



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 15/09/2020 – DA2020/00378 – 40C GIPPS STREET,  
CARRINGTON – DWELLING HOUSE – ALTERATIONS AND  
ADDITIONS**

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**DAC 15/09/2020 – DA2020/00378 – 40C GIPPS STREET,  
CARRINGTON – DWELLING HOUSE – ALTERATIONS AND  
ADDITIONS**

**ITEM-34      Attachment A:      Submitted Plans**

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**Clear of Hunter Water Assets**

Reference No: HW088558

- Water available for connection
- Sewer available for connection

Date Processed: 07-April-2020

Applicant: Paul McLean/Resolve Urban Planning

Property Location: 40C GIPPS ST CARRINGTON

**PLEASE TAKE INTO CONSIDERATION**

This is not a compliance certificate. This stamp indicates that Hunter Water has undertaken an initial assessment of the proposed development to identify possible impacts to our infrastructure. Conditions of Hunter Water easements apply. For information on Hunter Water's processes please refer to our 'Land Development Manual' on our website or contact us on 1300 657 657.

NEW EXTENSION – 5.3sqm

**CALCULATIONS**

SITE AREA: 248sqm  
EXISTING DWELLING: 66.2sqm

MAX. RIDGE HT: 17.60 ASSUMED  
MIN. FGL: 9.55 ASSUMED  
MAX. HEIGHT ABOVE NGL: 8.05m  
SITE LANDSCAPING AREA: 65sqm  
SITE LANDSCAPING: 26.2% (MIN. 1.5M WIDE)

**NOTES**

ALL TIMBER ROOF & WALL FRAMING TO BE DESIGNED TO AS1684  
TIMBER STRUCTURE CODE FOR THE FOLLOWING DESIGN CRITERIA:-  
WIND SPEED N2  
TERRAIN CATEGORY 2.5  
REGION A  
PARTIAL SHIELDING  
SITE CLASSIFICATION TO BE CLASS 'h'.

- Note:
- DRAWINGS FOR CONSTRUCTION PURPOSES WHEN STRUCTURAL ENGINEER
  - AND ALL ELEMENTS CHECKED TO COMPLY WITH THE BCA AND RELEVANT AS BY BUILDER OR ACCREDITED CERTIFIER ALL NEW WORKS TO ADHERE TO THE BCA AND CURRENT AUSTRALIAN STANDARDS
  - NOTE- DIMENSIONS ARE TAKEN FROM EXISTING DWELLING, VERIFY DIMENSIONS ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION
  - ENSURE STAIR DETAILS CONFIRMED PRIOR TO MANUFACTURE
  - DO NOT SCALE DRAWINGS

NO ADDITIONAL FSR AREAS

ADDITIONAL ROOF AREA – 22.0sqm

ALL NEW DOWNPIPES TO BE CONNECTED TO EXISTING

NOTE- DIMENSIONS ARE TAKEN FROM EXISTING DWELLING, VERIFY DIMENSIONS ON SITE BEFORE COMMENCEMENT OF CONSTRUCTION

SITE CONSIDERED LEVEL FOR CONSTRUCTION PURPOSES

proprietor  
DEREK  
LOT 5, Dp1005778, 40C GIPPS STREET  
CARRINGTON

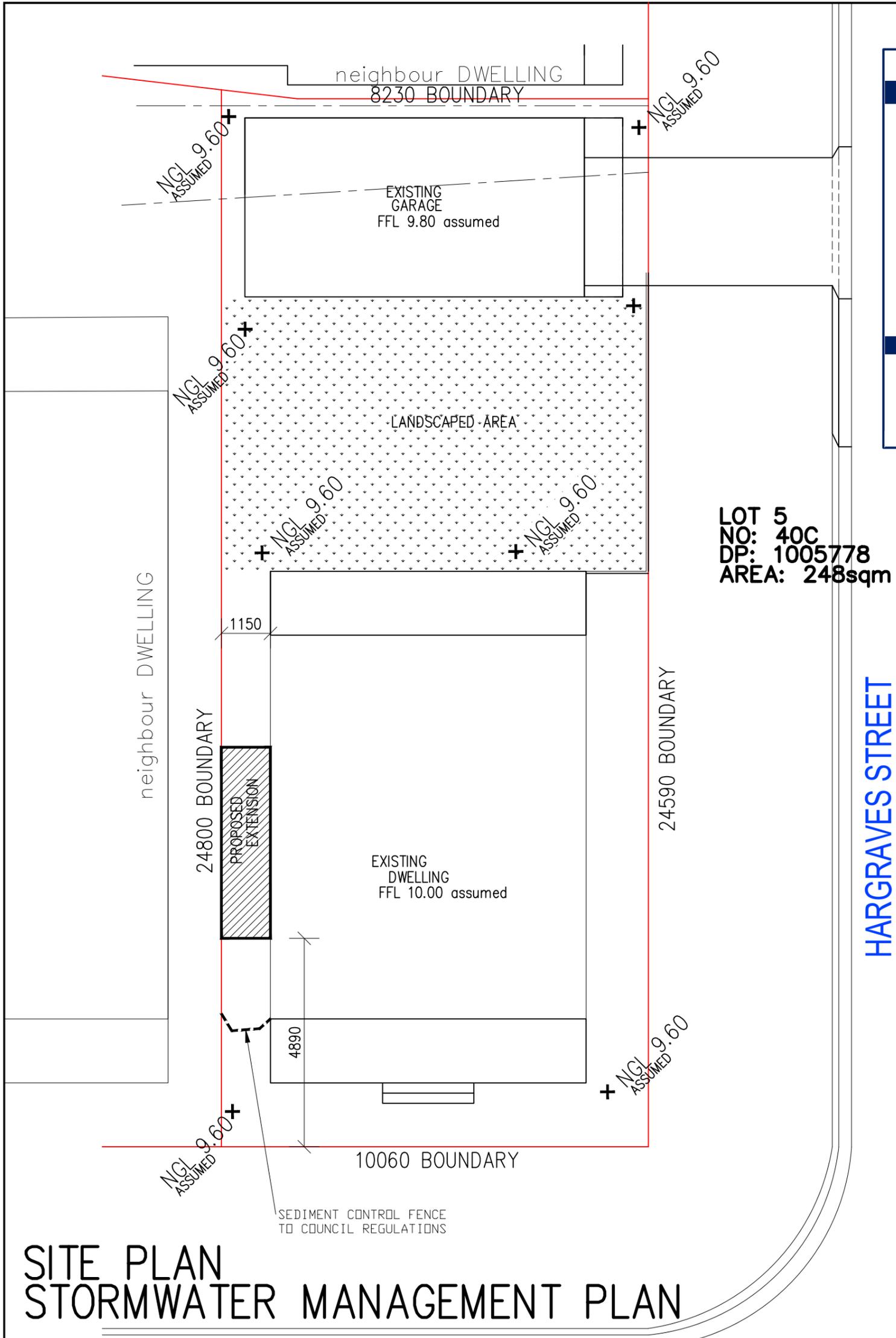
project  
proposed  
EXTENSION

drawing  
SITE PLAN

all dimensions to be clarified on site

scale 1:200, 1:100	date DEC'17	drawn by jdc
© copyright	drawing no. 10F5	project no. 17180272

