

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 19/07/2022 – DA2021/00281 - 29 BRUCE STREET COOKS HILL**

**ITEM-9          Attachment A:          Submitted Plans**

**DISTRIBUTED UNDER SEPARATE COVER**



# PROJECT

## 29 Bruce St\_New Terrace

LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 LOT/DP

Guy Bunder and Madeline Fitzgibbon

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ISSUE	DESCRIPTION	BY	CHK	DATE
01	DA			23/02/2021
02	REVISED FOR RFI RESPONSE			30/08/2021
03	REVISED FOR RFI RESPONSE			28/03/2022
04	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 COVER PAGE  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO. DD000  
 ISSUE NO. 04  
 SCALE @A3



# BASIX COMMITMENTS

## BASIX® Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

### Single Dwelling

Certificate number: 1176669S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 1176669S lodged with the consent authority or certifier on 01 April 2021 with application DA2021/00281.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary  
Date of issue: Monday, 30 August 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	29 Bruce Street _02	
Street address	29 Bruce Street Cooks Hill 2300	
Local Government Area	Newcastle City Council	
Plan type and plan number	deposited 799895	
Lot no.	2	
Section no.	-	
Project type	attached dwelling house	
No. of bedrooms	3	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 68	Target 50

Certificate Prepared by	
Name / Company Name:	SDA
ABN (if applicable):	87909725472

### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 62 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

## Description of project

Project address		Assessor details and thermal loads	
Project name	29 Bruce Street _02	Assessor number	n/a
Street address	29 Bruce Street Cooks Hill 2300	Certificate number	n/a
Local Government Area	Newcastle City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 799895	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m².year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
<b>Project type</b>		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	attached dwelling house	<b>Project score</b>	
No. of bedrooms	3	Water	✓ 41 Target 40
<b>Site details</b>		Thermal Comfort	✓ Pass Target Pass
Site area (m²)	89	Energy	✓ 68 Target 50
Roof area (m²)	62		
Conditioned floor area (m2)	109.18		
Unconditioned floor area (m2)	5.24		
Total area of garden and lawn (m2)	8		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>		<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>
floor - concrete slab on ground, 42 square metres	nil		
floor - above habitable rooms or mezzanine, 52 square metres, framed	nil		
floor - suspended floor above garage, framed	nil		
external wall - concrete panel/plasterboard (concrete: 120 mm)	2.11 (or 2.40 including construction)		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)		
internal wall shared with garage - other/undecided	nil		
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (55 mm)	framed; medium (solar absorptance 0.475-0.70)	
<b>Note</b>			
Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
<b>Note</b>			
In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			



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PROJECT  
29 Bruce St\_New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
BASIX COMMITMENTS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO.  
DD001  
ISSUE NO.  
04  
SCALE  
1:2@A3



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Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
<ul style="list-style-type: none"> <li>For the following glass and frame types, the certifier check can be performed by visual inspection.                             <ul style="list-style-type: none"> <li>Aluminium single clear</li> <li>Aluminium double (air) clear</li> <li>Timber/uPVC/fibreglass single clear</li> <li>Timber/uPVC/fibreglass double (air) clear</li> </ul> </li> <li>Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.</li> </ul>				✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).				✓	✓	✓
Skylight no.	Maximum area (square metres)	Type	Shading device			
S01	0.90	aluminium, moulded plastic single clear	no shading			
S02	0.90	aluminium, moulded plastic single clear	no shading			
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
<b>South-East facing</b>						
W02	1200	1800	aluminium, single, clear	none	>4 m high, 2-5 m away	
W01	1200	1000	aluminium, single, clear	none	>4 m high, 2-5 m away	

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.				✓	✓	✓
<b>Cooling system</b>						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 8 star (average zone)					✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 8 star (average zone)					✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.					✓	✓
<b>Heating system</b>						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 star (average zone)					✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 6 star (average zone)					✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.					✓	✓
<b>Ventilation</b>						
The applicant must install the following exhaust systems in the development:						
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off					✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off					✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off					✓	✓
<b>Artificial lighting</b>						
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:						
<ul style="list-style-type: none"> <li>at least 3 of the bedrooms / study; dedicated</li> </ul>					✓	✓

