika Lomandra	0.7m	3/m ²	140mm	39
MpY	<i>Myoporum parvifolium</i> 'Yareena'	Creeping Boobialla	0.1m	4/m ²	140mm	14
PI	<i>Poa labillardieri</i> 'Eskdale'	Tussock Grass	1m	3/m ²	140mm	23

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NEWCASTLE

DRAWING TITLE
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20TH FLOOR

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DENISON STREET
APARTMENTS P/L

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Designed : NZ
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Bar Scale

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SHEET NUMBER
E522_LP_14
REVISION
D

PRELIMINARY SPECIFICATION

SERVICES

BEFORE LANDSCAPE WORK IS COMMENCED THE LANDSCAPE CONTRACTOR IS TO ESTABLISH THE POSITION OF ALL SERVICE LINES AND ENSURE TREE PLANTING IS CARRIED OUT A SUFFICIENT DISTANCE AWAY FROM THESE SERVICES TO AVOID CONFLICT. SERVICE LIDS, VENTS AND HYDRANTS SHALL BE LEFT EXPOSED AND NOT COVERED BY ANY LANDSCAPE FINISHES (TURFING, PAVING, GARDEN BEDS ETC.) FINISH ADJOINING SURFACES FLUSH WITH FINISHES.

ARBORIST MANAGEMENT OF TREE PROTECTION

AN ARBORIST WITH MINIMUM AGF5 QUALIFICATIONS IS TO BE CONTRACTED TO UNDERTAKE OR MANAGE THE INSTALLATION OF PROTECTIVE FENCING AND TO UNDERTAKE SUCH MEASURES AS THEY DEEM APPROPRIATE TO PRESERVE THE SUBJECT TREES TO BE RETAINED. THE ARBORIST IS TO BE RETAINED FOR THE ENTIRE CONTRACT PERIOD TO UNDERTAKE ONGOING MANAGEMENT AND REVIEW OF THE TREES.

PODIUM PLANTING

ENSURE AN ADEQUATE WATERPROOFING MEMBRANE TO ENGINEER'S DETAIL TO HAS BEEN APPLIED ALL PODIUM PLANTERS ON SITE. FOLLOWING APPLICATION OF THE MEMBRANE, CORFLUTE SHEETING IS TO BE APPLIED TO THE BOTTOM AND SIDES OF ALL PLANTERS TO PREVENT FUTURE RUPTURING. PODIUM PLANTERS ARE TO THEN INCLUDE AN APPROVED 'DRAINAGE CELL' PRODUCT TO COMPREHENSIVELY COVER THE BOTTOM OF THE STRUCTURE. OVER THE DRAINAGE CELL, A GEOTEXTILE LINING IS TO BE INSTALLED, TURNED UP 300MM AND TAPED TO THE PLANTER SIDES TO ENSURE SOIL MIX DOES NOT ESCAPE INTO DRAINAGE OUTLETS/HOLES. INSTALL 100MM COURSE RIVER SAND OVER ALL GEOTEXTILE LINING PRIOR TO INSTALLATION OF A SUITABLE PLANTER SOIL MIX.

EXISTING SUB-GRADE IN PLANTING AREAS

TEST SUBSOIL DRAINAGE TO ALL TREE PLANTING POSITIONS AND PLANTING AREAS. IF NECESSARY EXCAVATE UNDER TREE PLANTING POSITION DOWN THROUGH IMPERMEABLE MATERIAL TO A PERMEABLE SUB-GRADE DEPTH. REMOVE EXCAVATED MATERIAL FROM SITE AND REPLACE WITH A POROUS MATERIAL AND SUITABLE GROWING MEDIUM FOR NOMINATED SPECIES. SETTLE BACKFILL TO PREVENT SUBSIDENCE.

FINISHED LEVELS AND GRADES

CONSTRUCT FINISHED GRADES TO THE FINISHED LEVELS SHOWN ON THE CIVIL DRAWINGS. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS, PLANTED AREAS AND PATHWAYS ARE TO DRAIN TO SPECIFIED DRAINAGE COLLECTION POINTS AS INDICATED ON THE HYDRAULIC ENGINEER'S DRAWINGS. ENSURE A MAXIMUM GRADE OF 1:4 TO ALL PLANTED AND TURFED AREAS.

DRAINAGE PITS

INSTALL METAL GRATE, PVC BODY DRAINAGE PITS AS INDICATED ON THE HYDRAULIC ENGINEER'S DRAWINGS. CONNECT PITS TO STORMWATER SYSTEM - BY PLUMBER.

PAVING

PAVEMENT SETOUT AS PER SETOUT PLAN, FINISHED LEVELS, MATERIALS AND PAVING INSTALLATION TO ARCHITECT'S SPECIFICATION.

SOIL

CULTIVATE ALL PLANTING AREAS AND SET DOWN SUB-GRADE TO ACCOMMODATE IMPORTED TOPSOIL TO BE INSTALLED TO A MINIMUM 300MM DEPTH. IF DEEMED SUITABLE BY THE LANDSCAPE ARCHITECT, IMPROVED SITE SOIL MAY BE USED IN PLACE OF IMPORTED TOPSOIL PENDING COMPLIANCE WITH THE PROVISIONS OUTLINED IN AS4419.

MULCH

APPLY APPROVED ORGANIC MULCH (ANL 'FOREST FINES' OR SIMILAR) TO A DEPTH OF 75MM TO ALL PLANTED AREAS. ENSURE CLEARANCE TO PLANT STEMS AND RAKE TO AN EVEN SURFACE FINISHING 25MM BELOW ADJOINING LEVELS. ENSURE MULCH IS WATERED IN DURING INSTALLATION.

FERTILISER

FOR GENERAL PLANTED AREAS: APPLY APPROVED FERTILISER INTENDED FOR SLOW RELEASE OF PLANT NUTRIENTS OVER A PERIOD OF APPROXIMATELY NINE (9) MONTHS, THOROUGHLY MIX FERTILISER WITH PLANTING MIXTURE AT THE RECOMMENDED RATE AND IN ACCORDANCE WITH RECOGNISED HORTICULTURAL PRACTICE PRIOR TO INSTALLING PLANTS. FOR LAWN AREAS: APPROVED 'LAWN FOOD' OR EQUIVALENT SHALL BE THOROUGHLY MIXED THROUGH TOPSOIL PRIOR TO PLACING TURF. FOR ESTABLISHED TREE PLANTING: 'AGRIFORM PLANTING TABLETS' OR EQUIVALENT ARE TO BE APPLIED AT THE RECOMMENDED RATE WITHIN THE PLANTING MEDIUM ADJACENT TO THE BASE OF THE ROOT BALL AT TIME OF PLANTING.

PLANT MATERIAL

ALL PLANTS SUPPLIED ARE TO CONFORM WITH THOSE SPECIES LISTED IN THE PLANT SCHEDULE ON THE LANDSCAPE DRAWINGS. GENERALLY PLANTS SHALL BE: VIGOROUS, WELL ESTABLISHED, HARDENED OFF, OF GOOD FORM, CONSISTENT WITH SPECIES OR VARIETY, NOT SOFT OR FORCED, FREE FROM DISEASE OR PESTS, HAVE LARGE HEALTHY ROOT SYSTEMS AND NO EVIDENCE OF HAVING BEEN RESTRICTED OR DAMAGED. TREES SHALL HAVE A LEADING SHOOT, IMMEDIATELY REJECT DRIED OUT, DAMAGED OR UNHEALTHY PLANT MATERIAL BEFORE PLANTING. ALL STOCK IS TO BE CONTAINER GROWN FOR A MINIMUM OF SIX (6) MONTHS PRIOR TO DELIVERY TO SITE.

STAKING AND TYING

STAKES SHALL BE STRAIGHT, UNPAINTED HARDWOOD FREE FROM KNOTS AND TWISTS, POINTED AT ONE END AND SIZED ACCORDING TO SIZE OF PLANTS TO BE STAKED.

A. 5 - 15 LITRE SIZE PLANT 1 x (1200X25X25MM)

B. 35 - 75 LITRE SIZE PLANT 2 x (1500X38X38MM)

C. 100 - 200 LITRE 3 x (1800X50X50MM)

TIES SHALL BE 50MM WIDE HESSIAN WEBBING OR APPROVED EQUIVALENT NAILED OR STAPLED TO STAKE. DRIVE STAKES A MINIMUM ONE THIRD OF THEIR LENGTH (AVOIDING DAMAGE TO THE ROOT SYSTEM) ON THE WINDWARD SIDE OF THE PLANT.

TURF

TURF IS TO BE OF A SPECIES CONSISTENT WITH THAT SHOWN ON THE LANDSCAPE DRAWINGS AND IS TO HAVE AN EVEN THICKNESS OF NOT LESS THAN 25MM, OBTAIN TURF FROM AN APPROVED GROWER. DELIVER TO SITE WITHIN TWENTY FOUR (24) HOURS OF BEING CUT, AND LAY WITHIN TWENTY FOUR (24) HOURS OF BEING DELIVERED. TO PREPARE GRADED AREAS TO RECEIVE TURF, EXCAVATE THE AREA AND CULTIVATE SO AS TO ALLOW FOR IMPORTING OF 100MM OF TURF UNDERLAY SOIL. REMOVE ALL STONES OVER 20MM Ø AS WELL AS ALL WEEDS AND FOREIGN MATTER. SPREAD TURF UNDERLAY SOIL TO A DEPTH OF 100MM AND GRADE TO APPROPRIATE LEVELS TO ACHIEVE GENERAL EVEN GRADES TO DRAINAGE OUTLETS INSTALLED BY OTHERS - TURF AREAS ARE TO HAVE MINIMUM 1:50 CROSSFALL TO ENSURE MINIMUM DRAINAGE REQUIREMENTS. TURF IS TO BE LAID ALONG RESOLVED LAND CONTOURS WITH STAGGERED, CLOSE BUTTED, JOINTS SO THAT THE FINISHED TURF SURFACE IS FLUSH WITH ADJACENT FINISHED SURFACES OF PAVING AND THE LIKE. AS SOON AS PRACTICABLE AFTER LAYING, ROLL THE TURF WITH A ROLLER WEIGHING NOT MORE THAN 90KG PER METRE OF WIDTH. WATER AS NECESSARY TO KEEP THE SOIL MOIST TO A DEPTH OF 100MM. PROTECT NEWLY TURFED AREAS AGAINST TRAFFIC UNTIL GRASS IS ESTABLISHED. TWO (2) WEEKS AFTER INSTALLATION, APPLY APPROVED ORGANIC TOP DRESSING SOIL (ANL 'ORGANIC TOP DRESSING' OR SIMILAR) TO A DEPTH OF 15MM TO ALL TURFED AREAS. RUB THE DRESSING WELL INTO THE JOINTS AND CORRECT ANY UNEVENNESS IN THE TURF SURFACES.

TREATED PINE TIMBER EDGING

TIMBER EDGE: 100 X 25MM H4 TREATED PINE.

TIMBER STAKES: 50 X 50 X 500MM H4 TREATED PINE-SHARPENED AT ONE END.

INSTALL IN LOCATIONS SHOWN ON THE DRAWINGS FLUSH TO FINISHED SURFACE LEVELS.

TREES TO BE RETAINED

MARK TREES AND SHRUBS TO BE RETAINED WITH SUITABLE NON-INJURIOUS, EASILY VISIBLE AND REMOVABLE MEANS OF IDENTIFICATION CONSISTENT WITH THE TREE NUMBERING SYSTEM INDICATED ON THE LANDSCAPE DRAWINGS.

LANDSCAPE MAINTENANCE PROGRAM

MAINTENANCE SHALL MEAN THE CARE AND MAINTENANCE OF THE LANDSCAPE WORKS BY ACCEPTED HORTICULTURAL PRACTICE AS RECTIFYING ANY DEFECTS THAT BECOME APPARENT IN THE LANDSCAPE WORKS UNDER NORMAL USE. THIS SHALL INCLUDE, BUT SHALL NOT BE LIMITED TO: WATERING, MOWING, FERTILISING, RESEEDING, RETURNING, WEEDING, PEST AND DISEASE CONTROL, STAKING AND TYING, REPLANTING, CULTIVATION, PRUNING, AERATING, RENOVATING, TOP DRESSING, MAINTAINING THE SITE IN A NEAT AND TIDY CONDITION AS FOLLOWS:

GENERAL

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE WORKS FOR THE TERM OF THE MAINTENANCE (OR PLANT ESTABLISHMENT) PERIOD TO THE SATISFACTION OF THE COUNCIL. THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL ATTEND TO THE SITE ON A FORTNIGHTLY BASIS. THE MAINTENANCE PERIOD SHALL COMMENCE AT PRACTICAL COMPLETION AND CONTINUE FOR A PERIOD OF TWENTY SIX (26) WEEKS.

WATERING

GRASS, TREES AND GARDEN AREAS SHALL BE WATERED REGULARLY SO AS TO ENSURE CONTINUOUS HEALTHY GROWTH.

RUBBISH REMOVAL

DURING THE TERM OF THE MAINTENANCE PERIOD THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REMOVE RUBBISH THAT MAY OCCUR AND REOCCUR THROUGHOUT THE MAINTENANCE PERIOD. THIS WORK SHALL BE CARRIED OUT REGULARLY SO THAT AT FORTNIGHTLY INTERVALS THE AREA MAY BE OBSERVED IN A COMPLETELY CLEAN AND TIDY CONDITION.

REPLACEMENTS

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REPLACE ALL PLANTS THAT ARE MISSING, UNHEALTHY OR DEAD AT THE LANDSCAPE MAINTENANCE CONTRACTOR'S COST. REPLACEMENTS SHALL BE OF THE SAME SIZE, QUALITY AND SPECIES AS THE PLANT THAT HAS FAILED UNLESS OTHERWISE DIRECTED BY THE LANDSCAPE ARCHITECT. REPLACEMENTS SHALL BE MADE ON A CONTINUING BASIS, NOT EXCEEDING TWO (2) WEEKS AFTER THE PLANT HAS DIED OR IS SEEN TO BE MISSING, UNTIL THE END OF THE MAINTENANCE PERIOD.

STAKES AND TIES

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL REPLACE OR ADJUST PLANT STAKES, AND TREE GUARDS AS NECESSARY OR AS DIRECTED BY THE LANDSCAPE ARCHITECT. REMOVE STAKES AND TIES AT THE END OF THE MAINTENANCE PERIOD IF SO DIRECTED.

PRUNING

TREES AND SHRUBS SHALL BE PRUNED AS DIRECTED BY THE LANDSCAPE ARCHITECT AND PROJECT ARBORIST. PRUNING WILL BE DIRECTED AT THE MAINTENANCE OF THE DENSE FOLIAGE OR MISCELLANEOUS PRUNING AND BENEFICIAL TO THE CONDITION OF THE PLANTS. ANY DAMAGED GROWTH SHALL BE PRUNED. ALL PRUNED MATERIAL SHALL BE REMOVED FROM THE SITE.