AMEND 31.03.20  
AMEND 21.05.18

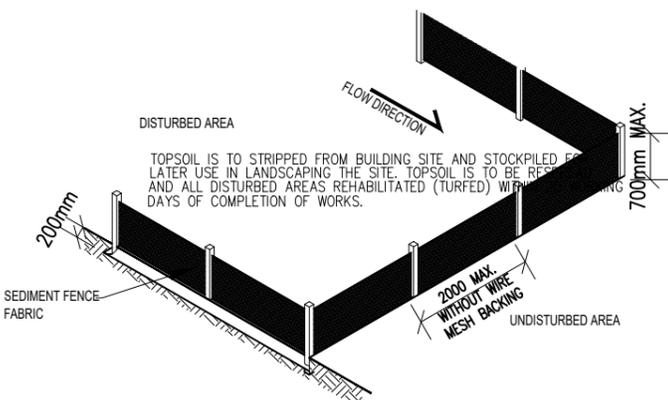


LOT 5  
NO: 40C  
DP: 1005778  
AREA: 248sqm

HARGRAVES STREET

GIPPS STREET

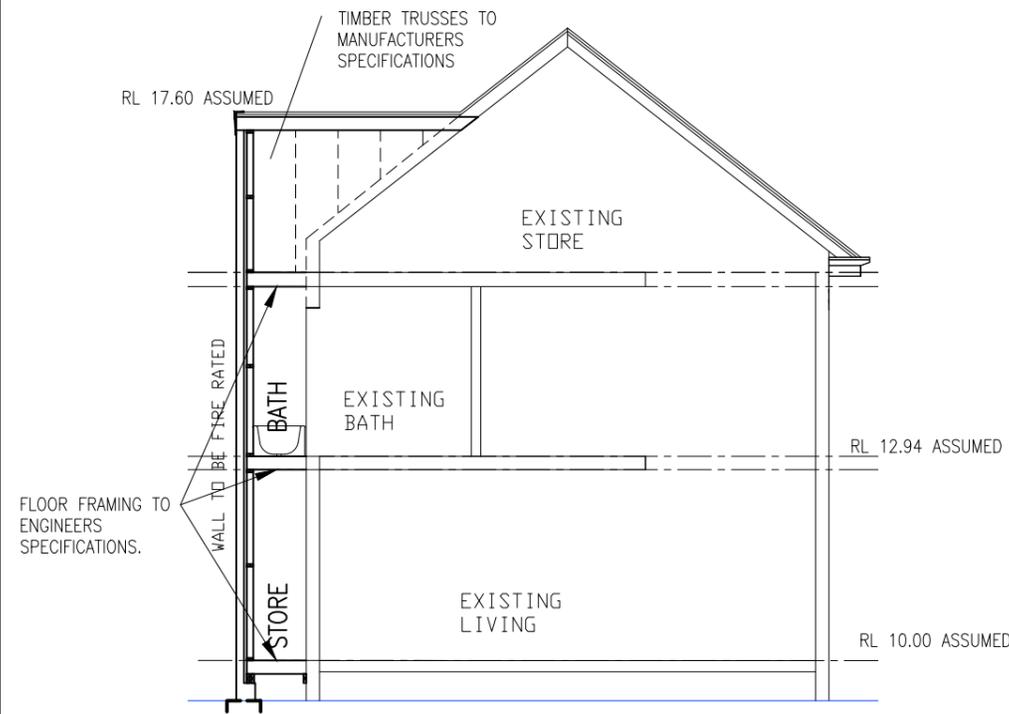
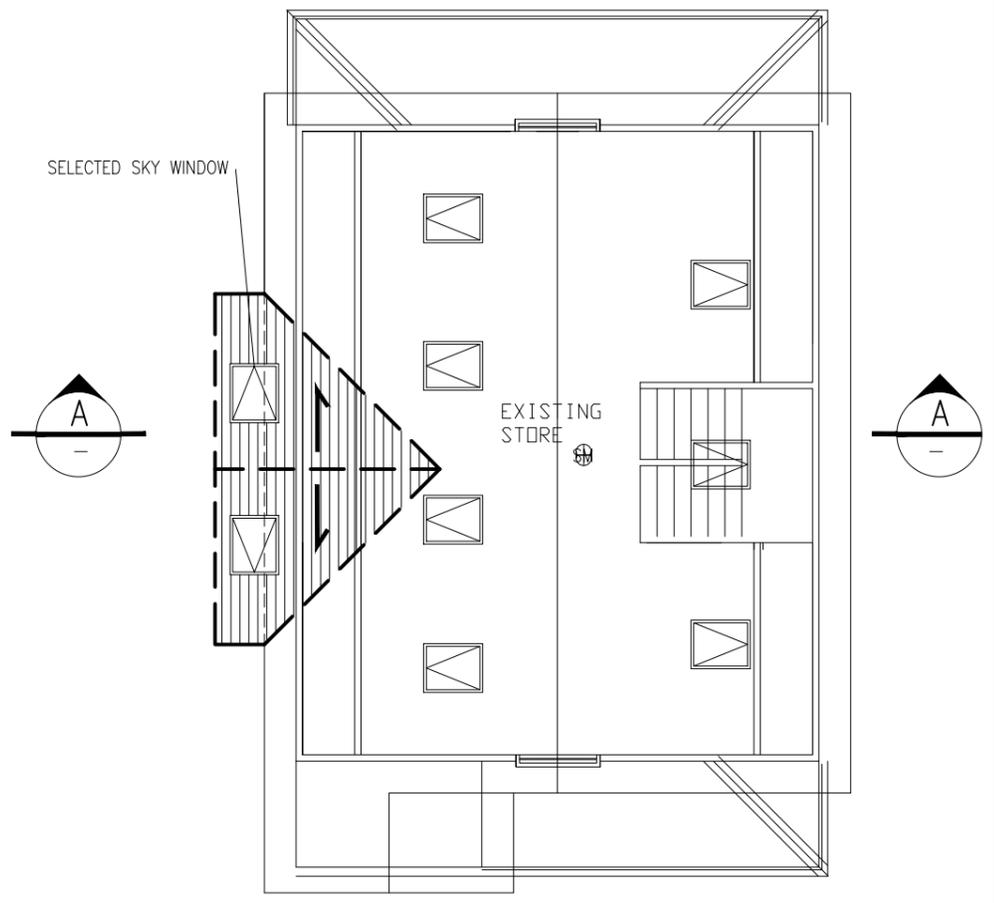
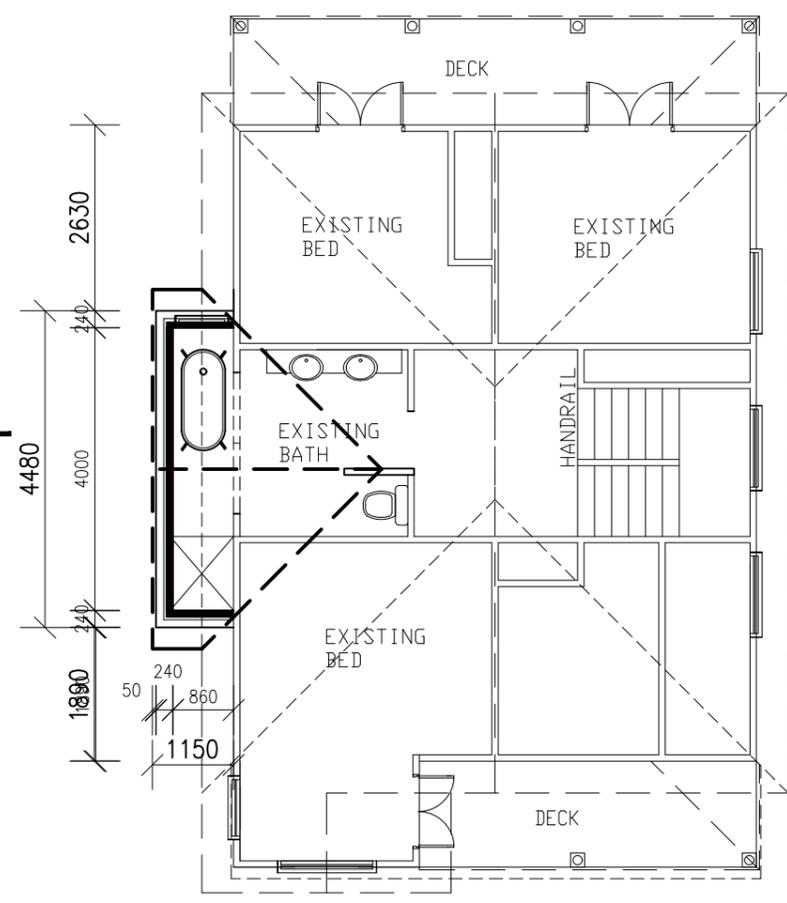
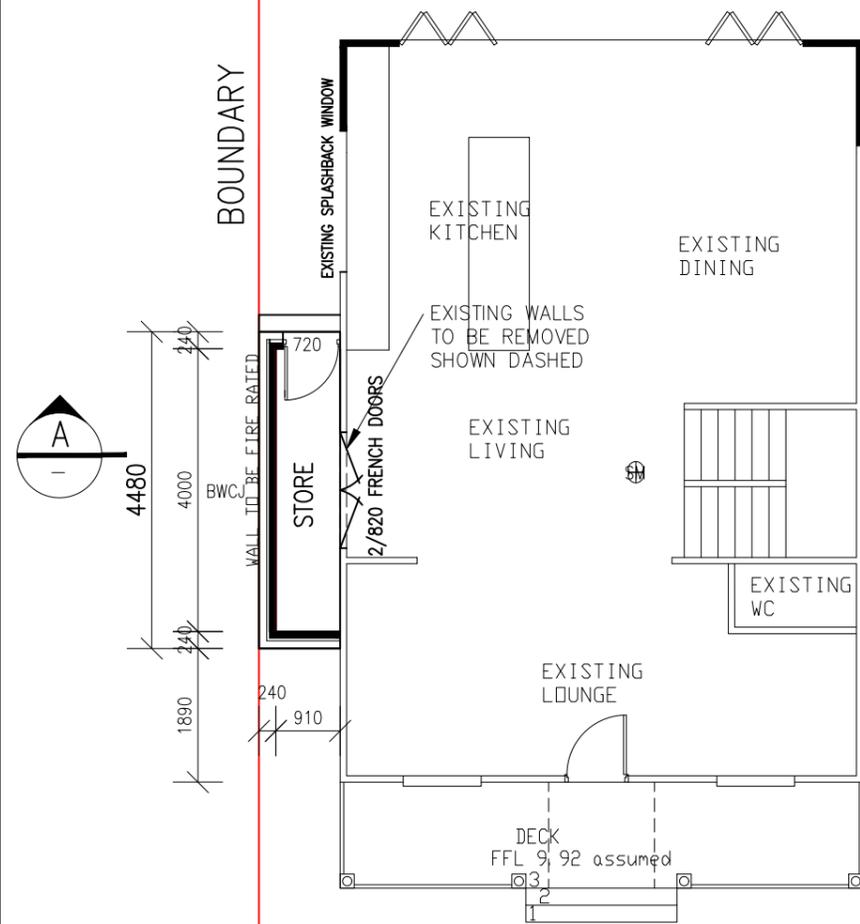
# SITE PLAN STORMWATER MANAGEMENT PLAN



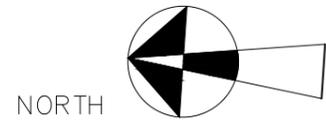
## SEDIMENT CONTROL FENCE

ALL SEDIMENTATION CONTROLS ARE TO BE CHECKED DAILY (AT A MINIMUM WEEKLY) AND AFTER ALL RAIN EVENTS. ALL STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY TO ENSURE THEY ARE MAINTAINED IN FULL FUNCTIONAL CONDITION.