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W03	1200	1000	aluminium, single, clear	none	>4 m high, 2-5 m away
D04	2400	1800	aluminium, single, clear	none	>4 m high, 2-5 m away
D01	2700	2700	aluminium, single, clear	none	>4 m high, 2-5 m away
<b>North-West facing</b>					
W04	900	2900	aluminium, single, clear	none	not overshadowed
D02	2400	1000	aluminium, single, clear	solid overhang 5800 mm, 2400 mm above head of window or glazed door	not overshadowed
D03	2400	1800	aluminium, single, clear	verandah 1200 mm, 2700 mm above base of window or glazed door	>4 m high, 2-5 m away

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>at least 3 of the living / dining rooms; dedicated</li> <li>the kitchen; dedicated</li> <li>all bathrooms/toilets; dedicated</li> <li>the laundry; dedicated</li> <li>all hallways; dedicated</li> </ul>					✓	✓
<b>Natural lighting</b>						
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.				✓	✓	✓
<b>Alternative energy</b>						
The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.				✓	✓	✓
<b>Other</b>						
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.					✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.					✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



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06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_ New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 SITE ANALYSIS PLAN  
 PROJECT NO.  
 2020-202

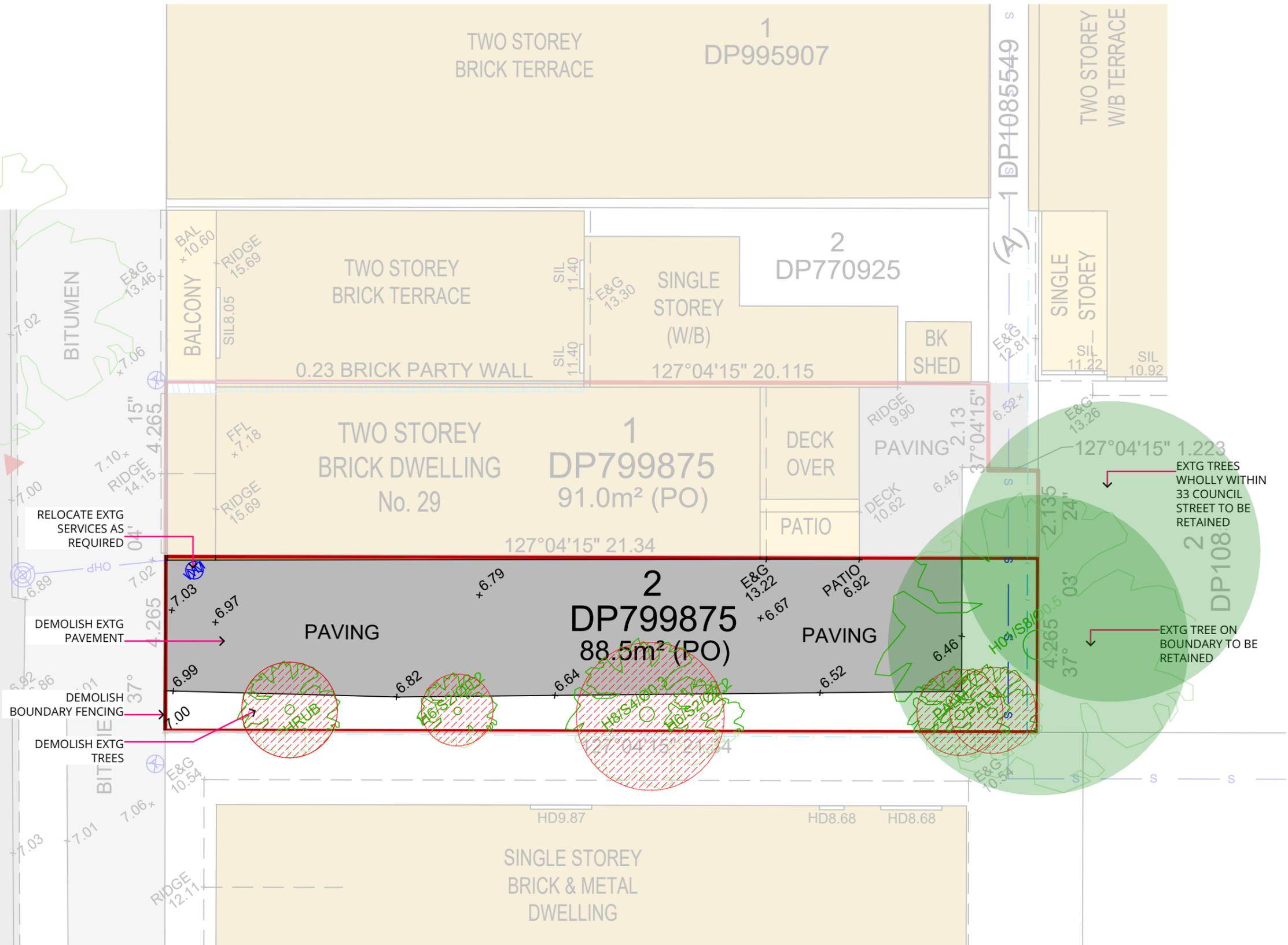
LOCATION  
 LOT 2\_29 Bruce Street Cooles Hill NSW 2300  
 DRAWING NO. DD100  
 ISSUE NO. 06  
 SCALE 1:200@A3