MULCHED SURFACES

ALL MULCHED SURFACES SHALL BE MAINTAINED IN A CLEAN AND TIDY CONDITION AND BE REINSTATED IF NECESSARY TO ENSURE THAT A DEPTH OF 75MM IS MAINTAINED. ENSURE MULCH IS KEPT CLEAR OF PLANT STEMS AT ALL TIMES.

PEST AND DISEASE CONTROL

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL SPRAY AGAINST INSECT AND FUNGUS INFESTATION WITH ALL SPRAYING TO BE CARRIED OUT IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. REPORT ALL INSTANCES OF PESTS AND DISEASES (IMMEDIATELY AS THEY ARE DETECTED) TO THE LANDSCAPE ARCHITECT.

GRASS AND TURF AREAS

THE LANDSCAPE MAINTENANCE CONTRACTOR SHALL MAINTAIN ALL GRASS AND TURF AREAS BY WATERING, WEEDING, DRESSING, ROLLING, MOWING, TRIMMING OR OTHER OPERATIONS AS NECESSARY. SEED AND TURF SPECIES SHALL BE THE SAME AS THE ORIGINAL SPECIFIED MIXTURE. GRASS AND TURF AREAS SHALL BE SPRAYED WITH APPROVED SELECTIVE HERBICIDE AGAINST BROAD LEAFED WEEDS AS REQUIRED BY THE LANDSCAPE ARCHITECT AND IN ACCORDANCE WITH THE MANUFACTURER'S DIRECTIONS. GRASS AND TURF AREAS SHALL BE FERTILISED ONCE A YEAR IN AUTUMN WITH 'DYNAMIC LIFE' (OR SIMILAR) FOR LAWNS AT A RATE OF 20KG PER 100M². FERTILISER SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. IRREGULARITIES IN THE GRASS AND TURF SHALL BE WATERED IN IMMEDIATELY AFTER APPLICATION. GRASS AND TURF AREAS SHALL BE KEPT MOWN TO MAINTAIN A HEALTHY AND VIGOROUS SWARD. MOWING HEIGHT: 30-50MM.

WEED ERADICATION

ERADICATE WEEDS BY ENVIRONMENTALLY ACCEPTABLE METHODS USING A NON-RESIDUAL GLYPHOSATE HERBICIDE (EG. 'ROUNDUP') IN ANY OF ITS REGISTERED FORMULAE. AT THE RECOMMENDED MAXIMUM RATE. REGULARLY REMOVE BY HAND. WEED GROWTH THAT MAY OCCUR OR RECUR THROUGHOUT GRASSED, PLANTED AND MULCHED AREAS. REMOVE WEED GROWTH FROM AN AREA 750MM DIAMETER AROUND THE BASE OF TREES IN GRASSED AREAS. CONTINUE ERADICATION THROUGHOUT THE COURSE OF THE WORKS AND DURING THE MAINTENANCE PERIOD.

SOIL SUBSIDENCE

ANY SOIL SUBSIDENCE OR EROSION WHICH MAY OCCUR AFTER THE SOIL FILLING AND PREPARATION OPERATIONS SHALL BE MADE GOOD BY THE LANDSCAPE CONTRACTOR AT NO COST TO THE CLIENT.

IRRIGATION SYSTEM

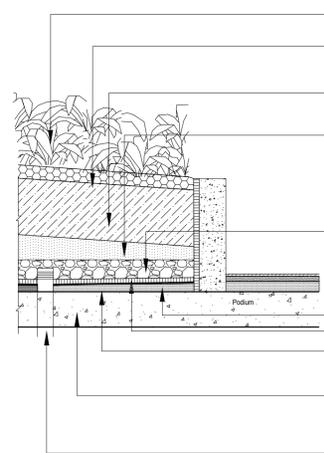
IRRIGATION SYSTEM: SUPPLY AN AUTOMATIC WATERING SYSTEM USING 'TORO IRRIGATION SYSTEM' OR SIMILAR APPROVED, WITH AREA-SPECIFIC SPRINKLER HEADS AND LOW DENSITY, RUBBER MODIFIED POLYPROPYLENE RETICULATION TO INCLUDE FILTERS, BENDS AND OTHER ANCILLARY EQUIPMENT. A SCHEMATIC PLAN OF THE PROPOSED IRRIGATION SYSTEM IS TO BE PREPARED BY A SUITABLY QUALIFIED IRRIGATION CONTRACTOR, SHOWING SOLENOIDS, PIPE DIAMETERS, AND ALL NOZZLE AND TRICKLE ATTACHMENT TYPES (INCLUDING SPRAY/HEAD ANGLE). FOR REVIEW BY THE SUPERINTENDENT PRIOR TO INSTALLATION.

THE IRRIGATION CONTRACTOR IS TO LIAISE WITH THE HYDRAULIC ENGINEER AND COUNCIL AS NECESSARY TO ENSURE THE IRRIGATION SYSTEM CONFORMS WITH ALL COUNCIL AND WATER BOARD CODES AND REQUIREMENTS.

THE IRRIGATION SYSTEM IS TO INCLUDE AN AUTOMATIC CONTROLLER THAT PROVIDES FOR CUSTOMIZABLE SCHEDULING AND HOURLY MULTI-CYCLE OPERATION. THE CONTROLLER SHALL FEATURE A MANUAL OVERRIDE FUNCTION AND PROGRAMMING SHALL BE UNDERTAKEN BY THE IRRIGATION CONTRACTOR WHO SHALL ADVISE ALL RELEVANT PARTIES ON THE OPERATION OF THE SYSTEM. PROVISION OF SECURE HOUSING FOR THE AUTOMATIC IRRIGATION CONTROLLER IS TO BE POSITIONED IN A LOCATION CONFIRMED BY THE SUPERINTENDENT. WIRING TO CONNECT REMOTE SOLENOID LOCATIONS IS TO BE PROVIDED. THE CONTROLLER SHALL BE LOCATED IN A DRY PLACE, PROTECTED FROM THE WEATHER, AND ALL CABLE CONNECTIONS SHALL BE MADE WITH WATERPROOF CONNECTORS.

WATER SUPPLY POINTS ARE TO BE SUPPLIED BY THE BUILDER.

IT SHALL BE THE IRRIGATION CONTRACTOR'S RESPONSIBILITY TO ENSURE AND GUARANTEE SATISFACTORY OPERATION OF THE IRRIGATION SYSTEM. AFTER THE SYSTEM HAS BEEN INSTALLED TO THE SATISFACTION OF THE SUPERINTENDENT, THE INSTALLATION SHALL BE TESTED UNDER KNOWN WORKING CONDITIONS. ACCEPTANCE OF THE INSTALLED PLANT AND EQUIPMENT SHALL BE SUBJECT TO THESE BEING SATISFACTORY.



TYPICAL RAISED PLANTER DETAIL
SCALE 1:20 @A1

Mass planting, refer to planting plan.

Consolidated organic mulch 75mm depth.
Keep clear of the plant stem.

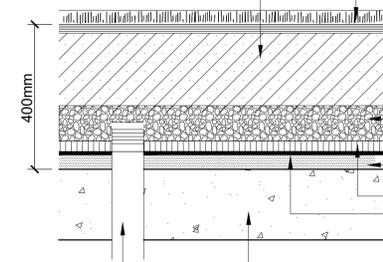
Organic soil mix type A as specified,
allow for 8 off 12 month slow release fertilizer tablets.
Below 300mm planter bed soil mix
Type B as specified.

100mm washed coarse river
sand or free draining aggregate.

Screed.
Drainage cell surrounded with filter fabric.
Waterproof membrane,
refer to Architect's specifications.

Podium & waterproof membrane -
refer to architect's drawings
and engineer's specifications.

Drainage outlet - Refer to Hydraulic
Engineer's drawings & specifications.



TURF PLANTING ON PODIUM - DETAIL
SCALE 1:10 @A1

General Notes:

Regularly remove weed growth throughout planted and mulched areas during the course of project construction.

Lightly tamp or roll surface of turf after installation to ensure that turf roots are in contact with topsoil.

Turf on low side of any path or edge to finish 10mm below finished path/edge level.

Minimum 200mm soil mix type C,
free of rocks and debris.
Soil depths varies over podium -
refer to soil depths plan

Turf, as specified

25 mm Turf underlay.

Finished grade, refer to grading plans.

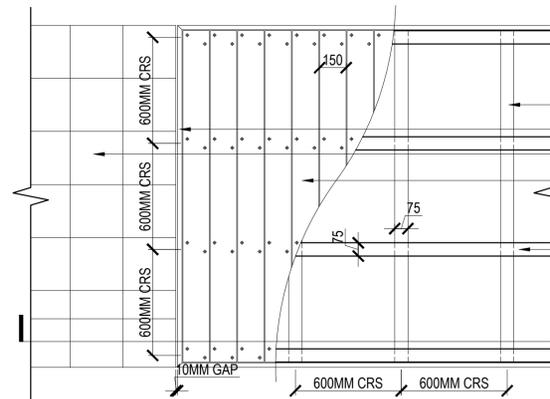
100mm washed coarse river sand
or free draining aggregate.

Screed

Drainage cell surrounded with filter fabric.
Podium waterproof membrane - refer
to Architect's specifications.

Podium, refer to architect's drawings
and engineer's specifications.

Drainage outlet - Refer to Hydraulic
Engineer's specifications.

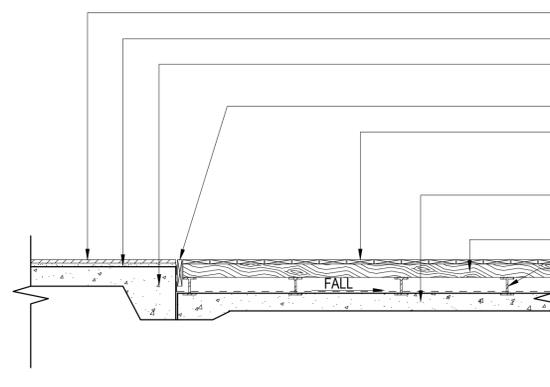


TIMBER DECKING - SECTION AA
SCALE 1:20 @A1

75 X 100MM HW JOIST BOLTED TO STEEL 'I' BEAM
150 x 40MM HWD FACIA BOARD NAILED TO JOISTS
ADJOINING PAVING REFER TO SURFACE FINISHES PLAN

150 X 40MM HWD TIMBER DECKING
SCREW FIX TO JOISTS WITH GALVANIZED SCREWS
OIL STAINED FINISH REFER TO SPECIFICATION

75 X 100MM STEEL 'I' BEAM
RECESSED INTO CONCRETE SLAB



ADJOINING PAVING REFER TO PLAN

20MM THICK CONCRETE SCREENING ADHESIVE
REINFORCED CONCRETE STRUCTURES
TO ENGINEERS DETAILS

150 x 40MM HW FACIA BOARD NAILED TO JOISTS
150 X 25MM HW TIMBER DECKING
NAILED TO JOISTS WITH GALVANIZED SCREWS
OIL STAINED FINISH REFER TO SPECIFICATION

REINFORCED CONCRETE STRUCTURE
TO ENGINEERS DETAILS

75 X 100MM HW JOIST BOLTED TO STEEL 'I' BEAM

75 X 100MM STEEL 'I' BEAM
RECESSED INTO CONCRETE SLAB

DIMENSIONS :

All dimensions are in millimetres unless otherwise noted. Do not scale from this drawing. Verify all dimensions on site prior to construction.

CIVIL, STRUCTURAL, HYDRAULIC, ELECTRICAL AND SPECIALIST WATER FEATURE WORKS :
Refer to specialist and consultant's drawings for all information contained within these documents relating to and nominated as specialist and consultant work. Specialist and consultant drawing information contained in the landscape documents are indicative only and not for construction or certification purposes.

Issue	Code	Issue Description	By	Chk	Date
D	CA	UPDATED FOR DA	NZ	GT	12.11.21
C	CA	FOR DA	NZ	GT	27.10.21
B	PRE	FOR REVIEW	NZ	GT	25.10.21
A	PRE	FOR DISCUSSION	NZ	GT	20.10.21

PRE - Preliminary CA - Council Approval T - Tender CON - Construction

PROJECT

PROPOSED DEVELOPMENT
20 DENISON STREET,
NEWCASTLE

DRAWING TITLE

**LANDSCAPE SPECIFICATION,
MAINTENANCE PROGRAM &
DETAILS**

CLIENT

**DENISON STREET
APARTMENTS P/L**

Drawn : NZ
Designed : NZ
Project No. : E522

SCALE: AS SHOWN
SHEET NUMBER
E522_LP_15
REVISION
D

CPS

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CPSPLANNING.COM.AU
ABN 135 093 926



20 DENISON STREET, NEWCASTLE WEST PROPOSED MULTI-UNIT DEVELOPMENT

STORMWATER CONCEPT PLANS



LOCALITY PLAN
N.T.S.

DRAWING INDEX

Drawing No.	DESCRIPTION
000	COVER SHEET PLAN
101	STORMWATER CONCEPT PLAN BASEMENT LEVEL SHEET 1 OF 2
102	STORMWATER CONCEPT PLAN BASEMENT LEVEL SHEET 2 OF 2
103	STORMWATER CONCEPT PLAN GROUND FLOOR
104	STORMWATER CONCEPT PLAN MEZZANINE FLOOR PLAN
105	STORMWATER CONCEPT PLAN FIRST FLOOR PLAN
106	ON-SITE RETENTION WITH SAND FILTER DETAILS AND CALCULATIONS 1 OF 2
107	ON-SITE RETENTION WITH SAND FILTER DETAILS AND CALCULATIONS 2 OF 2
108	MISCELLANEOUS DETAILS SHEET

NOT FOR CONSTRUCTION

Certification By Dr. Michel Chaya in affiliation with Joe Bacha (formerly Australian Consulting Engineers): 				Architect TOKIN ZULAIKHA GREER ARCHITECTS 117 Reservoir Street, Surry Hills NSW 2010 PHONE : 02 9215 4900 WEB : www.tzg.com.au		Council Newcastle City Council		Scale 				Project 20 DENISON STREET, NEWCASTLE WEST PROPOSED MULTI-UNIT DEVELOPMENT STORMWATER CONCEPT PLANS SECTION 4.55		Drawing Title COVER SHEET PLAN	
A ISSUE FOR SECTION 4.55				12/11/2021		AGN JSF		Scale N.T.S.		Project No. 2021305		Dwg. No. 000		Issue A	

LEGEND

- PROPOSED STORMWATER
- SURFACE FLOW DIRECTION
- Ø100mm SUBSOIL DRAINAGE @ MIN 1.0% SLOPE
- CLEANING EYE (OR INSPECTION EYE)
- INSPECTION OPENING
- x RL 27.56 FINISHED SURFACE LEVEL
- GRATED DRAIN
- Ø150mm FLOOR GRATE

STANDARD PUMP OUT DESIGN NOTES

- THE PUMP OUT SYSTEM SHALL BE DESIGN TO BE OPERATED IN THE FOLLOWING MANNER:
- 1 - THE PUMP SHALL BE PROGRAMMED TO WORK ALTERNATELY TO ALLOW BOTH PUMPS TO HAVE AN EQUAL OPERATION LOAD AND PUMP LIFE.
 - 2 - A FLOAT SHALL BE PROVIDED TO ENSURE OF THE MINIMUM REQUIRED WATER LEVEL IS MAINTAINED WITHIN THE SUMP AREA OF THE BELOW GROUND TANK. IN THIS REGARD THIS FLOAT WILL FUNCTION AS AN OFF SWITCH FOR THE PUMPS AT THE MINIMUM WATER LEVEL. THE SAME FLOAT SHALL BE SET TO TURN ONE OF THE PUMPS ON UPON THE WATER LEVEL IN THE TANK RISING TO APPROXIMATELY 300mm ABOVE THE MINIMUM WATER LEVEL. THE PUMP SHALL OPERATE UNTIL THE TANK IS DRAINED TO THE MINIMUM WATER LEVEL.
 - 3 - A SECOND FLOAT SHALL BE PROVIDE AT A HIGH LEVEL, WHICH IS APPROXIMATELY THE ROOF LEVEL OF THE BELOW GROUND TANK. THIS FLOAT SHALL START THE OTHER PUMP THAT IS NOT OPERATING AND ACTIVATE THE ALARM.
 - 4 - AN ALARM SYSTEM SHALL BE PROVIDE WITH A FLASHING STROBE LIGHT AND A PUMP FAILURE WARNING SIGN WHICH ARE TO BE LOCATED AT THE DRIVEWAY ENTRANCE TO THE BASEMENT LEVEL THE ALARM SYSTEM SHALL BE PROVIDED WITH A BATTERY BACK-UP IN CASE OF POWER FAILURE.
 - 5 - A CONFINED SPACE DANGER SIGN SHALL BE PROVIDED AT ALL ACCESS POINT TO THE PUMP-OUT STORAGE TANK IN ACCORDANCE WITH THE UPPER PARRAMATTA RIVER CATCHMENT TRUST OSD HANDBOOK.