SHADOW DIAGRAMS FOR TRUE NORTH SHOWN AT 22ND JUNE USING SHADOWDRAW PROGRAM SHOW NEW SHADOWS ONLY FALLING ON EXISTING DWELLING



- NOTES**
- ⊕ SMOKE DETECTOR
  - ⊞ LIFT OFF HINGE
  - BWCJ BRICK CONTROL JOINT
  - ⬠ MECHANICAL EXHAUST
  - KITCHEN LAYOUT TO SEPARATE MANUFACTURES DETAILED DRAWINGS.

proprietor  
DEREK  
LOT 5 , Dp1005778 , 40C GIPPS STREET  
CARRINGTON

project  
proposed  
EXTENSION

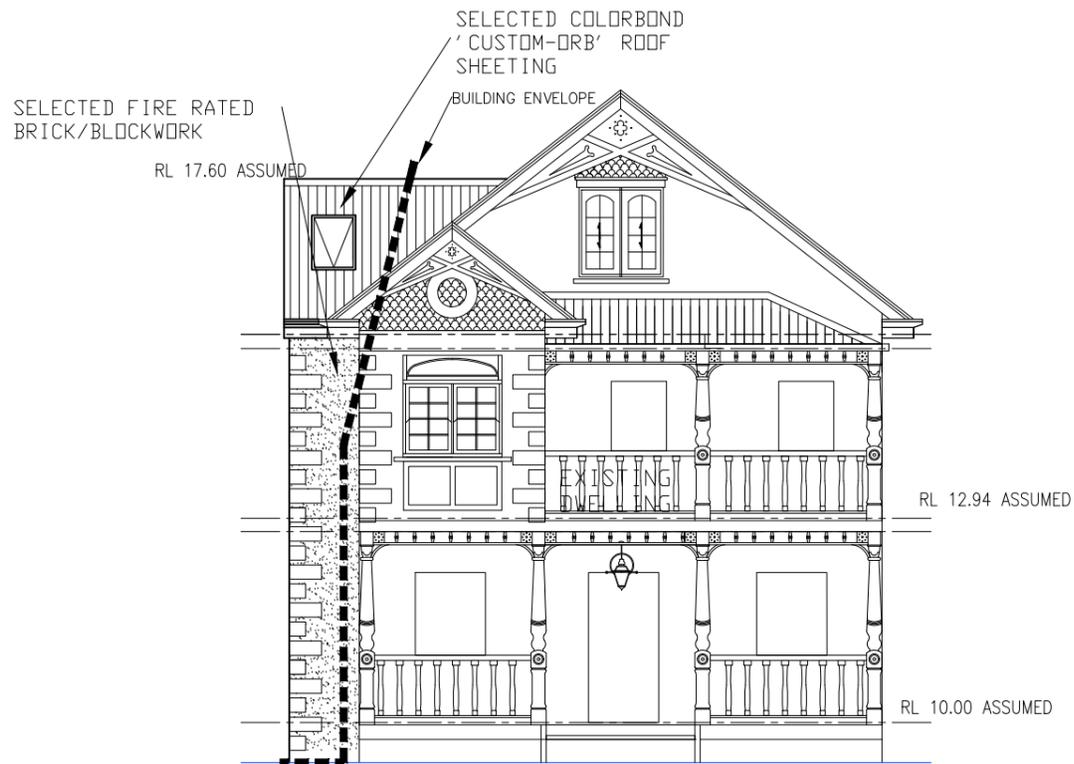
drawing  
FLOOR PLANS  
SECTION

all dimensions to be clarified on site

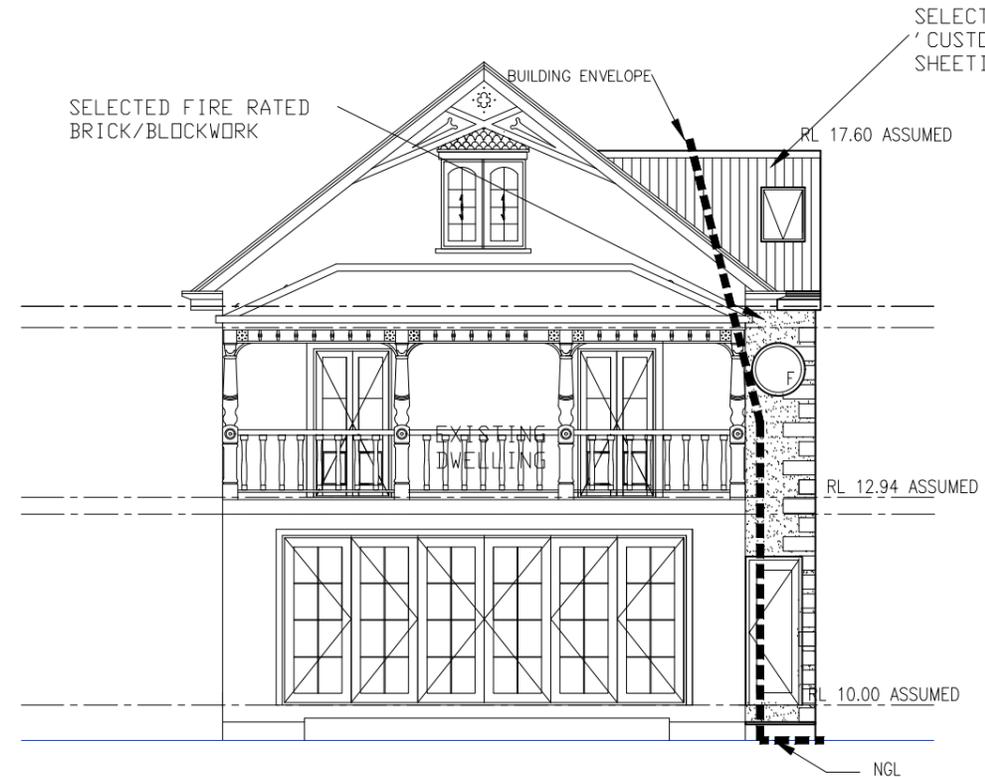
scale 1:200, 1:100	date DEC'17	drawn by jdc
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copyright	drawing no. 20F5	project no. 17180272
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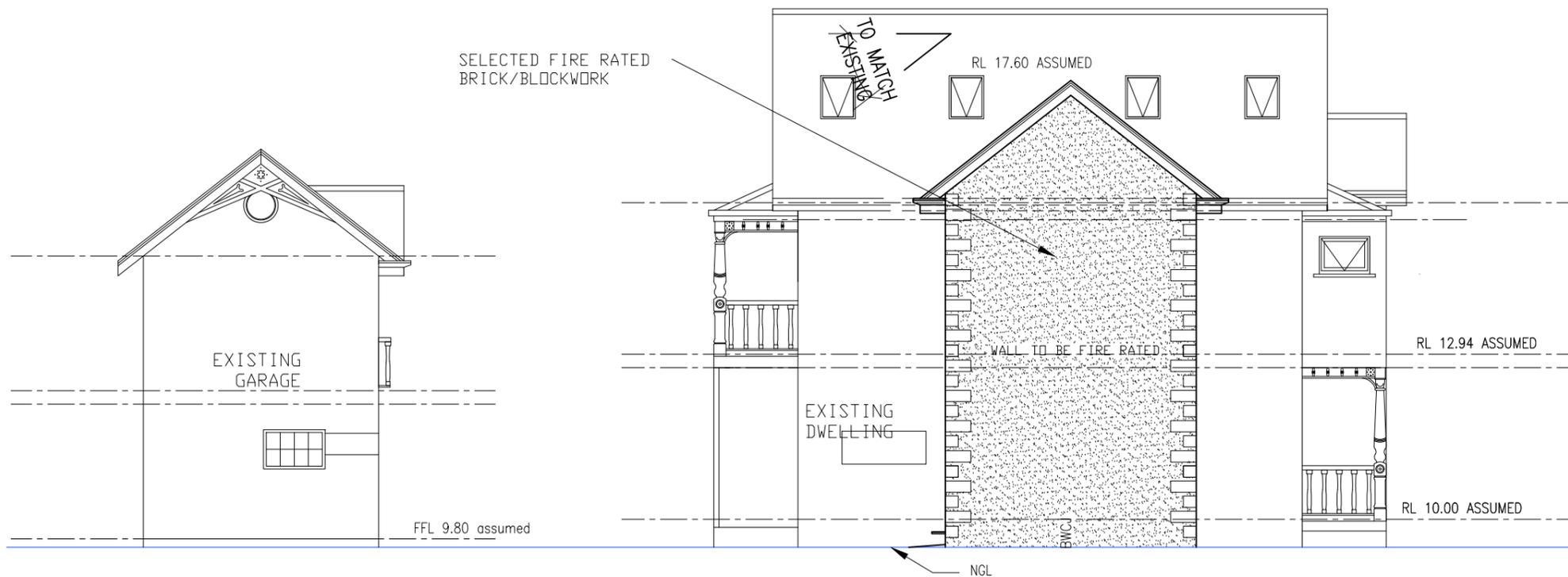
AMEND 31.03.20  
AMEND 21.05.18