# BRUCE STREET

DH ON KERB  
RL 7.00 (AHD)

KERB & GUTTER



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PROJECT  
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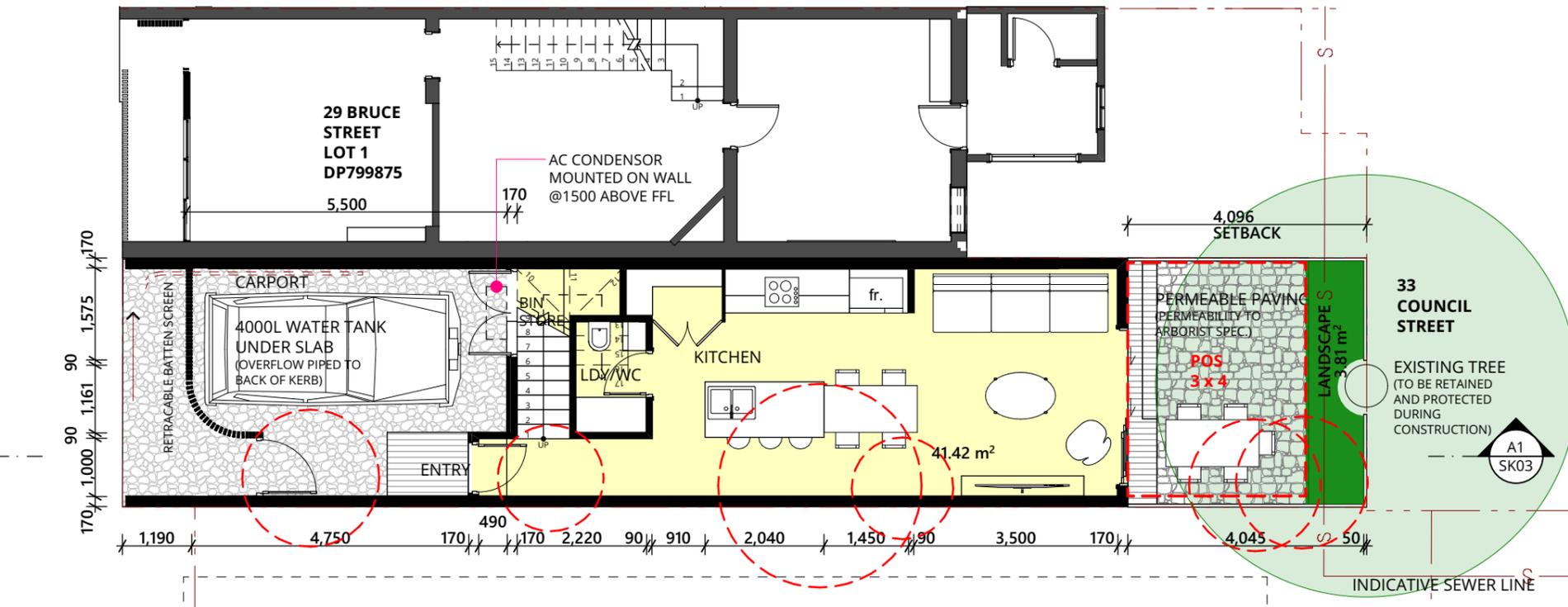
DRAWING  
 EXISTING | DEMOLITION  
 SITE PLAN  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
 DD101  
 ISSUE NO.  
 06  
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BRUCE STREET