BASEMENT PUMP OUT FAILURE WARNING SIGN

SIGN SHALL BE PLACED IN A CLEAR AND VISIBLE LOCATION WHERE VEHICLES ENTER THE BASEMENT

COLOURS:
"WARNING" = RED
BORDER AND OTHER LETTERING = BLACK



NOTE:
PROVIDE MIN. 1.0% FALL WITHIN THE SPOON DRAIN.

NOTE:
REFER ARCHITECTURAL DRAWINGS FOR FINAL SET-OUT LEVELS.

CONFINED SPACE DANGER SIGN

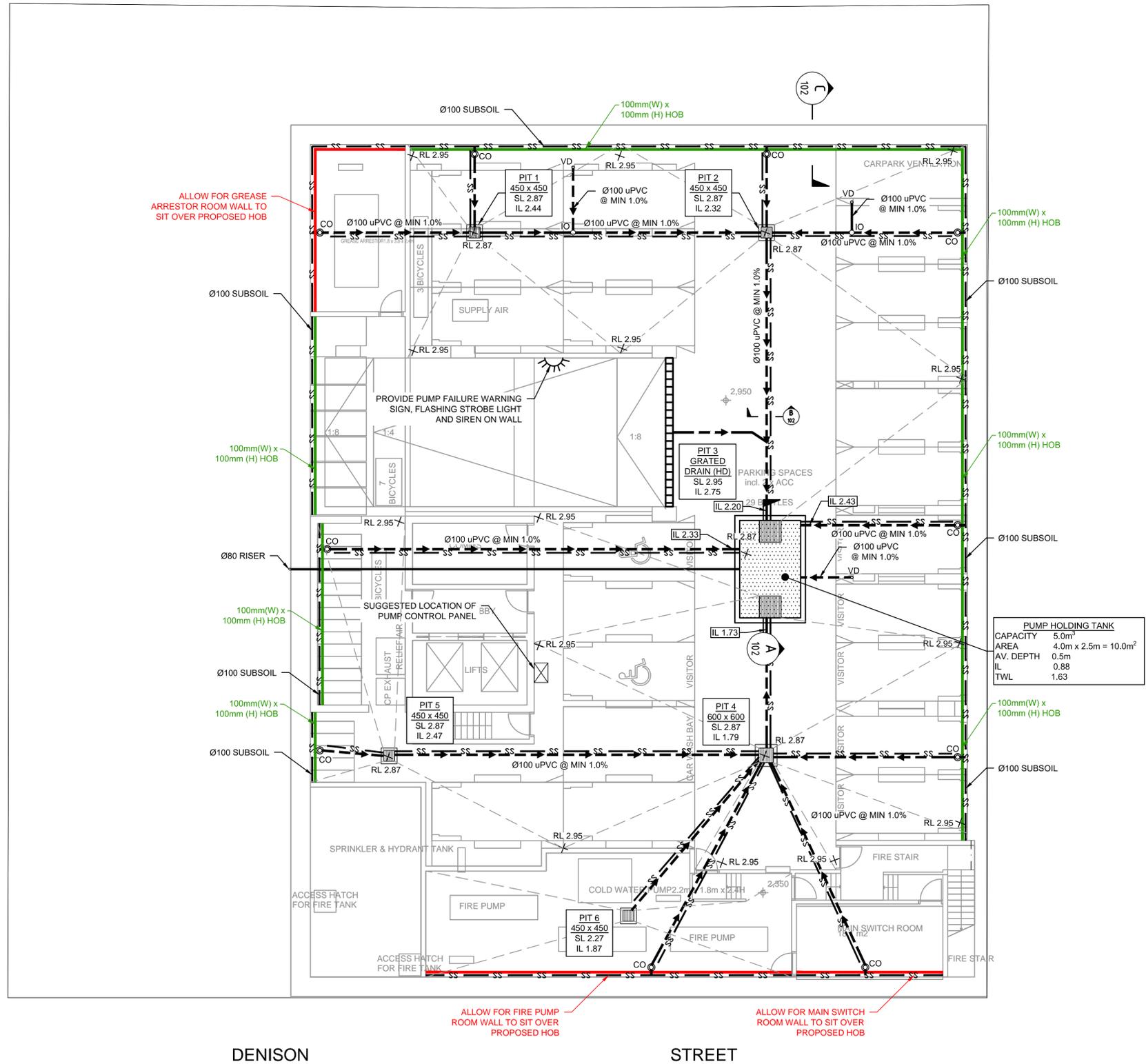
A) A CONFINED SPACE DANGER SIGN SHALL BE POSITIONED IN A LOCATION AT ALL ACCESS POINTS, SUCH THAT IT IS CLEARLY VISIBLE TO PERSONS PROPOSING TO ENTER THE BELOW GROUND TANK/S CONFINED SPACE.

B) MINIMUM DIMENSIONS OF THE SIGN - 300mm x 450mm (LARGE ENTRIES, SUCH AS DOORS) - 250mm x 180mm (SMALL ENTRIES SUCH AS GRATES & MANHOLES)

C) THE SIGN SHALL BE MANUFACTURED FROM COLOUR BONDED ALUMINUM OR POLYPROPYLENE

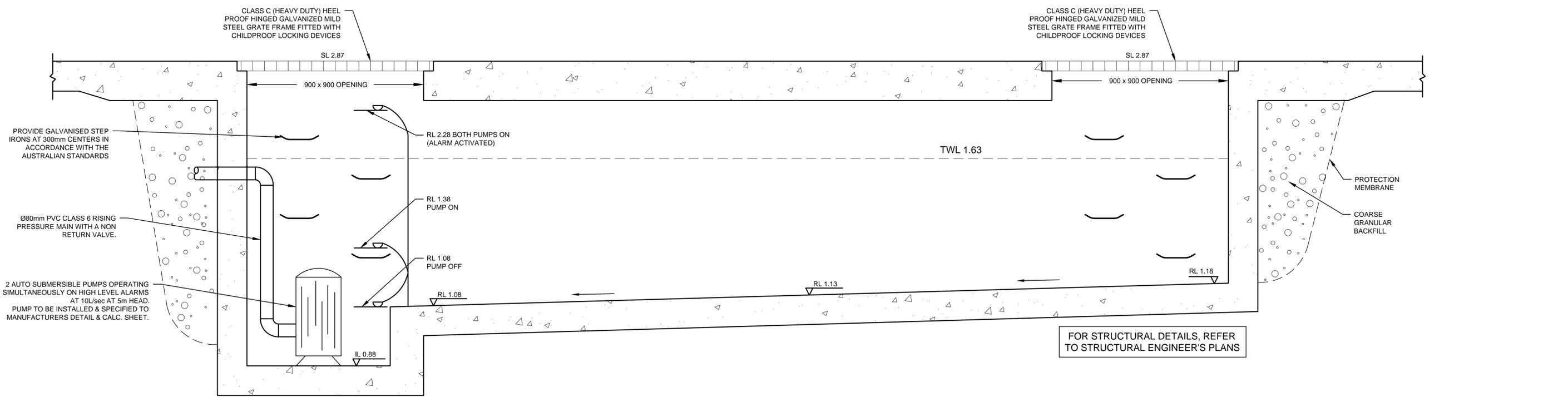
D) SIGN SHALL BE AFFIXED USING SCREWS AT EACH CORNER OF THE SIGN

COLOURS:
"DANGER" & BACKGROUND = WHITE
ELLIPTICAL AREA = RED
RECTANGLE CONTAINING ELLIPSE = BLACK
BORDER AND OTHER LETTERING = BLACK

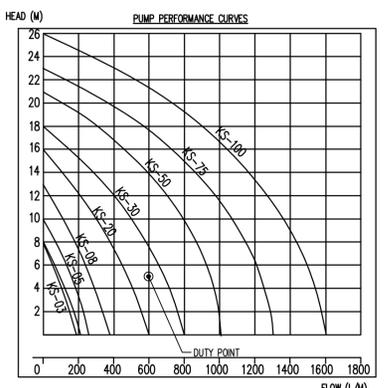


PUMP HOLDING TANK	
CAPACITY	5.0m ³
AREA	4.0m x 2.5m = 10.0m ²
AV. DEPTH	0.5m
IL	0.88
TWL	1.63

NOT FOR CONSTRUCTION



SECTION A
STORMWATER PUMP-OUT SUMP
N.T.S.



PUMP STORAGE VOLUME CALCULATION

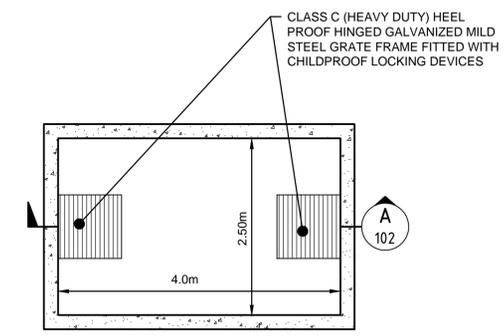
AREA DRAINING TO SUMP = 0m²

SUMP SIZE BASED ON 100 YEAR 2 HR STORM, $i = 45.4 \text{ mm/hr}$,
 $Q = CIA/3600 = 1 \times 45.4 \times 0/3600 = 0 \text{ L/sec}$
 VOLUME REQUIRED = $0 \times (2 \times 60 \times 60) = 0 \text{ L} = 0 \text{ m}^3$
 STORAGE PROVIDED $4.0 \times 2.5 \times 0.5 = 5 \text{ m}^3$

PUMP OUT RATE BASED ON 5YR 1 HR STORM, $i = 40.8 \text{ mm/hr}$
 (MIN RATE REQUIRED AS PER AS3500.3 IS 10 L/sec)
 $Q = CIA/3600 = 1 \times 40.8 \times 0/3600 = 0 \text{ L/sec}$

DUAL KS-30 PUMP OR EQUIVALENT TO BE INSTALLED IN SUMP AND CONNECTED TO CONTROL PANEL WHICH WILL ALLOW FOR THE PUMP TO OPERATE SIMULTANEOUSLY ON HIGH LEVEL WITH ALARM AT 10 L/sec AT 5m HEAD

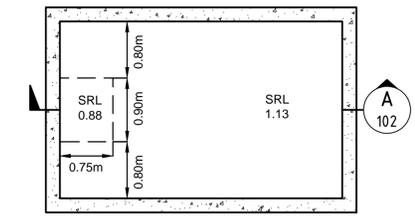
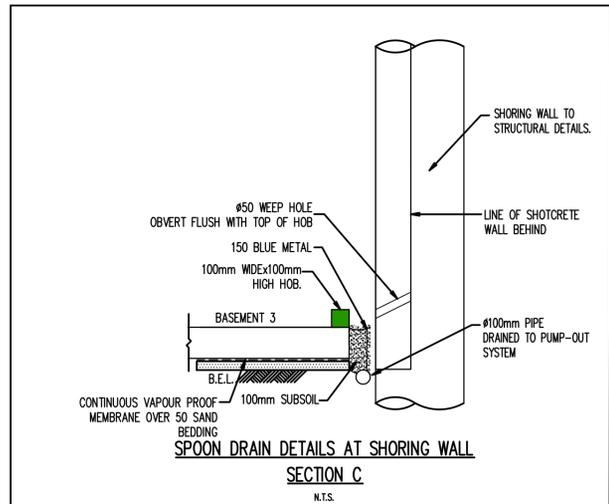
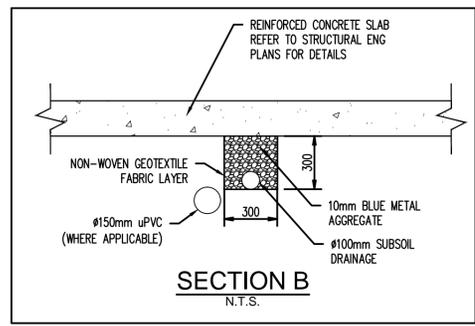
Type	Output		Outlet		Rated Head Capacity		Maximum Head Capacity		Weigh Kg	Dimension		
	HP	kW	mm	Inch	M	LPM	M	LPM		L(mm)	W(mm)	H(mm)
KS-03	1/3	0.25	40	1 1/2"	3	130	8	180	9	188	141	305
KS-04	1/2	0.4	50	2"	5	150	8	220	11	208	140	359
KS-05	1/2	0.4	50	2"	5	160	10	260	14	230	156	375
KS-08	1	0.75	50	2"	6	240	13	380	21	290	180	425
KS-20	2	1.5	80	3"	10	300	16	600	31	278	182	475
KS-30	3	2.2	80	3"	10	500	18	800	42	390	250	450
KS-50	5	3.7	100	4"	10	800	21	1100	48	450	240	530
KS-75	7 1/2	5.6	100	4"	15	800	23	1300	60	550	310	590
KS-100	10	7.5	150	6"	18	900	25	1600	70	550	310	610



NOTE:

- FOR ALL THE STRUCTURAL DETAILS, REFER TO STRUCTURAL ENGINEER'S DRAWINGS.
- ALL THE AG LINES BEHIND BASEMENT WALLS TO BE CONNECTED TO PUMP-OUT SUMP.