# WESTERN ELEVATION



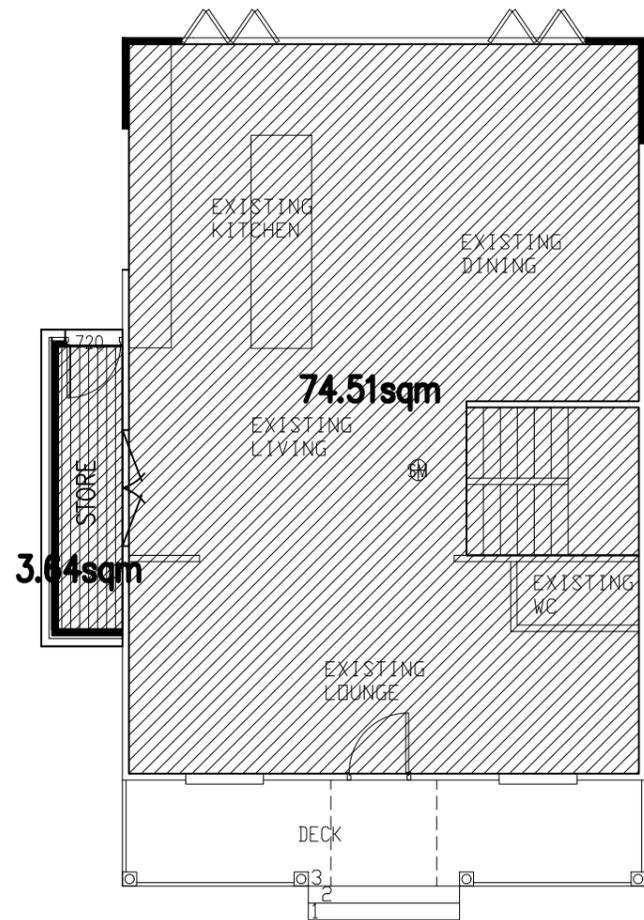
# EASTERN ELEVATIONS



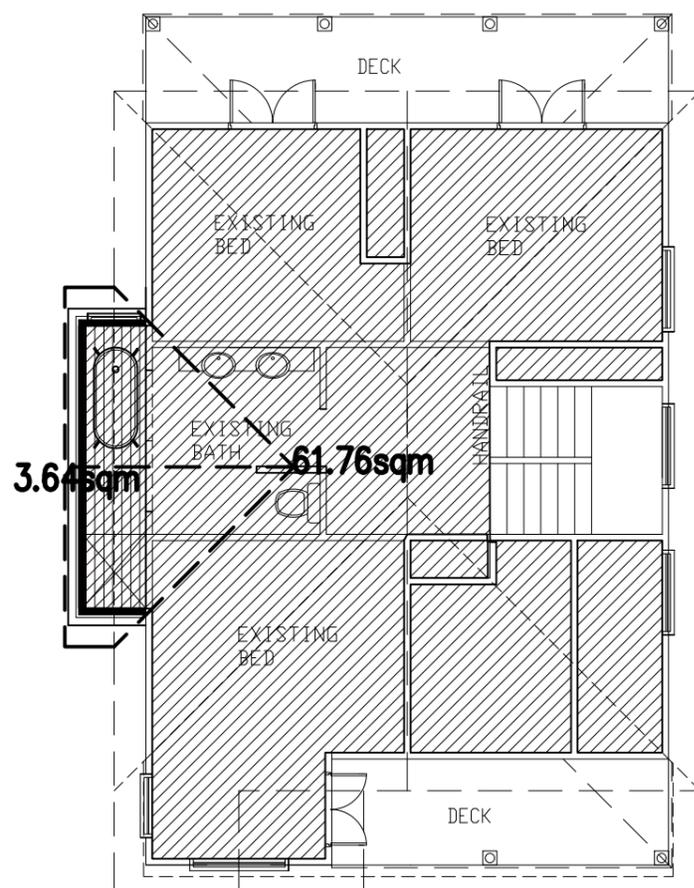
# NORTHERN ELEVATIONS

proprietor DEREK LOT 5 , Dp1005778 , 40C GIPPS STREET CARRINGTON		
project proposed EXTENSION		
drawing ELEVATIONS		
all dimensions to be clarified on site		
scale 1:200, 1:100	date DEC'17	drawn by jdc
© copyright	drawing no. 30F5	project no. 17180272