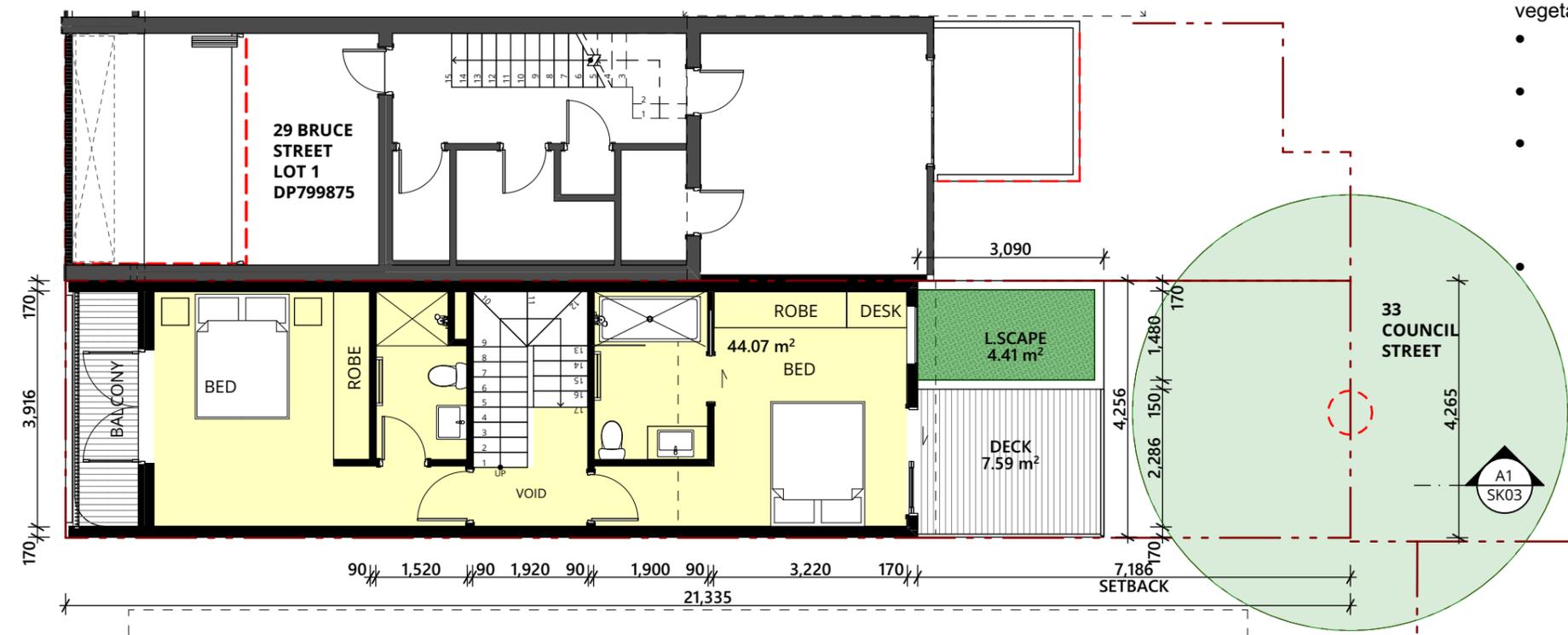
GROUND FLOOR PLAN  
SCALE 1:100

DIVIDING FENCE HEIGHT IS NOT TO EXCEED 1.8M.

NOTE: Boundary wall to be designed to ensure minimal impact to immediate neighbours at 31 Bruce St during constructions. Measures to ensure the neighbouring vegetation is minimally impacted include:

- The wall will be concrete/masonry to avoid the need for maintenance,
- Designed for ease of installation to ensure no scaffolding is required to finish this wall.
- The design includes a strip footing that will finish 10mm inside the boundary to 29 Bruce St. Formwork for this footing will be wholly within the subject site during construction having minimal to no impact on existing vegetation.
- All works on this boundary wall will be completed off an EWP - Elevated Work Platform or from a small ladder that will not damage any vegetation.

BRUCE STREET



FIRST FLOOR PLAN  
SCALE 1:100

1.