PUMP-OUT SUMP DETAIL PLAN VIEW
SCALE 1:50



PUMP-OUT SUMP DETAIL SRL
SCALE 1:50

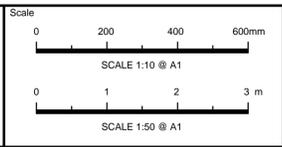
NOT FOR CONSTRUCTION

Issue	Description	Date	Design	Checked
A	ISSUE FOR SECTION 4.55	12/11/2021	AGN	JSF

Certification by Dr. Michel Chaya in affiliation with Joe Bacha (formerly Australian Consulting Engineers):

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Project
20 DENISON STREET, NEWCASTLE WEST PROPOSED MULTI-UNIT DEVELOPMENT STORMWATER CONCEPT PLANS SECTION 4.55

Drawing Title
STORMWATER CONCEPT PLAN BASEMENT LEVEL SHEET 2 OF 2

Scale	A1	Project No.	Dwg. No.	Issue
As Shown		2021305	102	A

LEGEND

- PROPOSED STORMWATER
- PIPE OVERCROSSING MINIMUM 150mm CLEARANCE
- SUBSOIL DRAINAGE
- EXISTING SEWER MAIN
- EXISTING TELSTRA
- EXISTING ELECTRICAL
- FLOOR GRATE
- SURFACE FLOW ARROWS
- DESIGN SURFACE LEVEL
- EXISTING SURFACE LEVEL
- INVERT LEVEL OF PIPE JUNCTION
- TREES TO BE RETAINED
- TREES TO BE REMOVED
- PROPOSED OSD STORAGE
- PROPOSED SANDFILTER STORAGE

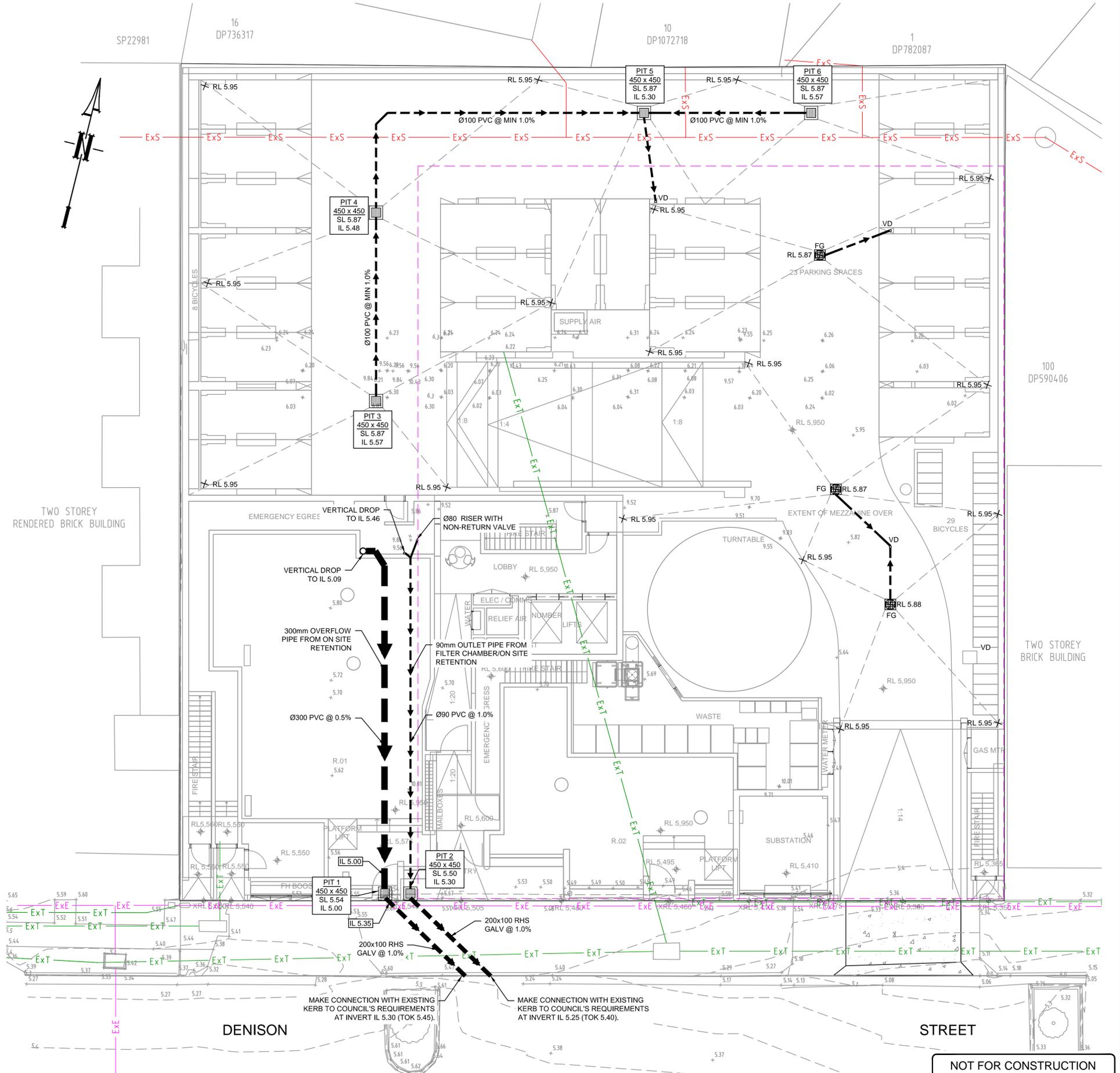
GENERAL NOTES

1. ALL LINES ARE TO BE Ø90 uPVC 1.0% GRADE UNLESS NOTED OTHERWISE. CHARGED LINES TO BE SEWERGRADE & SEALED.
2. EXISTING SERVICES LOCATIONS SHOWN INDICATIVE ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE & LEVEL ALL EXISTING SERVICES PRIOR TO THE COMMENCEMENT OF ANY EARTHWORKS.
3. ALL PIPES TO HAVE MIN 150mm COVER IF LOCATED WITHIN PROPERTY.
4. ALL PITS IN DRIVEWAYS TO BE 450x450 CONCRETE AND ALL PITS IN LANDSCAPED AREAS TO BE 450x450 PLASTIC.
5. PITS LESS THAN 600mm DEEP MAY BE BRICK, PRECAST OR CONCRETE.
6. ALL BALCONIES AND ROOFS TO BE DRAINED AND TO HAVE SAFETY OVERFLOWS IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS.
7. ALL EXTERNAL SLABS TO BE WATERPROOFED.
8. ALL GRATES TO HAVE CHILD PROOF LOCKS.
9. ALL DRAINAGE WORKS TO AVOID TREE ROOTS.
10. ALL DPs TO HAVE LEAF GUARDS.
11. ALL EXISTING LEVELS TO BE CONFIRMED BY BUILDER PRIOR TO CONSTRUCTION.
12. ALL WORK WITHIN COUNCIL RESERVE TO BE INSPECTED BY COUNCIL PRIOR TO CONSTRUCTION.
13. COUNCIL'S ISSUED FOOTWAY DESIGN LEVELS TO BE INCORPORATED INTO THE FINISHED LEVELS ONCE ISSUED BY COUNCIL.
14. ALL WORK SHALL BE IN ACCORDANCE WITH B.C.A. AND A.S.3500.3.
15. REFER TO LANDSCAPE ARCHITECT'S DRAWINGS FOR LANDSCAPING.
16. CARE TO BE TAKEN AROUND EXISTING SEWER. STRUCTURAL ADVICE IS REQUIRED FOR SEWER PROTECTION AGAINST ADDITIONAL LOADING FROM NEW PITS, PIPES, RETAINING WALLS AND OSD BASIN WATER LEVELS.
17. ALL WALLS FORMING THE DETENTION BASINS SHALL BE CONSTRUCTED WHOLLY WITHIN THE PROPERTY BOUNDARIES OF THE SITE BEING DEVELOPED.
18. OSD WARNING SIGN AND SAFETY FENCING SHALL BE PROVIDED TO ABOVE GROUND OSD STORAGE AREA IN ACCORDANCE WITH COUNCIL REQUIREMENTS.
19. ENSURE THAT NON FLOATABLE MULCH IS USED IN DETENTION BASINS, ie. USE DECORATIVE ROCK MULCH OR EQUIVALENT.
20. ALL PIPES IN BALCONIES TO BE Ø65 uPVC CAST IN CONCRETE SLAB. CONTRACTOR TO PROVIDE A BREAK / OPEN VOID IN RAIL / BALUSTRADE FOR STORMWATER EMERGENCY OVERFLOW. ALL ENCLOSED AREAS/PLANTER BOXES TO BE FITTED WITH FLOOR WASTES & DRAINED TO OSD DOWNPIPES TO BE CHECKED BY ARCHITECT & PLUMBER PRIOR TO CONSTRUCTION.
21. THE OSD BASIN / TANK IS TO BE BUILT TO THE CORRECT LEVELS & SIZE AS PER THIS DESIGN. ANY VARIATIONS ARE TO BE DONE UNDER CONSULTATION FROM OUR OFFICE ONLY. ANY AMENDMENTS WITHOUT OUR APPROVAL WOULD RESULT IN ADDITIONAL FEES FOR REDESIGN AT OC STAGE OR IF A SOLUTION CANNOT BE FOUND, RECONSTRUCTION IS REQUIRED UNDER THE CONTRACTOR'S EXPENSES.

PIPES NOTE:
 Ø65 PVC @ MIN 1.0%
 Ø90 PVC @ MIN 1.0%
 Ø100 PVC @ MIN 1.0%
 Ø150 PVC @ MIN 1.0%
 Ø225 PVC @ MIN 0.5%
 Ø300 PVC @ MIN 0.4%
 UNLESS NOTED OTHERWISE

ROOF NOTE:
 ALL ROOF DRAINAGE SYSTEM TO BE CONNECTED TO THE ON SITE RETENTION WITH SAND FILTER SYSTEM, & IS SUBJECT TO DETAILED DESIGN STAGE. ALL DOWNPIPES TO BE Ø100mm DIAMETER TO CATER FOR THE 1 in 100yr ARI & ALL GUTTERS TO BE CONSTRUCTED ACCORDINGLY.

ROOF NOTE:
 IT IS CONTRACTOR'S RESPONSABILITY TO ENSURE MINIMUM 30 TO 40mm OF PONDING IS ACHIEVED OVER THE FLOOR WASTES BY GRADING CATCHMENT'S SURFACES AT MINIMUM 1% FALL.



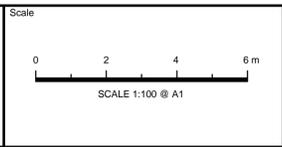
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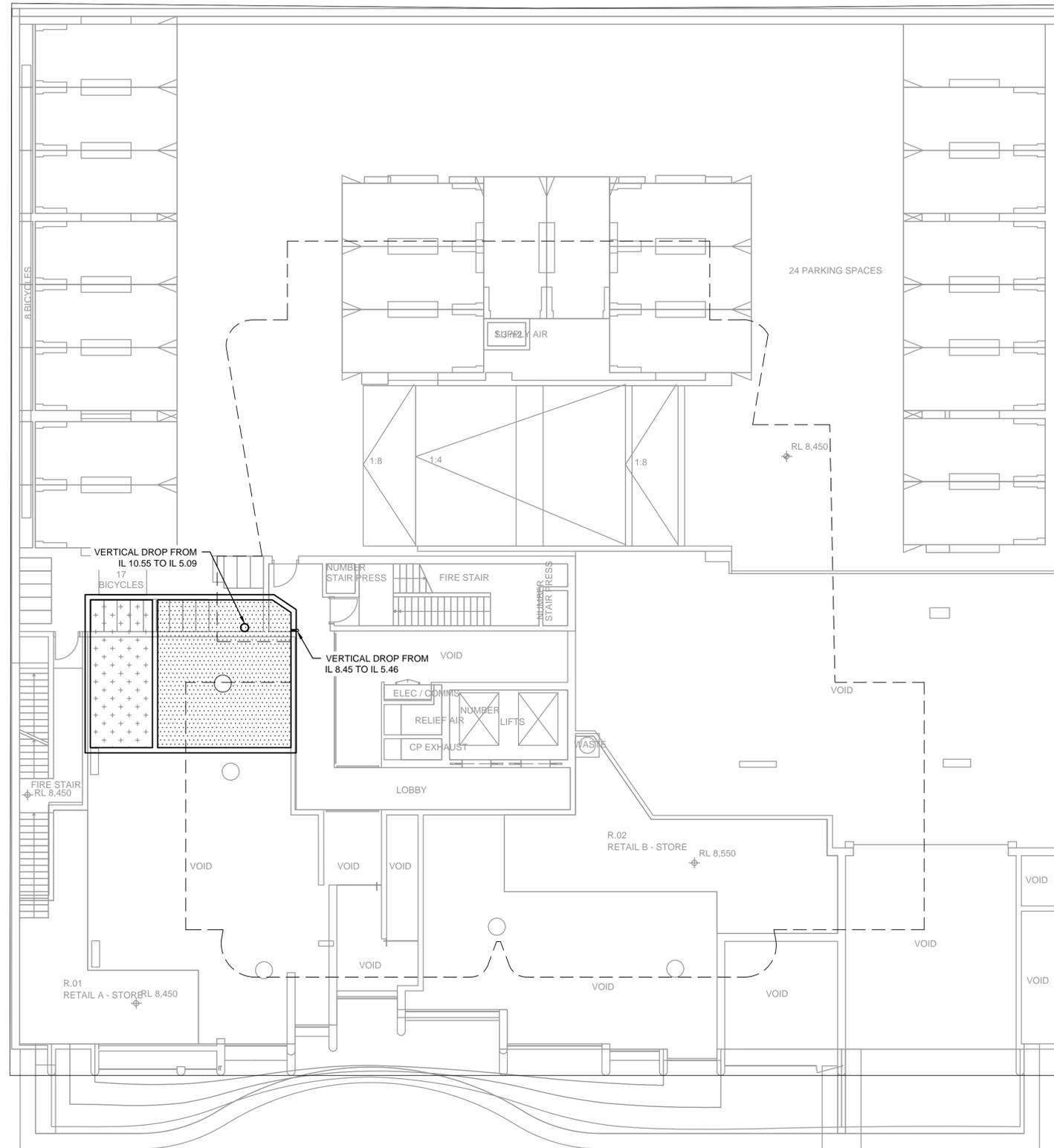
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Project
20 DENISON STREET, NEWCASTLE WEST PROPOSED MULTI-UNIT DEVELOPMENT STORMWATER CONCEPT PLANS SECTION 4.55

Drawing Title		STORMWATER CONCEPT PLAN GROUND FLOOR	
Scale	A1	Project No.	2021305
Dwg. No.	103	Issue	A