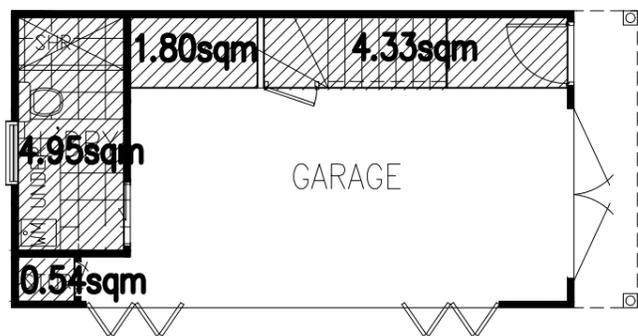
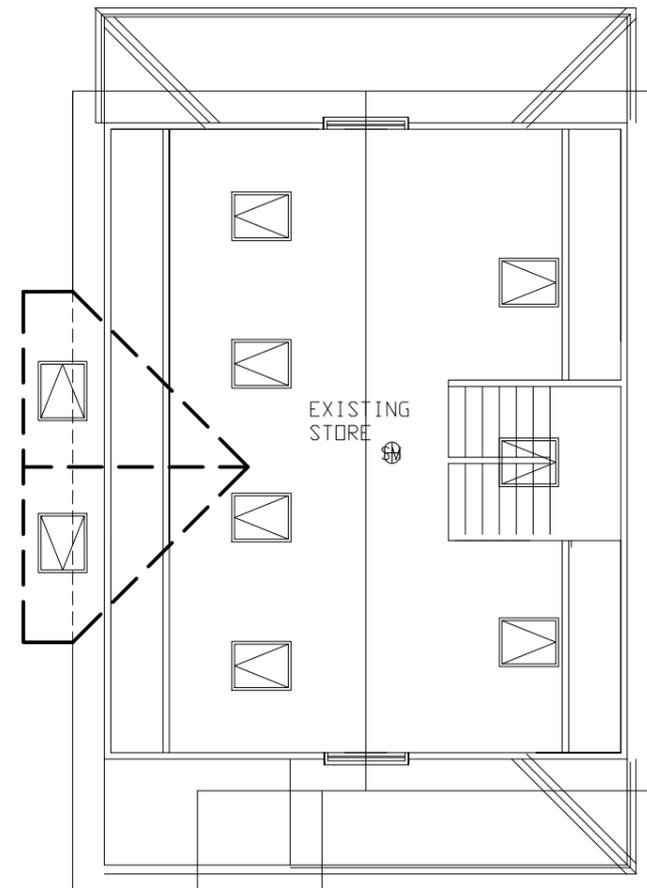
AMEND 31.03.20  
 AMEND 21.05.18



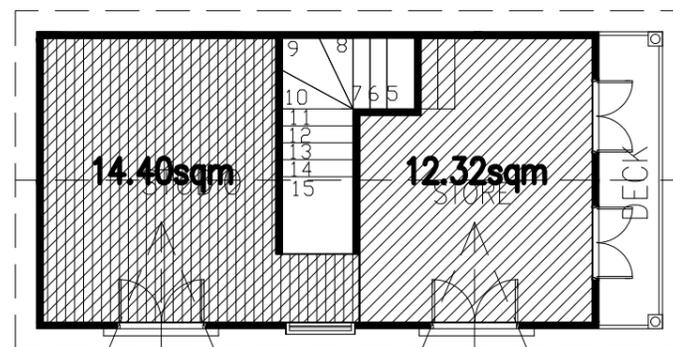
78.15sqm



65.40sqm



11.62sqm



26.72sqm

# FSR AREAS

DWELLING - 78.15sqm + 65.40sqm

REAR STRUCTURE - 11.62sqm + 26.72sqm

TOTAL - 143.55sqm

TOTAL - 38.34sqm

SITE TOTAL - 181.89sqm

SITE AREA: 248sqm

FSR - 0.7334



NORTH

AMEND 10.08.20  
AMEND 15.07.20  
AMEND 31.03.20

proprietor DEREK LOT 5 , Dp1005778 , 40C GIPPS STREET CARRINGTON		
project proposed EXTENSION		
drawing FSR		
all dimensions to be clarified on site		
scale 1:200, 1:100	date DEC'17	drawn by jdc
© copyright	drawing no. 40F5	project no. 17180272