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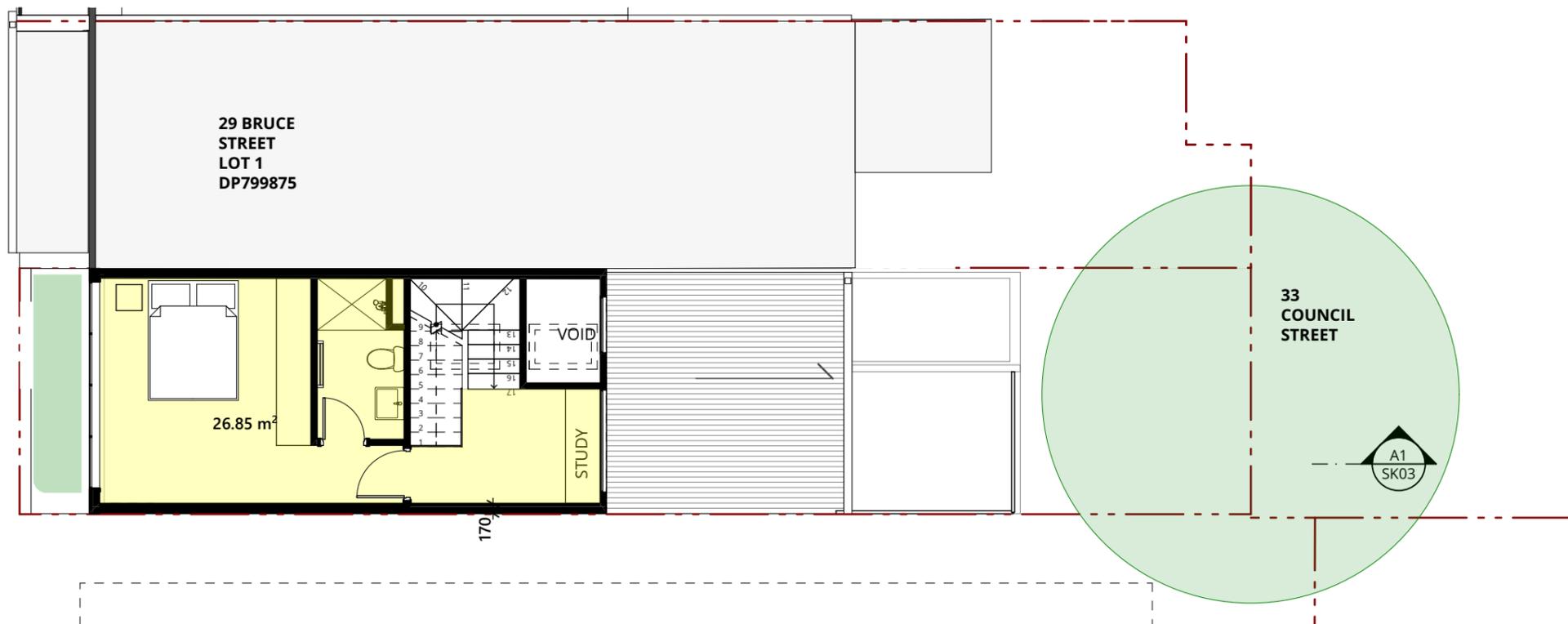
PROJECT  
29 Bruce St\_New Terrace  
 CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
GROUND + FIRST FLOOR PLAN  
 PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
DD200  
 ISSUE NO.  
08  
 SCALE  
1:100@A3