MEZZANINE FLOOR PLAN
SCALE 1:100

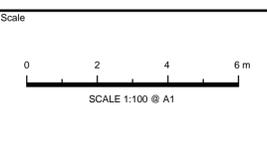
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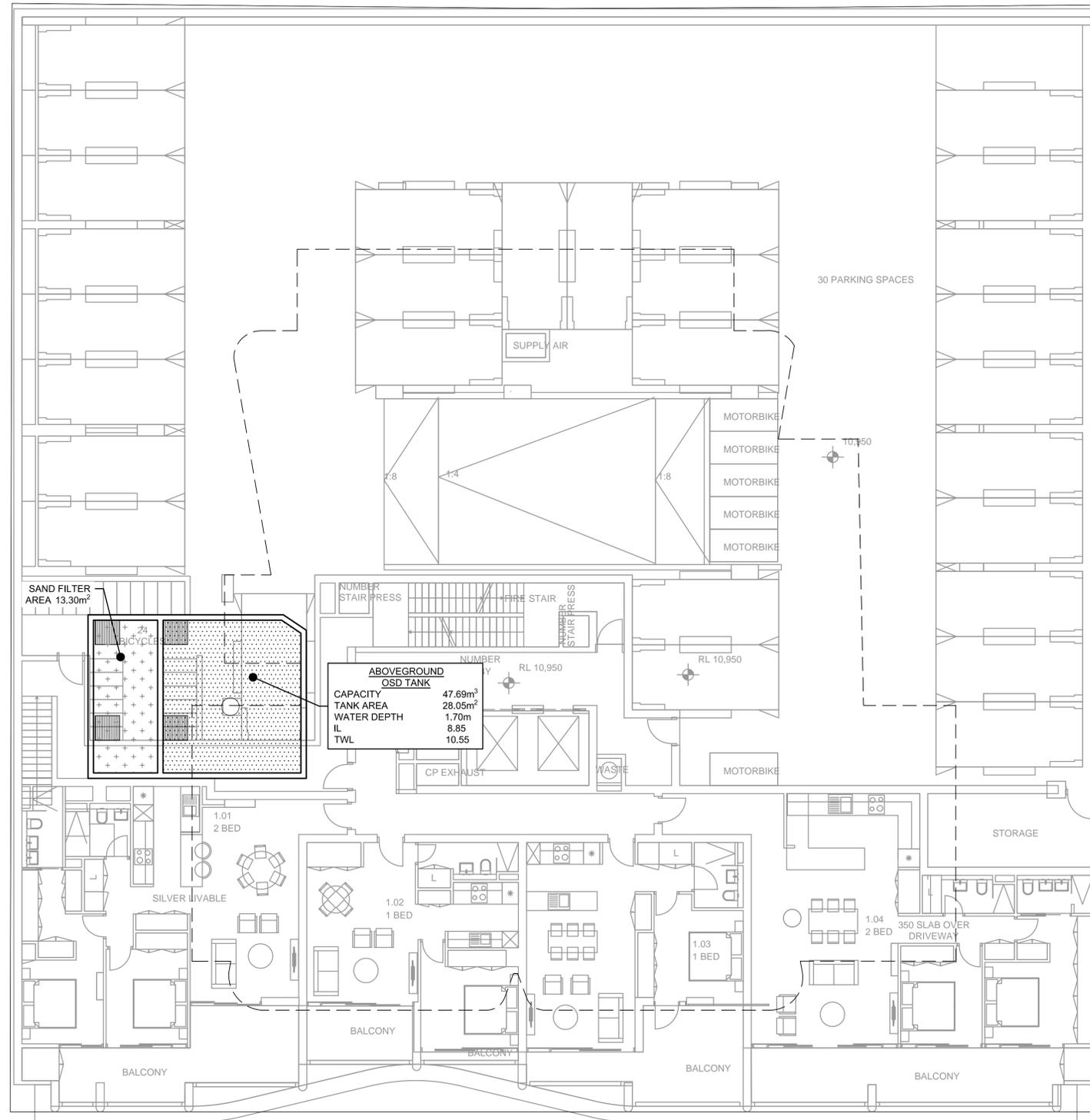
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Project
**20 DENISON STREET, NEWCASTLE WEST
PROPOSED MULTI-UNIT DEVELOPMENT
STORMWATER CONCEPT PLANS
SECTION 4.55**

Drawing Title STORMWATER CONCEPT PLAN MEZZANINE FLOOR PLAN				
Scale	A1	Project No.	Dwg. No.	Issue
1:100		2021305	104	A



**ABOVEGROUND
OSD TANK**
 CAPACITY 47.69m³
 TANK AREA 28.05m²
 WATER DEPTH 1.70m
 IL 8.85
 TWL 10.55

FIRST FLOOR PLAN

SCALE 1:100

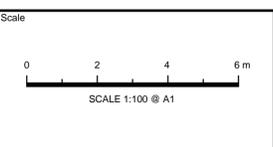
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Project
**20 DENISON STREET, NEWCASTLE WEST
 PROPOSED MULTI-UNIT DEVELOPMENT
 STORMWATER CONCEPT PLANS
 SECTION 4.55**

Drawing Title				
STORMWATER CONCEPT PLAN FIRST FLOOR PLAN				
Scale	A1	Project No.	Dwg. No.	Issue
1:100		2021305	105	A

OSD CALCULATIONS:

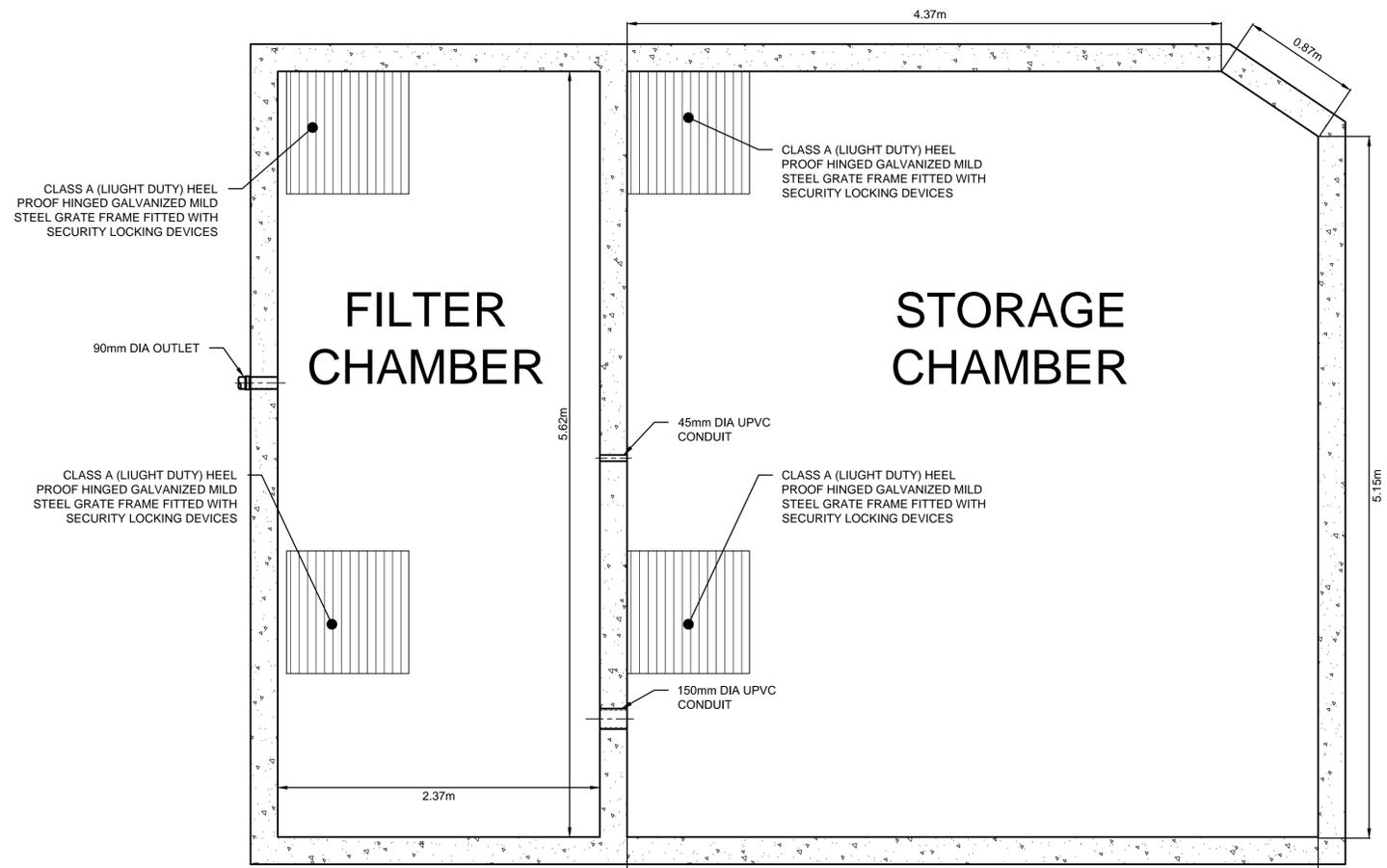
TOTAL SITE AREA = 1641m²
 IMPERVIOUS AREA = 1641m² (100%)
 AREA BYPASSING OSD = 0m² (0%)

NCC ON-SITE STORAGE RATE = 25mm/m²
 VOLUME OF STORAGE REQUIRED FOR SITE
 = 0.025m x 1641m² = 41.025m³

TOTAL OSD VOLUME REQUIRED = 41.025m³
 REQUIRED SAND FILTER AREA = 1641m² x
 0.8/100m² = 13.13m²

SAND FILTER AREA PROVIDED = 13.3m²

TOTAL OSD VOLUME PROVIDED = 47.69m³



ABOVEGROUND ON SITE RETENTION WITH SAND FILTER PLAN VIEW

SCALE 1:25

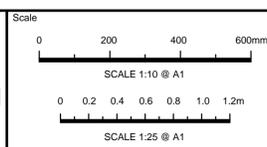
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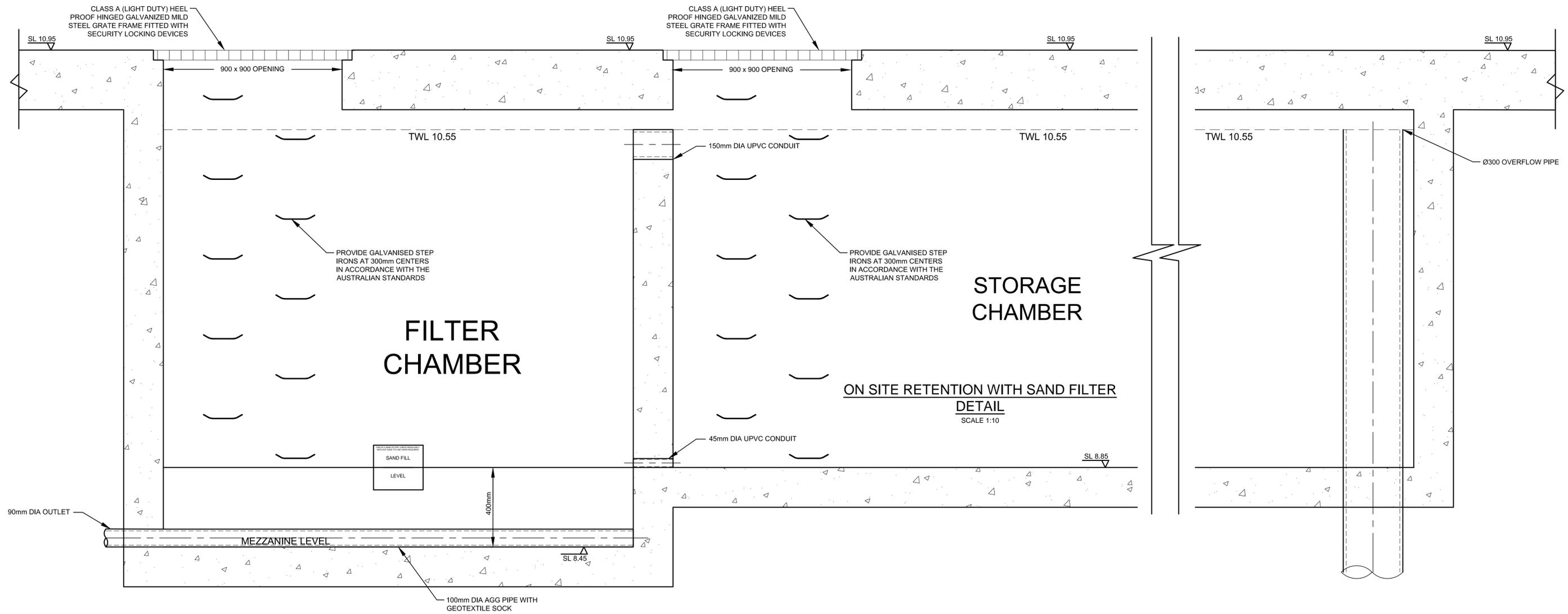
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Project
**20 DENISON STREET, NEWCASTLE WEST
 PROPOSED MULTI-UNIT DEVELOPMENT
 STORMWATER CONCEPT PLANS
 SECTION 4.55**

Drawing Title	Scale	Project No.	Dwg. No.	Issue
ON-SITE RETENTION WITH SAND FILTER DETAILS AND CALCULATIONS 1 OF 2	As Shown	2021305	106	A



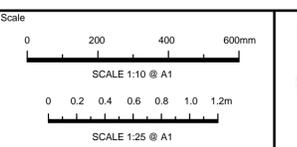
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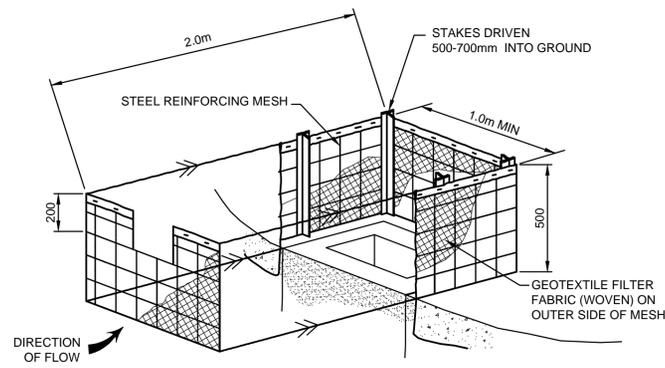
TELFORD CIVIL
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Project
**20 DENISON STREET, NEWCASTLE WEST
PROPOSED MULTI-UNIT DEVELOPMENT
STORMWATER CONCEPT PLANS
SECTION 4.55**

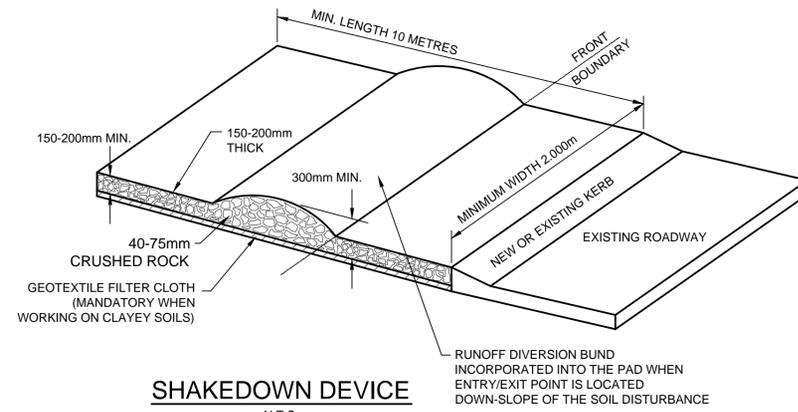
Drawing Title		Project No.		Dwg. No.	Issue
ON-SITE RETENTION WITH SAND FILTER DETAILS AND CALCULATIONS 2 OF 2		2021305		107	A
Scale	A1	Project No.	2021305	Dwg. No.	107
As Shown					A