<u>DRAINAGE / PLUMBING</u>	LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF CONSTRUCTION.ALL PLUMBING WORK SHALL COMPLY WITH HUNTER WATER CORPORATION REQUIREMENTS CONNECT ALL SUBSURFACE DRAINS TO EXISTING SYSTEM DOWNPIPES & GUTTERS TO CONNECT TO UPVC PIPE AND DISPENSED TO STORMWATER IN ACCORDANCE WITH COUNCIL'S REQUIREMENTS.INSTALL HOT WATER SERVICE AT AS3500-2013.ALL DRAINAGE WORK TO BE CARRIED OUT BY BY A LICENCED DRAINER.
<u>ELECTRICIAN</u>	ALL WORK TO BE CARRIED OUT TO AS3000-2007.ELECTRICAL INSTALLATION TO HOUSE IS TO BE CARRIED OUT IN ACCORDANCE WITH SAA WIRING RULES. LIGHT FITTINGS, SWITCHES AND OUTLETS TO OWNERS SELECTION AND LOCATION U.N.O
<u>GLAZIER</u>	ALL GLASS THROUGHOUT IS TO BE OF APPROVED MANUFACTURE. GLASS TO BE BACK PUTTIED, SPRIGGED INTO PRIMED OR OIL REBATES AND WEATHER PUTTIED. NEW WINDOWS & DOORS SHALL BE SLIDING ALUMINIUM TO OWNER'S SELECTION TO MATCH STYLE OF EXISTING HOUSE U.N.O PROVIDE APPROVED FLASHING UNDER UNDER EACH WINDOW FRAME.
<u>PAINTER</u> WHERE REQUIRED	ALL PAINT COLOURS & FINISHES TO OWNER'S SELECTION ALL PAINT TO BE SUPPLIED BY A REPUTABLE MANUFACTURER. ALL PAINT TO BE APPLIED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATION.ALL SURFACES SHALL BE PREPARED PROPERLY.
<u>GENERAL</u> WHERE REQUIRED	<u>DAMPCOURSE</u> ON ALL BRICKWORK AT A LEVEL NOT HIGHER THAN THE BOTTOM OF FLOOR BEARERS, PROVIDE A CONTINUOUS RUN OF APPROVED DAMPCOURSE MATERIAL TO FULL WIDTH OF WALL THICKNESS AND TO ENGAGED PIERS AND PLACE UNDER ALL ANT CAPPING. <u>ANTCAPS</u> CONTINUOUS ANT CAPPING SHALL BE PROVIDED AT LEVEL OF UNDERSIDE OF BEARERS, OVER ALL FOUNDATION WALLS AND PIERS, FENDER WALLS ETC. ANT CAPPING TO BE OF AN APPROVED MATERIAL. <u>SEDIMENT &amp; EROSION CONTROL</u> PROVIDE SILT FENCE AROUND COMPLETE SITE.PROVIDE 1000 WIDE CONSTRUCTION EXIT TO CONTAIN POLLUTED WATER. <u>RUBBISH CONTROL</u> 1800 SQUARE x 1200 HIGH RUBBISH ENCLOSURE CONSTRUCTED OF 1800 HIGH STAR PICKETS, 1200
<u>TILELAYER</u> WHERE REQUIRED	COVER FLOOR OF BATHROOM, TOILETS AND LAUNDRY AND OTHERS AREAS INDICATED ON FIX TILES TO SURFACES OVER SUITABLE WATERPROOFED SHEET MATERIAL WITH APPROVED ADHESIVEPLAN WITH SELECTED TILES SET TO AN APPROVED PLAN. WHEN FIXING TO BRICKWORK USE 3:1 SAND/CEMENT
<u>TIMBER</u>	ALL TIMBER CONSTRUCTION TO BE IN ACCORDANCE WITH AS 1684.2-2010 'NATIONAL TIMBER FRAMING CODE' ALL WORKMANSHIP & MATERIALS SHALL COMPLY WITH SAA TIMBER STRUCTURES CODE AS1720 AND SAA TIMBER FRAMING CODE AS1684 AS APPLICABLE.TIMBER SHALL BE STRESS GRADE F7 UNSEASONED JOINT GRADE J4 U.N.O.TIMBER SIZES SHOWN ARE NOMINAL SAWN U.N.O. TIMBER SHALL BE FREE OF DEFECTS AT JOINTS
<u>DESIGN WINDSPEED</u>	(IN ACCORDANCE WITH AS1170 PART-WIND LOAD FOR HOUSING) <u>WIND CLASSIFICATION</u> (FROM TABLE 1.1, NSW TIMBER FRAMING CODE) <u>NOTE:</u> MINIMUM 2 BRACING UNITS EACH EXTERNAL WALL BRACING LOCATIONS MAY BE VARIED PROVIDING MINIMUM NUMBERS ARE MAINTAINED. TYPE A OR TYPE B IN ACCORDANCE WITH AS1684 OR NSW TIMBER FRAMING MANUAL.
<u>GENERAL</u>	THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL DRAWINGS AND SPECIFICATIONS ANY DISCREPANCY SHALL BE REFERED TO THE ENGINEER BEFORE PROCEEDING. ALL MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH THE RELEVANT AND CURRENT SAA CODES EXCEPT WHERE VARIED BY THE PROJECT SPECIFICATION. ALL DIMENSIONS SHALL BE VARIFIED BY THE BUILDER ON SITE.ENGINEERS DRAWINGS SHALL NOT BE SCALED. DESIGN LIVE LOADS:- INTERNAL FLOORS 1.5 KPa ROOF 0.25 KPa
<u>CONCRETE</u>	ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600.CONCRETE QUALITY SHALL BE AS FOLLOWS:-FOOTINGS AND PIERS -MIN f'c= 20MPa EXTERNAL SLABS - MIN f'c = 32 MPa INTERNAL SLABS - MIN f'c = 25 MPa. CLEAR COVER TO REINFORCEMENT SHALL BE AS FOLLOWS:- 40mm TO UNPROTECTED GROUND30mm TO MEMBERANE 45mm TO EXTERNAL EXPOSURES 20mm TO INTERNAL SURFACES. MINIMUM LAP OF FABRIC SHALL BE TWO (2) TRANSVERSE WIRES PLUS 30mm.TRENCH MESH BAR SPLICE MIN 500mm. AT 'T' INTERSECTIONS BARSARE TO CONTINUE ACROSS INTERSECTION. AT 'L' BARS ARE TO BE BENT AND LAPPED 500mm. INTERSECTIONS OUTER.CURING COMPOUND IS TO BE APPLIED TO SLABS WITHIN 2 HOURS OF FINISHING. ALL CONCRETE IS TO BE MECHANICALLY VIBRATED.CONCRETE SIZES SHOWN DO NOT INCLUDE THICKNESS OF APPLIED FINISHES. ALL CONCRETE TO BE PLACED IN ACCORDANCE WITH SECTION 19 OF AS 3600.REINFORCEMENT SHALL COMPLY WITH:- AS 1304 - TRENCH MESH AND FABRIC AS 1302 - REINFORCING BARS.EXPOSURE CLASSIFICATION TO AS 3600 CONCRETE SURFACES IS:-INTERNAL:- A1 EXTERNAL:- B1
<u>FOUNDATIONS</u>	FOOTINGS HAVE BEEN DESIGNED TO ENGINEERS REQUIREMENTS.TO AS 2870.1 1988. FURTHER GEOTECHNICAL EVIDENCE MAY LEAD TO AMENDMENTS TO FOOTING REQUIREMENTS.FOOTINGS HAVE BEEN DESIGNED FOR THE FOLLOWING ALLOWABLE BEARING PRESSURES:- FOOTINGS..... : 100 KPa. SLABS ..... : 100 KPa. FOUNDATION MATERIAL SHALL BE APPROVED FOR THIS PRESSURE BEFORE PLACING CONCRETE IN FOOTINGS. ALL FOOTINGS TO BE FOUNDED INTO NATURAL GROUND TO THE SATISFACTION OF THE SUPERVISING ENGINEER. AREA BENEATH FOUNDATIONS TO BE CLEAR OF ALL ORGANIC MATERIAL.ENGINEER MAY REQUIRE EDGE BEAMS TO BE DEEPENED AND/OR PIERING AFTER INSPECTION OF EXCAVATION. REFERENCE TO CSIRO PUBLICATION SHEET No: 10-91 DATED NOVEMBER 1988 "A GUIDE TO HOME OWNERS ON FOUNDATION MAINTENANCE AND FOOTING PERFORMANCES" IS REFERENCED TO PROVIDE THE FOR NORMAL GARDEN AND SITE CONDITIONS. OWNERS RESPONSIBILITIES
<u>BRICKWORK</u> WHERE REQUIRED	ALL MASONRY CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3700.BRICKS USED IN LOAD BEARING WALLS SHALL HAVE A MINIMUM COMPRESSION STRENGTH OF 12 MPa.MORTAR SHALL BE CLASSIFICATION M3 AND SHALL BE FRESHLY PREPARED AND COMPOSED OF CEMENT : LIME : SAND IN THE RATIO OF 1 : 1 : 6 AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2.8 MPa AT 28 DAYS.MORTAR BED THICKNESS SHALL NOT EXCEED 10mm.WALL TIES SHALL BE MANUFACTURED OF STAINLESS STEEL AND BE PLACED AS FOLLOWS: (A) IN GENERAL WORK @ 600 cts IN EACH DIRECTION. (B) ADJACENT TO LATERAL SUPPORTS, CONTROL JOINTS AND OPENINGS @ 300 cts.WHERE SLABS OR BEAMS PROVIDE 15mm WIDE CONTROL JOINTS IN BRICKWORK AT 7000mm MAXIMUM CENTRES. BEAR INTO MASONRY THE TOP COURSE SHALL BE LEVEL, SMOOTH AND COVERED WITH TWO(2) LAYERS OF PRE- CREASED IRON SLIP JOINT OR OTHER APPROVED MATERIAL MASONRY WALLS SHALL BE FIXED TO ADJACENT ELEMENT WITH STAINLESS STEEL TIES TO THE APPROVAL OF THE ENGINEER.