SEDIMENT & EROSION NOTES

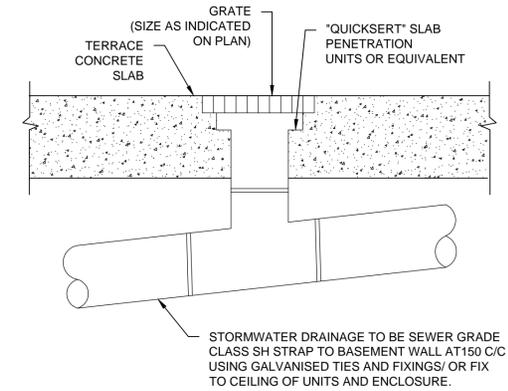
1. IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO NOMINATE THE LOCATIONS AND TYPES OF SEDIMENT AND EROSION CONTROL MEASURES TO BE ADOPTED. THESE MEASURES SHALL BE IMPLEMENTED PRIOR TO ANY CLEARING OR EARTHWORKS AND MAINTAINED UNTIL THE WORKS ARE COMPLETED AND NO LONGER POSE AN EROSION HAZARD, UNLESS OTHERWISE APPROVED BY THE SUPERINTENDENT.
2. IMMEDIATELY FOLLOWING SETTING OUT OF THE WORKS, BUT PRIOR TO COMMENCEMENT OF ANY CLEARING OR EARTHWORKS, THE CONTRACTOR AND SUPERINTENDENT SHALL WALK THE SITE TO IDENTIFY AND MARK TREES WHICH ARE TO BE PRESERVED. NOTWITHSTANDING THE ABOVE, THE CONTRACTOR SHALL TAKE ALL REASONABLE PRECAUTIONS TO MINIMISE DISTURBANCE TO EXISTING VEGETATION AND GROUND COVER OUTSIDE THE MINIMUM AREAS REQUIRED TO COMPLETE THE WORKS AND SHALL BE RESPONSIBLE FOR RECTIFICATION, AT ITS OWN COST, OF ANY DISTURBANCE BEYOND THOSE AREAS.
3. PROVIDE GULLY GRATE INLET SEDIMENT TRAPS AT ALL GULLY PITS.
4. PROVIDE SILT FENCING ALONG PROPERTY LINE AS DIRECTED BY SUPERINTENDENT.
5. ADDITIONAL CONTROL DEVICES TO BE PLACED WHERE DIRECTED BY THE PRINCIPLE.
6. ALTERNATIVE DESIGNS TO BE APPROVED BY SUPERINTENDENT PRIOR TO CONSTRUCTION.
7. WASH DOWN/RUMBLE AREA TO BE CONSTRUCTED WITH PROVISIONS RESTRICTING ALL SILT AND TRAFFICKED DEBRIS FROM ENTERING THE STORMWATER SYSTEM.
8. NO WORK OR STOCKPILING OF MATERIALS TO BE PLACED OUTSIDE OF SITE WORK BOUNDARY.
9. APPROPRIATE EROSION AND SEDIMENT CONTROLS TO BE USED TO PROTECT STOCKPILES AND MAINTAINED THROUGH OUT CONSTRUCTION.
10. IT IS THE CONTRACTORS RESPONSIBILITY TO TAKE DUE CARE OF NATURAL VEGETATION. NO CLEARING IS TO BE UNDERTAKEN WITHOUT PRIOR APPROVAL FROM THE SUPERINTENDENT.
11. TO AVOID DISTURBANCE TO EXISTING TREES, EARTHWORKS WILL BE MODIFIED AS DIRECTED ON-SITE BY THE SUPERINTENDENT.
12. THE LOCATION OF EROSION AND SEDIMENTATION CONTROLS WILL BE DETERMINED ON SITE BY THE SUPERINTENDENT.
13. ACCESS TRACKS THROUGH THE SITE WILL BE LIMITED TO THOSE DETERMINED BY THE SUPERINTENDENT AND THE CONTRACTOR PRIOR TO ANY WORK COMMENCING.
14. ALL SETTING OUT IS THE RESPONSIBILITY OF THE CONTRACTOR PRIOR TO WORKS COMMENCING ON SITE. THE SUPERINTENDENT'S SURVEYOR SHALL PEG ALL ALLOTMENT BOUNDARIES, PROVIDE COORDINATE INFORMATION TO THESE PEGS AND PLACE BENCH MARKS. THE CONTRACTOR SHALL SET OUT THE WORKS FROM AND MAINTAIN THESE PEGS.
15. PLANS ARE MINIMUM REQUIREMENTS AND ARE TO BE USED AS A GUIDE ONLY. EXACT MEASURES USED SHALL BE DETERMINED ON SITE IN CONJUNCTION WITH PROGRAM OF CONTRACTORS WORKS etc.



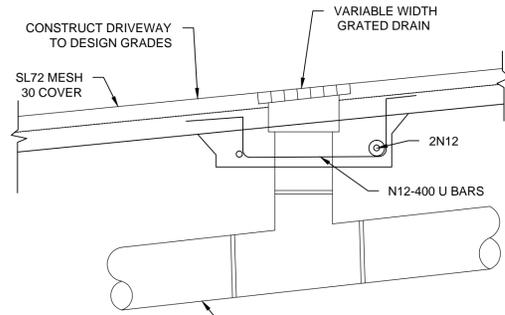
FIELD INLET SEDIMENT TRAP
N.T.S.



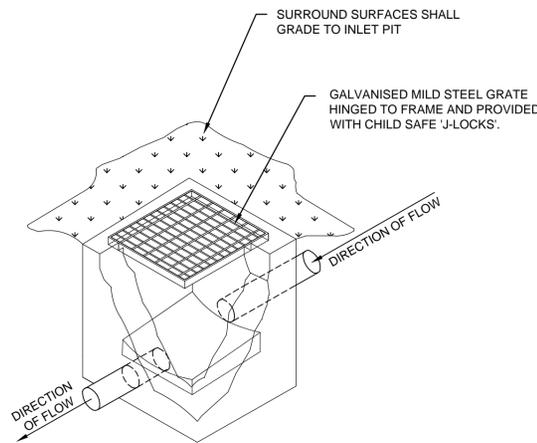
SHAKEDOWN DEVICE
N.T.S.



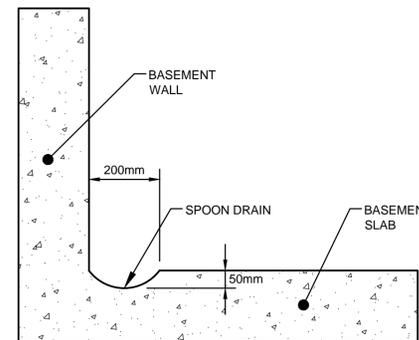
RAINWATER OUTLET DETAIL
N.T.S.



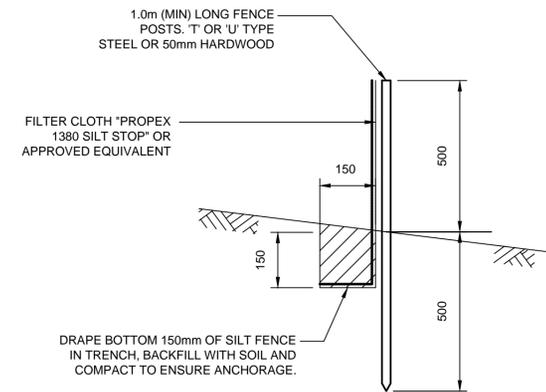
GRATED DRAIN DETAIL
N.T.S.



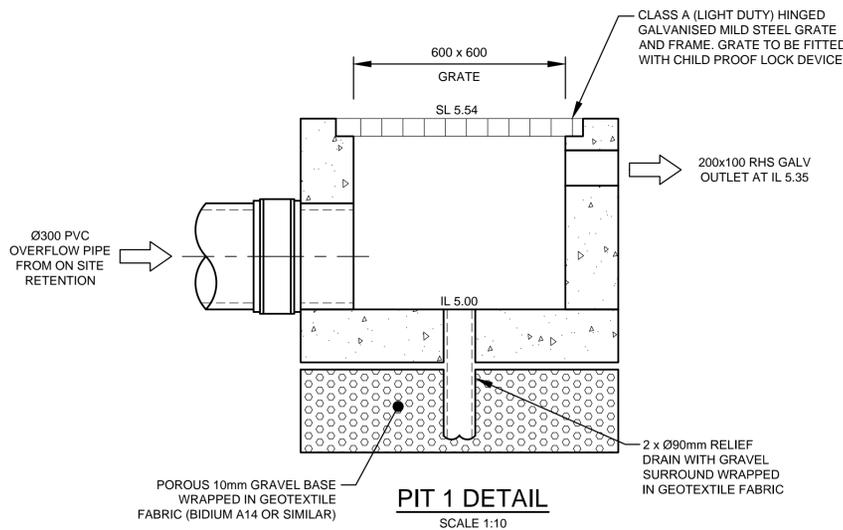
TYPICAL GRATED INLET PIT DETAIL
N.T.S.



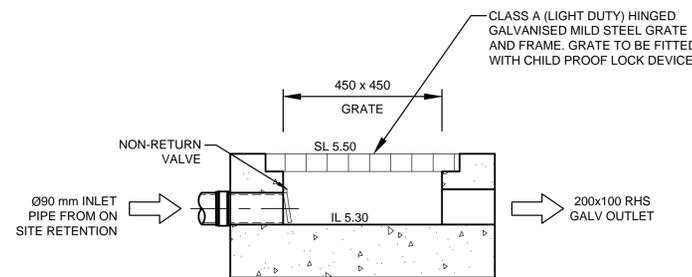
SPOON DRAIN SECTION DETAIL
SCALE 1:10



SILT FENCE DETAIL
N.T.S.



PIT 1 DETAIL
SCALE 1:10



PIT 2 DETAIL
SCALE 1:10

SILT FENCE NOTES:

1. FILTER CLOTH TO BE FASTENED SECURELY TO POSTS WITH GALVANISED WIRE TIES, STAPLES OR ATTACHMENT BELTS.
2. POSTS SHOULD NOT BE SPACED MORE THAN 3.0m APART.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 150mm AND FOLDED.
4. FOR EXTRA STRENGTH TO SILT FENCE, WOVEN WIRE (14mm GAUGE, 150mm MESH SPACING) TO BE FASTENED SECURELY BETWEEN FILTER CLOTH AND POSTS BY WIRE TIES OR STAPLES
5. INSPECTIONS SHALL BE PROVIDED ON A REGULAR BASIS ESPECIALLY AFTER RAINFALL AND EXCESSIVE SILT DEPOSITS REMOVED WHEN 'BULGES' DEVELOP IN SILT FENCE
6. SEDIMENT FENCES SHALL BE CONSTRUCTED WITH SEDIMENT TRAPS AND EMERGENCY SPILLWAYS AT SPACINGS NO GREATER THAN 40m ON FLAT TERRAIN DECREASING TO 20m SPACINGS ON STEEP TERRAIN.

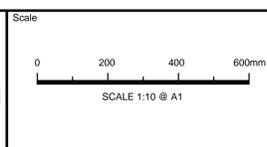
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Project
20 DENISON STREET, NEWCASTLE WEST PROPOSED MULTI-UNIT DEVELOPMENT STORMWATER CONCEPT PLANS SECTION 4.55

Drawing Title MISCELLANEOUS DETAILS SHEET	
Scale As Shown	Project No. 2021305
Dwg. No. 108	Issue A

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 17/05/22 – 20 DENISON STREET NEWCASTLE WEST –
MA2021/00470 - SEC 4.55(2) MODIFICATION TO DA2018/01498 -
SHOP TOP HOUSING - CHANGES TO FLOOR PLANS AND
ELEVATIONS**

ITEM-7 **Attachment B:** Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



NOTICE OF DETERMINATION OF MODIFICATION



05 April 2022

Newcastle Diamond Pty Ltd
73 Dalton Avenue
CONDELL PARK NSW 2200

Dear Sir/Madam

Modification Application No:	MA2021/00470
Development Application No:	DA2018/01498
Land:	Lot 45 DP 632876
Property Address:	20 Denison Street Newcastle West NSW 2302
Development:	Demolition of structures, erection of a twenty (20) storey mixed use development

Your application of 29 November 2021 has been considered, pursuant to the provisions of Section 4.55 of the Act. The application has been **Approved** and the details of development consent granted by Council as per Notice of Determination dated 26 August 2019 are hereby modified, as specifically outlined in the modification details below and in the modified Notice of Determination that follows.

MODIFICATION DETAILS

A. Amended conditions

1. The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Basement Floor Plan	A-100 Rev. B	Tonkin Zulaikha Greer	04/03/2022
Ground Floor Plan	A-101 Rev. C	Tonkin Zulaikha Greer	30/03/2022
Mezzanine Floor Plan	A-102 Rev. B	Tonkin Zulaikha Greer	30/03/2022
First Floor Plan	A-103 Rev. B	Tonkin Zulaikha Greer	30/03/2022

Second Floor Plan	A-104 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Third Floor Plan	A-105 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Typical Lower Floor (L4-7)	A-106 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Typical Upper Floor (L8-17)	A-107 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 18 Floor Plan	A-108 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 19 Floor Plan	A-109 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 20 Floor Plan	A-110 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Roof Plan	A-111 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Elevations 01	A-201 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Elevations 02	A-202 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Sections	A-301 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Landscape Concept 2 nd Floor	E522_LP_01 Revision D	CPS	12/11/2021
Landscape Concept 3 rd Floor	E522_LP_02 Revision D	CPS	12/11/2021
Landscape Concept 8 th Floor	E522_LP_03 Revision D	CPS	12/11/2021
Landscape Concept 19 th Floor	E522_LP_04 Revision D	CPS	12/11/2021
Landscape Concept 20 th Floor	E522_LP_05 Revision D	CPS	12/11/2021
Landscape Elevations 01	E522_LP_06 Revision D	CPS	12/11/2021
Landscape Elevations 02	E522_LP_07 Revision D	CPS	12/11/2021
Planting Plan 2 nd Floor	E522_LP_10 Revision D	CPS	12/11/2021
Planting Plan 3 rd Floor	E522_LP_11 Revision D	CPS	12/11/2021
Planting Plan 8 th Floor	E522_LP_12 Revision D	CPS	12/11/2021
Planting Plan 19 th Floor	E522_LP_13 Revision D	CPS	12/11/2021
Planting Plan 20 th Floor	E522_LP_14 Revision D	CPS	12/11/2021
Landscape Specification, Maintenance Program & Details	E522_LP_15 Revision D	CPS	12/11/2021
Stormwater Concept Plan Basement level Sheet 1 of 2	Dwg. 101 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan Basement level Sheet 2 of 2	Dwg. 102 Issue A	Telford Civil	12/11/2021

Stormwater Concept Plan Ground Floor	Dwg. 103 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan Mezzanine Floor Plan	Dwg. 104 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan First Floor Plan	Dwg. 105 Issue A	Telford Civil	12/11/2021
On-Site Retention With Sand Filter Details And Calculations 1 Of 2	Dwg. 106 Issue A	Telford Civil	12/11/2021
On-Site Retention With Sand Filter Details And Calculations 2 Of 2	Dwg. 107 Issue A	Telford Civil	12/11/2021
Preliminary Site Investigation	E23099.E01.Rev.01	Eiaustralia	12 December 2018
Remediation Action Plan	E23099.E06.Rev.1	Eiasustralia	12 December 2018
Traffic Impact Assessment	n/a	Ptc	15 November 2021
BASIX Certificate	1257641M_02	Thermal Environmental Engineering	16 November 2021
Statement of Heritage Impact	7206171	Tonkinzulaikhag reer	29 November 2021

4. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Element 7.06 'Stormwater' of Newcastle Development Control Plan 2012, the associated Technical Manual and the latest issue of AS 3500.3 as applicable, generally as indicated on the stormwater management concept plan prepared by Telford Civil (Job No. 2021305, dated 12/11/2021). Overflows from the proposed retention/reuse tank in the basement must be piped directly to the Denison Street kerb and gutter. Full details are to be included in documentation for a Construction Certificate.

B. Additional condition/s

- 14a Working drawings and specifications of the proposed building are to be submitted to the NSW Mine Subsidence Board for approval prior to an application for a Construction Certificate and any requirements of the Board are to be included in the documentation for a Construction Certificate application.
- 47a. A total monetary contribution of \$999,451.20 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the Environmental Planning and Assessment Act 1979, such contribution to be payable prior to the issue of the first occupation certificate in respect of the proposed development.
- 14b. Five visitor car parking spaces are to be provided with electric vehicle charging points and associated electric circuitry in accordance with the relevant Australian Standard AS/NZS 3000. Details of the charging points location and design are to be included within documentation for any Construction Certificate.

Note:

- i) This condition is imposed in accordance with the provisions of the City of Newcastle's Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019.

- ii) The City of Newcastle's Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019 permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.
- iii) Certifiers are required to obtain documentation from City of Newcastle confirming the payment of infrastructure contributions prior to the issuing of an occupation certificate.
- iv) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approximate release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

C. Deleted Condition/s

- 2. A total monetary contribution of \$829,290.00 is to be paid to City of Newcastle, pursuant to Section 94A of the Environmental Planning and Assessment Act 1979, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.

Note:

- a) This condition is imposed in accordance with the provisions of The City of Newcastle S94A Development Contributions Plan 2009 (updated version operational from 15 March 2011). A copy of the plan may be inspected at City of Newcastle's Customer Enquiry Centre, 8.30 am to 5.00 pm, excluding public holidays.
- b) The City of Newcastle S94A Development Contributions Plan 2009 permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement. Refer to the s94A Development Contributions Plan 2009.
- c) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at

regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and as a guide, these approximate dates are provided below. Indexation quarters from the ABS are as follows:

Indexation quarters	Approx. release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

Review of Determination:

- (i) You have the right to request a review of this determination under the Environmental Planning and Assessment Act 1979 provided that this determination is not made in respect of designated or crown development. The determination cannot be reviewed after a 12 month time period, from the date of determination or after an appeal to the Land and Environment Court is disposed of by the Land and Environment Court. To comply with these time frames any request for a review should be promptly made to Council.

Rights of Appeal:

- (ii) If you are dissatisfied with the determination of Council you may appeal to the Land and Environment Court within 12 months after the date on which you receive notice of the determination of the application or review. Otherwise the right to appeal is exercisable in accordance with the rules of the Land and Environment Court.

If you are considering exercising your rights of appeal or lodging a request for a review, it may be advisable to obtain legal advice regarding the interpretation of your rights in relation to such matters.

Gareth Simpson
SENIOR DEVELOPMENT OFFICER

Date of Determination



MODIFIED NOTICE OF DETERMINATION

Modified Application No: MA2021/00470

SCHEDULE 1

APPROVED DOCUMENTATION

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Basement Floor Plan	A-100 Rev. B	Tonkin Zulaikha Greer	04/03/2022
Ground Floor Plan	A-101 Rev. C	Tonkin Zulaikha Greer	30/03/2022
Mezzanine Floor Plan	A-102 Rev. B	Tonkin Zulaikha Greer	30/03/2022
First Floor Plan	A-103 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Second Floor Plan	A-104 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Third Floor Plan	A-105 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Typical Lower Floor (L4-7)	A-106 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Typical Upper Floor (L8-17)	A-107 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 18 Floor Plan	A-108 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 19 Floor Plan	A-109 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Level 20 Floor Plan	A-110 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Roof Plan	A-111 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Elevations 01	A-201 Rev. B	Tonkin Zulaikha Greer	30/03/2022
Elevations 02	A-202 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Sections	A-301 Rev. A	Tonkin Zulaikha Greer	12/11/2021
Landscape Concept 2 nd Floor	E522_LP_01 Revision D	CPS	12/11/2021
Landscape Concept 3 rd Floor	E522_LP_02 Revision D	CPS	12/11/2021

Landscape Concept 8 th Floor	E522_LP_03 Revision D	CPS	12/11/2021
Landscape Concept 19 th Floor	E522_LP_04 Revision D	CPS	12/11/2021
Landscape Concept 20 th Floor	E522_LP_05 Revision D	CPS	12/11/2021
Landscape Elevations 01	E522_LP_06 Revision D	CPS	12/11/2021
Landscape Elevations 02	E522_LP_07 Revision D	CPS	12/11/2021
Planting Plan 2 nd Floor	E522_LP_10 Revision D	CPS	12/11/2021
Planting Plan 3 rd Floor	E522_LP_11 Revision D	CPS	12/11/2021
Planting Plan 8 th Floor	E522_LP_12 Revision D	CPS	12/11/2021
Planting Plan 19 th Floor	E522_LP_13 Revision D	CPS	12/11/2021
Planting Plan 20 th Floor	E522_LP_14 Revision D	CPS	12/11/2021
Landscape Specification, Maintenance Program & Details	E522_LP_15 Revision D	CPS	12/11/2021
Stormwater Concept Plan Basement level Sheet 1 of 2	Dwg. 101 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan Basement level Sheet 2 of 2	Dwg. 102 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan Ground Floor	Dwg. 103 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan Mezzanine Floor Plan	Dwg. 104 Issue A	Telford Civil	12/11/2021
Stormwater Concept Plan First Floor Plan	Dwg. 105 Issue A	Telford Civil	12/11/2021
On-Site Retention With Sand Filter Details And Calculations 1 Of 2	Dwg. 106 Issue A	Telford Civil	12/11/2021
On-Site Retention With Sand Filter Details And Calculations 2 Of 2	Dwg. 107 Issue A	Telford Civil	12/11/2021
Preliminary Site Investigation	E23099.E01.Rev.01	Eiaustralia	12 December 2018
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Traffic Impact Assessment	n/a	Ptc	15 November 2021
BASIX Certificate	1257641M_02	Thermal Environmental Engineering	16 November 2021
Statement of Heritage Impact	7206171	Tonkinzulaikhag reer	29 November 2021

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

- ~~2. A total monetary contribution of \$829,290.00 is to be paid to City of Newcastle, pursuant to Section 94A of the Environmental Planning and Assessment Act 1979, such contribution to be payable prior to the issue of a Construction Certificate in respect of the proposed development.~~

Note:

~~a) This condition is imposed in accordance with the provisions of The City of Newcastle S94A Development Contributions Plan 2009 (updated version operational from 15 March 2011). A copy of the plan may be inspected at City of Newcastle's Customer Enquiry Centre, 8.30 am to 5.00 pm, excluding public holidays.~~

~~b) The City of Newcastle S94A Development Contributions Plan 2009 permits deferred or periodic payment of levies in certain circumstances. A formal modification of this condition will be required to enter into a deferred or periodic payment arrangement. Refer to the s94A Development Contributions Plan 2009.~~

~~c) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.~~

~~CPI quarterly figures are released by the ABS on a date after the indexation quarter and as a guide, these approximate dates are provided below. Indexation quarters from the ABS are as follows:~~

Indexation quarters	Approx. release date
September	Late October
December	Late January
March	Late April
June	Late July

~~Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.~~

3. All proposed driveways, parking bays, loading bays and vehicular turning areas are to be constructed with a basecourse of adequate depth to suit design traffic, being sealed with either bitumen seal, asphaltic concrete, concrete or interlocking pavers and being

properly maintained. Full details are to be included in documentation for a Construction Certificate application.

4. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Element 7.06 'Stormwater' of Newcastle Development Control Plan 2012, the associated Technical Manual and the latest issue of AS 3500.3 as applicable, generally as indicated on the stormwater management concept plan prepared by Telford Civil (Job No. 2021305, dated 12/11/2021). Overflows from the proposed retention/reuse tank in the basement must be piped directly to the Denison Street kerb and gutter. Full details are to be included in documentation for a Construction Certificate.
5. All proposed planting and landscape elements indicated on the submitted landscape concept plan or otherwise required under the conditions of this consent are required to be detailed on a landscape plan and specification. The plan and specifications is to be prepared in accordance with the provisions of Newcastle Development Control Plan 2012 and is to include details of the following:
 - a) cross sections through the site where appropriate
 - b) proposed contours or spot levels
 - c) botanical names
 - d) quantities and container size of all proposed trees
 - e) shrubs and ground cover
 - f) details of proposed soil preparation
 - g) mulching and staking
 - h) treatment of external surfaces and retaining walls where proposed
 - i) drainage, location of taps and
 - j) appropriate maintenance periods.

The plan is to be prepared by a qualified landscape designer and be included in documentation for a Construction Certificate application.

6. The car park is to be designed to comply with AS/NZS 2890.1:2004 - Parking facilities - Off-street car parking and AS/NZS 2890.6:2009 - Parking facilities - Off-street parking for people with disabilities. Details are to be included in documentation for a Construction Certificate application.
7. The applicant is to comply with all requirements of the Hunter Water Corporation regarding the connection of water supply and sewerage services, including the payment of any required cash contribution towards necessary amplification of service mains in the locality as a result of the increased intensity of land use proposed. A copy of the Corporation's compliance certificate (refer s50 *Hunter Water Act 1991*) is to be included in documentation for a Construction Certificate application.
8. Adequate facilities are to be provided within an adequately screened location, for the

storage of garbage. Full details are to be included in documentation for a Construction Certificate application.

9. A group type mailbox is to be provided at the street frontage in accordance with the requirements of Australia Post, clearly displaying individual unit numbers and the required house number. Full details are to be included in the documentation for a Construction Certificate application.
10. A commercial vehicular crossing is to be constructed across the road reserve, in accordance with the following criteria:
 - a) Constructed in accordance with City of Newcastle's A1300 – Driveway Crossings Standard Design Details.
 - b) The driveway crossing, within the road reserve, shall be a maximum of 6 metres wide.
 - c) Letterboxes, landscaping and any other obstructions to visibility should be kept clear of or limited in height to 1.2 metre, in the 2 metre by 2.5 metre splay within the property boundary each side of the driveway entrance.
 - d) The proposed driveway shall be a minimum of 3 metres clear of the trunk of any tree within the public reserve.
 - e) The proposed driveway shall be a minimum of 750mm clear of the centre of any pole or obstruction within the public reserve and 1 metre clear of any drainage pit.

These works are not approved until consent under Section 138 of the Roads Act 1993 (NSW) has been granted by City of Newcastle. An application under Section 138 must be lodged and consent obtained, or other satisfactory arrangements confirmed in writing from City of Newcastle, before the issue of a Construction Certificate.

11. A separate application must be lodged and consent obtained from City of Newcastle for all works within the road reserve pursuant to Section 138 of the *Roads Act 1993 (NSW)*, before the issue of a Construction Certificate. The consent must be obtained, or other satisfactory arrangements confirmed in writing from City of Newcastle, before the issue of a Construction Certificate.
12. The Developer designing and constructing the following works in connection with the proposed development within the Denison Street public road reserve, adjacent to the site, at no cost to City of Newcastle and in accordance with City of Newcastle's guidelines and design specifications:
 - a) Road shoulder pavement
 - b) Kerb and gutter replacement
 - c) New driveway crossing
 - c) Full width foot paving
 - d) Associated drainage works
 - e) Linemarking and signposting for new parking spaces

Engineering design plans and specifications for the works being undertaken within the public road reserve are required to be prepared by a suitably qualified practising civil engineer with experience and competence in the related field and submitted to City of Newcastle for approval pursuant to Section 138 of the *Roads Act 1993*. The consent must be obtained, or other satisfactory arrangements confirmed in writing from City of Newcastle, before the issue of a Construction Certificate.

13. Prior to the issue of a Construction Certificate, the proponent is to prepare and submit to the Principal Certifying Authority and City of Newcastle an Environmental Management Plan (EMP) for construction/demolition works on the site, which is to be kept on site and made available to authorised City of Newcastle officers upon request. The EMP is to include but not be limited to:
- a. A site management strategy, identifying and addressing issues such as environmental health and safety, site security, and traffic management.
 - b. A water management strategy, detailing erosion and sediment control, management of soil stockpiles, control and management of surface water, groundwater and process water. Procedures should also be included to ensure that all roads adjacent to the site are kept free and clear from mud and sediment.
 - c. A dust management strategy, detailing procedures to minimise dust generation, with reference to control techniques and operational limits under adverse meteorological conditions. This strategy should be cross-referenced with the water management strategy
 - d. A soil management strategy, detailing measures to be implemented to manage the identification and control and disposal of any acid sulphate soils or soil contamination identified during site works.
 - e. A noise and vibration management program detailing measures to minimise the impact of the construction phase on the amenity of the locality in accordance with Australian Standard AS 2436. 2010 (*Guide to Noise and Vibration control on Construction, Demolition and Maintenance Sites*).
 - f. A waste minimisation strategy, which aims to avoid production of waste and maximise reuse, recycling or reprocessing of potential waste material.
 - g. A community relations plan, which aims to inform residents and other local stakeholders of the proposed nature and timeframes for demolition and construction activities together with contact details for site management.
14. A public art feature shall be designed for the site in consultation with Newcastle City Council and the Design Excellence Panel. The public artwork is to have a minimum value of 1% (\$276,430.00) of the capital cost of the development.

This feature shall provide visual interest for pedestrians and interpret or reflect the local setting, landscape setting and/or cultural setting of the Newcastle area. The feature shall be designed to ensure long-term durability and be resistant to vandalism. Details shall be approved by Council prior to issue of the Construction Certificate, including details of the costs of such works. The applicant is advised to liaise with Council during the design stages.