proprietor DEREK LOT 5 , Dp1005778 , 40C GIPPS STREET CARRINGTON		
project proposed EXTENSION		
drawing SPECIFICATIONS		
all dimensions to be clarified on site		
scale NA	date DEC'17	drawn by jdc
© copyright	drawing no. 50F5	project no. 17180272

AMEND 31.03.20  
AMEND 21.05.18



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 15/09/2020 – DA2020/00378 – 40C GIPPS STREET,  
CARRINGTON – DWELLING HOUSE – ALTERATIONS AND  
ADDITIONS**

**ITEM-34      Attachment B:      Draft Schedule of Conditions**

**DISTRIBUTED UNDER SEPARATE COVER**



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**Application No:** DA2020/00378  
**Land:** Lot 5 DP 1005778  
**Property Address:** 40C Gipps Street Carrington NSW 2294  
**Proposed Development:** Dwelling house - alterations and additions

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## SCHEDULE 1

### APPROVED DOCUMENTATION

1. The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document	Reference / Version	Prepared by	Dated
Site Plan	17180272	jdc	31/03/2020
Floor Plans & Section	17180272	jdc	31/03/2020
Elevations	17180272	jdc	31/03/2020
FSR Plan	17180272	jdc	10/08/2020
Specifications	17180272	jdc	31/03/2020

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

### CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

2. Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.
3. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
4. A Registered Surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
5. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
6. Any black glassy slag excavated during earthworks, that will not be covered by building structures or reburied on site, is to be removed for disposal at the Summerhill Waste Management Centre or another approved waste disposal site. Any such action is to be verified by the submission of evidence of disposal to the Principal Certifier, eg

copy of docket from disposal centre.

7. During construction works, an assessment of acid sulfate soil potential is to be undertaken in the area of excavation. If acid sulfate soils are found to be present, soils are to be treated in accordance with the New South Wales Acid Sulfate Soil Management Advisory Committee's '*Acid Sulfate Soil Manual*'.
8. A rigid and durable sign is to be erected on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
  - a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
  - b) showing the name, address and telephone number of the Principal Contractor for any building work and also including a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
  - c) stating that unauthorised entry to the work site is prohibited, and
  - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out.

9. All building work is to be carried out in accordance with the provisions of the National Construction Code.
10. In the case of residential building work for which the *Home Building Act 1989* requires there to be a contract of insurance in force, such a contract of insurance is to be in force before any building work authorised to be carried out by this consent commences.
11. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on City of Newcastle reserves, including the road reserve, is not permitted.
12. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.
13. All roof and surface waters are to be conveyed to the street gutter by way of a sealed pipe system, extending through the footway to City of Newcastle requirements, in accordance with Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012.
14. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
  - Monday to Friday, 7:00 am to 6:00 pm and
  - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

15. City of Newcastle's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by the City of Newcastle, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

16. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4<sup>th</sup> Edition - Vol. 1* (the 'Blue Book') published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
17. The following waste management measures are to be implemented during construction:
  - a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
  - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
  - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
  - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

### **CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE**

18. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
19. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.

### **ADVISORY MATTERS**

- Development applications are not assessed against the provisions of the National Construction Code. An application to modify the application under the *Environmental Planning and Assessment Act 1979* will be required if design amendments that cause the proposal to be inconsistent with the development consent are necessary to comply with the provisions of the Building Code of Australia.
- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.

- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Prior to commencing any building works, the following provisions of Part 6 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
  - a) A Construction Certificate is to be obtained; and
  - b) A Principal Certifier is to be appointed for the building works and the City of Newcastle is to be notified of the appointment; and
  - c) The City of Newcastle is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to a building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate is to contain the information set out in Clause 149 of the *Environmental Planning and Assessment Regulation 2000*.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

**END OF CONDITIONS**

## SCHEDULE 2

### REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- The City of Newcastle has considered and accepted the proposed Floor Space Ratio development standard variation made under Clause 4.6 of the Newcastle Local Environmental Plan 2012. The proposed 22% variation is considered acceptable in the particular circumstances of this case as the variation will not significantly overshadow the neighbouring properties, obstruct significant view corridors or result in negative privacy issues.
- No objections were received and negligible neighbour impacts are anticipated.

### REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 15/09/2020 – DA2020/00378 – 40C GIPPS STREET,  
CARRINGTON – DWELLING HOUSE – ALTERATIONS AND  
ADDITIONS**

**ITEM-35**      **Attachment C:**      Processing Chronology

**DISTRIBUTED UNDER SEPARATE COVER**



**PROCESSING CHRONOLOGY**

**DA2020/00378 – 40C Gipps Street, Carrington**

- |                   |                                                                                 |
|-------------------|---------------------------------------------------------------------------------|
| 14 April 2020     | - Application lodged                                                            |
| 17 April 2020     | - Public notification                                                           |
| 15 September 2020 | - Application presented to the Development Applications Committee (DAC) meeting |