- 14a. Working drawings and specifications of the proposed building are to be submitted to the NSW Mine Subsidence Board for approval prior to an application for a Construction Certificate and any requirements of the Board are to be included in the documentation for a Construction Certificate application.
- 14b. Five visitor car parking spaces are to be provided with electric vehicle charging points and associated electric circuitry in accordance with the relevant Australian Standard AS/NZS 3000. Details of the charging points location and design are to be included within documentation for any Construction Certificate.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

15. An assessment of the likelihood of the presence of any Aboriginal sites in relation to the proposed development area is to be undertaken to comply with the requirements of the *National Parks and Wildlife Act 1974* and the significance and requirements for the protection of any sites being incorporated into the documentation for a Construction Certificate application. Written confirmation that the National Parks and Wildlife Service's requirements have been met shall be submitted to City of Newcastle prior to engineering works commencing. Any submitted archaeological study shall be accompanied by a letter from the appropriate Local Aboriginal Land City of Newcastle stating that they are satisfied with the study process and that appropriate arrangements are in place for continued consultation during development of the site.

Note: It is illegal to knowingly damage, deface or destroy a 'relic' or Aboriginal Place without the Director's prior written consent.

16. Any demolition/waste building materials that are not suitable for recycling are to be disposed of at City of Newcastle's Summerhill Waste Management Facility or other approved site.
17. The removal of any asbestos material during the demolition phase of the development is to be in accordance with the requirements of the SafeWork NSW.
18. Any excavated material to be removed from the site is to be assessed, classified, transported and disposed of in accordance with the Department of Environment and Climate Change's '*Waste Classification Guidelines Part 1: Classifying Waste*'.
19. Any fill material imported into the site is to be Virgin Excavated Natural Material or material subject to a Resource Recovery Order that is permitted to be used as a fill material under the conditions of the associated Resource Recovery Exemption, in accordance with the provisions of the *Protection of the Environment Operations Act 1997* and the *Protection of the Environment (Waste) Regulation 2014*.
20. Documentation demonstrating the compliance with the conditions of the appropriate Resource Recovery Order and Resource Recovery Exemption must be maintained for any material received at the site and subsequently applied to land under the conditions of the Resource Recovery Order and Exemption. This documentation must be provided to City of Newcastle officers or the Principal Certifying Authority on request.
21. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
22. All necessary measures are to be undertaken to control dust pollution from the site. These measures must include, but not are limited to:
 - a) Restricting topsoil removal
 - b) Regularly and lightly watering dust prone areas (note: prevent excess watering as

it can cause damage and erosion

- c) Alter or cease construction work during periods of high wind and
 - d) Erect green or black shade cloth mesh or similar products 1.8m high around the perimeter of the site and around every level of the building under construction.
23. During construction works, an assessment of acid sulfate soil potential is to be undertaken in the area of excavation. If acid sulfate soils are found to be present, soils are to be treated in accordance with the New South Wales Acid Sulfate Soil Management Advisory Committee's '*Acid Sulfate Soil Manual*'.
24. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
25. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with Australian Standard 2601:2001 - The Demolition of Structures. A copy of the Hazardous Substances Management Plan is to be provided to City of Newcastle (marked to Attention: Compliance Services) and the demolisher prior to commencement of work.
26. The demolition works are to be undertaken in accordance with Australian Standard 2601:2001 - The Demolition of Structures and the following requirements:
- a) Demolition works shall be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan shall be kept on-site for the duration of the proposed development
 - b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the appropriate class of Asbestos Licence, issued by the SafeWork NSW
 - c) A copy of all waste disposal receipts are to be kept on-site for the duration of the proposed development and made available to authorised City of Newcastle Officers upon request
 - d) Seven working days' notice in writing is to be given to City of Newcastle and the owners/occupiers of neighbouring premises prior to the commencement of any demolition works. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises shall also include City of Newcastle's contact telephone number (49742000) and the SafeWork NSW telephone number (49212900) and

- e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
27. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
28. Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Note: Where this is not feasible, application must be made for City of Newcastle's approval to position the container on the adjacent public road in accordance with City of Newcastle's adopted Building Waste Container Policy.

29. All demolition material incapable of being re-used in future redevelopment of the site is to be removed from the site and the site being cleared and levelled.

Note: Where reusable building materials are to be stored on site for use in future building works, such materials are to be neatly stacked at least 150 mm above the ground.

30. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.

31. Waste management shall be implemented in accordance with the approved Waste Management Plan. At a minimum, the following measures shall be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste;
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
- c) Appropriate provision is to be made to prevent windblown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

32. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
- a) showing the name, address and telephone number of the Principal Certifying Authority for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor for any

building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and

- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, but must be removed when the work has been completed.

- 33. All excavations and backfilling are to be executed safely in accordance with appropriate professional standards and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
- 34. All building materials, plant and equipment is to be placed on the site of the development so as to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves including the road reserve is not permitted.
- 35. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
- 36. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

- 37. City of Newcastle's 'PREVENT POLLUTION' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary so it is clearly visible to the public or at other locations on the site as otherwise directed by City of Newcastle for the duration of demolition and construction work.

Note: City of Newcastle's 'PREVENT POLLUTION' sign can be obtained by presenting your development application receipt at CN's Customer Enquiry Counter.

- 38. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the '*Blue Book*') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
- 39. Where the proposed development involves the destruction or disturbance of any existing survey monuments, those monuments affected are to be relocated at no cost to City of Newcastle by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
- 40. All public trees that are required to be retained must be physically protected in accordance with the City of Newcastle Urban Forest Technical Manual '*Section 8.0*

Protection Measures

The tree protection fencing must remain in place and maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

41. All building work must be carried out in accordance with the provisions of the National Construction Code.
42. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force in accordance with Part 6 of that Act, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
43. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided and adequate provision must be made for drainage.
44. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to City of Newcastle requirements, in accordance with Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012.
45. The proposed visitor parking bays are to be clearly indicated by means of signs and/or pavement markings.
46. Prior to the commencement of work, a 3m wide all weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand shall not be stockpiled on the all weather vehicle access.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

47. Appropriate acoustic treatment is to be implemented in accordance with the recommendations set out in the report prepared by Reverb Acoustics, dated 17 December 2018. Written final certification confirming the recommended acoustic treatment has been implemented in accordance with the requirements of the above report is to be submitted to the Principal Certifying Authority and City of Newcastle prior to the issue of an Occupation Certificate.

Note: The acoustic consultant may need to be involved during the construction process in order to ensure final certification is achieved.

- 47a. A total monetary contribution of \$999,451.20 is to be paid to the City of Newcastle, pursuant to Section 7.12 of the Environmental Planning and Assessment Act 1979, such contribution to be payable prior to the issue of the first occupation certificate in respect of the proposed development.

Note:

i) This condition is imposed in accordance with the provisions of the City of Newcastle's Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019.

ii) The City of Newcastle's Section 7.12 Newcastle Local Infrastructure Contributions Plan 2019 permits deferred or periodic payment of levies in certain circumstances. A

formal modification of this condition will be required to enter into a deferred or periodic payment arrangement.

iii) Certifiers are required to obtain documentation from City of Newcastle confirming the payment of infrastructure contributions prior to the issuing of an occupation certificate.

iv) The amount of contribution payable under this condition has been calculated on the basis of the current rate as at the date of consent and is based on the most recent quarterly Consumer Price Index (CPI) release made available by the Australian Bureau of Statistics (ABS). The CPI index rate is expected to rise at regular intervals and therefore the actual contribution payable is indexed and recalculated at the CPI rate applicable on the day of payment.

CPI quarterly figures are released by the ABS on a date after the indexation quarter and, as a guide, these approximate dates are as follows:

Indexation quarters	Approximate release date
September	Late October
December	Late January
March	Late April
June	Late July

Any party intending to act on this consent should contact City of Newcastle's Customer Enquiry Centre for determination of the indexed amount of contribution on the date of payment.

48. The proposed remediation work is to be carried out in accordance with the requirements set out in the submitted Remediation Action Plan (RAP) prepared by EI Australia Pty Ltd dated 12 December 2018 and the Newcastle City City of Newcastle Development Control Plan. Details of the work undertaken is to be provided prior to the issue of the Occupation Certificate.
49. Following the implementation of the Remediation Action Plan (RAP), a validation report is to be prepared by a suitably qualified consultant and submitted to City of Newcastle and the Principal Certifying Authority. This report is to be written in accordance with the relevant Environment Protection Authority Guidelines.
50. Appropriate acoustic treatment is to be implemented in accordance with the recommendations set out in the report prepared by Noise Impact Assessment prepared by Reverb Acoustics (RA-R1) dated December 2018 and Letter response to "*Request for Additional Information Denison Street Apartments*" prepared by Reverb Acoustics dated 12 February 2019 (Ref 182238- L2). Written final certification confirming the recommended acoustic treatment has been implemented in accordance with the requirements of the above report is to be submitted to the Principal Certifying Authority and City of Newcastle prior to the issue of an Occupation Certificate.

Note: The acoustic consultant may need to be involved during the construction process in order to ensure final certification is achieved.

51. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a satisfactory state that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any occupation certificate in respect of development involving building work.

52. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate. Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to City of Newcastle within fourteen days of receipt.
53. All works within the road reserve required by this consent are to be completed prior to the issue of a Final Occupation Certificate.
54. Any redundant existing vehicular crossing is to be removed at no cost to City of Newcastle. The road reserve and kerb being restored to, City of Newcastle's satisfaction, to match the existing infrastructure. Works are to be completed prior to the issuing of a Final Occupation Certificate for the proposed development.
55. A copy of the stormwater drainage design plans approved with the Construction Certificate with '*work as executed*' levels indicated, shall be submitted to the Principal Certifying Authority and to the City of Newcastle prior to the issue of an Occupation Certificate. The plans shall be prepared by a Practising Professional Engineer or Registered Surveyor experienced in the design of stormwater drainage systems.
56. A Landscape Practical Completion Report is to be submitted to the Principal Certifying Authority prior to the issue of the Final Occupation Certificate. The report is to verify that all landscape works have been carried out in accordance with the comprehensive landscape design plan and specifications that were required to be included in documentation for a Construction Certificate application and is to verify that an effective maintenance program has been commenced.
57. The premises are to be identified by the provision of house and street numbers on the building exterior and mailbox, respectively, such that they are clearly visible from the road frontage.

The minimum numeral heights shall be:

- a) Exterior of the building = 75mm and
 - b) Group mailbox - street number = 150mm
- house number = 50mm
58. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
 59. A design verification statement from a qualified designer shall be submitted to the Principal Certifying Authority prior to the issue of an Interim or Final Occupation Certificate, whichever occurs first. The statement shall confirm the development has been constructed in accordance with the quality principles set out in Part 2 of *State Environmental Planning Policy No. 65 - Design Quality of Residential Flat Development*.

Note: '*Qualified Designer*' means a person registered as an architect in accordance with the *Architects Act 2003*. This condition is imposed in accordance with Clauses 154A of the *Environmental Planning and Assessment Regulation 2000*.
 60. The public art feature/s is to be installed on site prior to the issue of the Final Occupation

Certificate.

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

61. The use and occupation of the premises is not to give rise to the emission of any 'air impurity' as defined under the *Protection of the Environment Operations Act 1997*, that interferes unreasonably with the amenity of neighbouring premises and/or other sensitive receivers.

Should City of Newcastle consider that unreasonable levels of air impurities have been emitted from the premises, the owner/occupier will be required to engage a suitably qualified consultant to recommend measures to control emissions of air impurities to an acceptable level and such measures being implemented within a nominated time period. Furthermore, written certification from the suitably qualified consultant will be required to be submitted to City of Newcastle confirming that air impurity emissions from the premises do not interfere unreasonably with the amenity of neighbouring premises and/or other sensitive receptors before the expiration of the nominated period.

62. The hours of operation or trading of the premises are to be not more than from:

DAY	START	FINISH
Monday	8:00 am	6.00 pm
Tuesday	8:00 am	6.00 pm
Wednesday	8:00 am	6.00 pm
Thursday	8:00 am	6.00 pm
Friday	8:00 am	6.00 pm
Saturday	9:00 am	3:00 pm
Sunday	No operation	No operation

unless a separate application to vary the hours of operation or trading has been submitted to and approved by City of Newcastle.

63. The use and occupation of the premises, including all plant and equipment installed thereon, is not to give rise to any offensive noise, as defined under the *Protection of the Environment Operations Act 1997*.

Should City of Newcastle consider offensive noise has emanated from the premises, the owner/occupier of the premises will be required to submit an acoustic assessment prepared by a suitably qualified acoustical consultant recommending appropriate acoustic measures necessary to ensure future compliance with this condition and will be required to implement such measures within a nominated period. Furthermore, written certification from the said consultant confirming the recommended acoustic measures have been satisfactorily implemented will be required to be submitted to City of Newcastle prior to the expiration of the nominated period.

ADVISORY MATTERS

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of both City of Newcastle and

any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.

- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice ('on-the-spot fine') or prosecution.
- Any proposed business identification sign or advertising sign should be designed in accordance with the provisions of Newcastle Development Control Plan 2012 and be the subject of a separate Development Application approved prior to erection or placement in position.
- A copy of the final Fire Safety Certificate (together with a copy of the current fire safety schedule) is to be given to the Commissioner of NSW Fire Brigades and a further copy of the Certificate (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.
- An annual Fire Safety Statement in the form described in Clause 175 of the *Environmental Planning and Assessment Regulation 2000* is to be submitted to City of Newcastle and a copy (together with a copy of the current fire safety schedule) is to be given to the Commissioner of New South Wales Fire Brigades. A further copy of the Statement (together with a copy of the current fire safety schedule) is to be prominently displayed in the building.
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development' as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008* are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to the retaining wall taking place.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required of any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Division 6.2 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and City of Newcastle is to be notified of the appointment; and
 - c) City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifying Authority appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Clause 149 of the *Environmental Planning and Assessment*

Regulation 2000.

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012.
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- The proposed height of buildings development standard variation, made under Clause 4.6 of the Newcastle Local Environmental Plan 2012, has been considered and accepted.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of City of Newcastle's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.

ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 17/05/22 – 20 DENISON STREET NEWCASTLE WEST –
MA2021/00470 - SEC 4.55(2) MODIFICATION TO DA2018/01498 -
SHOP TOP HOUSING - CHANGES TO FLOOR PLANS AND
ELEVATIONS**

ITEM-7 **Attachment C:** Processing Chronology

DISTRIBUTED UNDER SEPARATE COVER



PROCESSING CHRONOLOGY

MA2021/00470 – 20 Denison Street, Newcastle West

29 November 2021	-	Modification application lodged
9 December 2021 – 14 January 2022	-	Public Notification Period
7 December 2021	-	Internal referrals commenced: Engineering
17 February 2022	-	Internal referrals received: Engineering
17 February 2022	-	Request for additional information
14 March 2022	-	Internal referral commenced: Waste
15 March 2022	-	Internal referral received: Waste
24 February 2022	-	Response to request for additional information
24 February 2022	-	Urban Design Review Panel meeting
30 March 2022	-	Response to Urban Design Review Panel comments
31 March 2022	-	Further internal referral commenced: Waste
31 March 2022	-	Further internal referral received: Waste
17 May 2022	-	Development Applications Committee meeting