BRUCE STREET



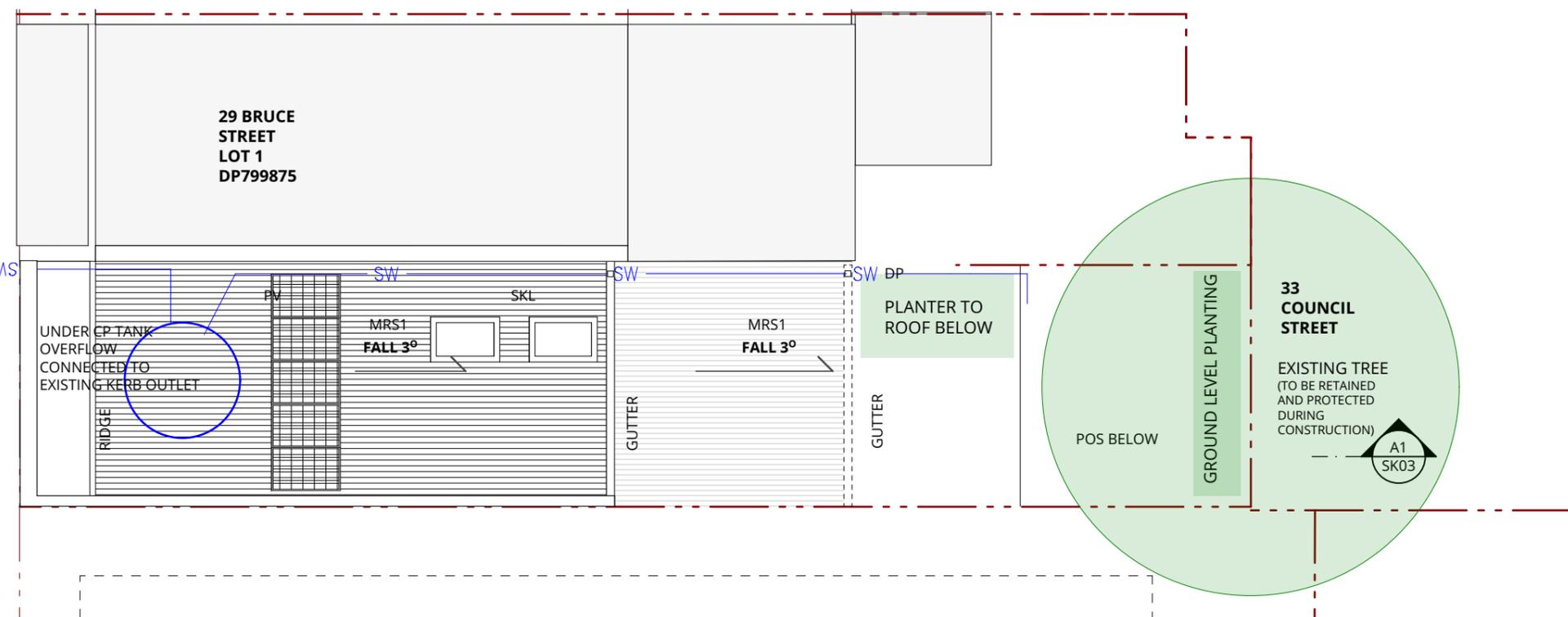
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LEGEND  
 (e) EXISTING

2.

ATTIC FLOOR PLAN  
 SCALE 1:100

BRUCE STREET



3.

ROOF + STORMWATER PLAN  
 SCALE 1:100



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DRAWING  
 ATTIC FLOOR + ROOF PLAN  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO. DD201  
 ISSUE NO. 07  
 SCALE 1:100@A3



CORNER BLOCK WITH INCONSISTENT FENESTRATION AND MATERIALITY

CONSIDERED MASSING AND INDENTIFIABLE 'STREET WALL' OF IMMEDIATE CONTEXT

CONSISTENT LOT WIDTHS

CURRENT 'EDGE' TO TERRACE BLOCK - UNORIGINAL OPENINGS AND PLUMBING WORKS

SUBJECT LOT IS CURRENTLY VACANT WITH VEHICLE CROSSING



INCONSISTENT FENESTRATION TREATMENT TO IMMEDIATE CONTEXT

UNORIGINAL TERRACE FACADE ADJACENT

SUBJECT LOT IS CURRENTLY VACANT WITH VEHICLE CROSSING

CHANGE IN LOT WIDTHS AND HOUSE TYPOLOGY WESTWARD

EXISTING STREETScape



CONTEMPORARY INFILL APPROACH.  
 DELIBERATE ALIGNMENTS WITHIN THE FRONT FACADE TO TERRACES ADJACENT  
 DEEP REVEAL TO ADD DEPTH TO FACADE  
 RETRACTABLE CONTEMPORARY SCREEN TO DISGUISE CARPARKING



MORE TRADITIONAL FORM, WHILST MAINTAINING CONTEMPORARY APPROACH.  
 DELIBERATE ALIGNMENTS WITHIN THE FRONT FACADE TO TERRACES ADJACENT  
 DEEP REVEAL TO ADD DEPTH TO FACADE  
 RETRACTABLE CONTEMPORARY SCREEN TO DISGUISE CARPARKING



PREVIOUSLY PROPOSED STREETScape

REVISED PROPOSED STREETScape

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DRAWING  
 STREETScape  
 PROJECT NO.  
 2020-202

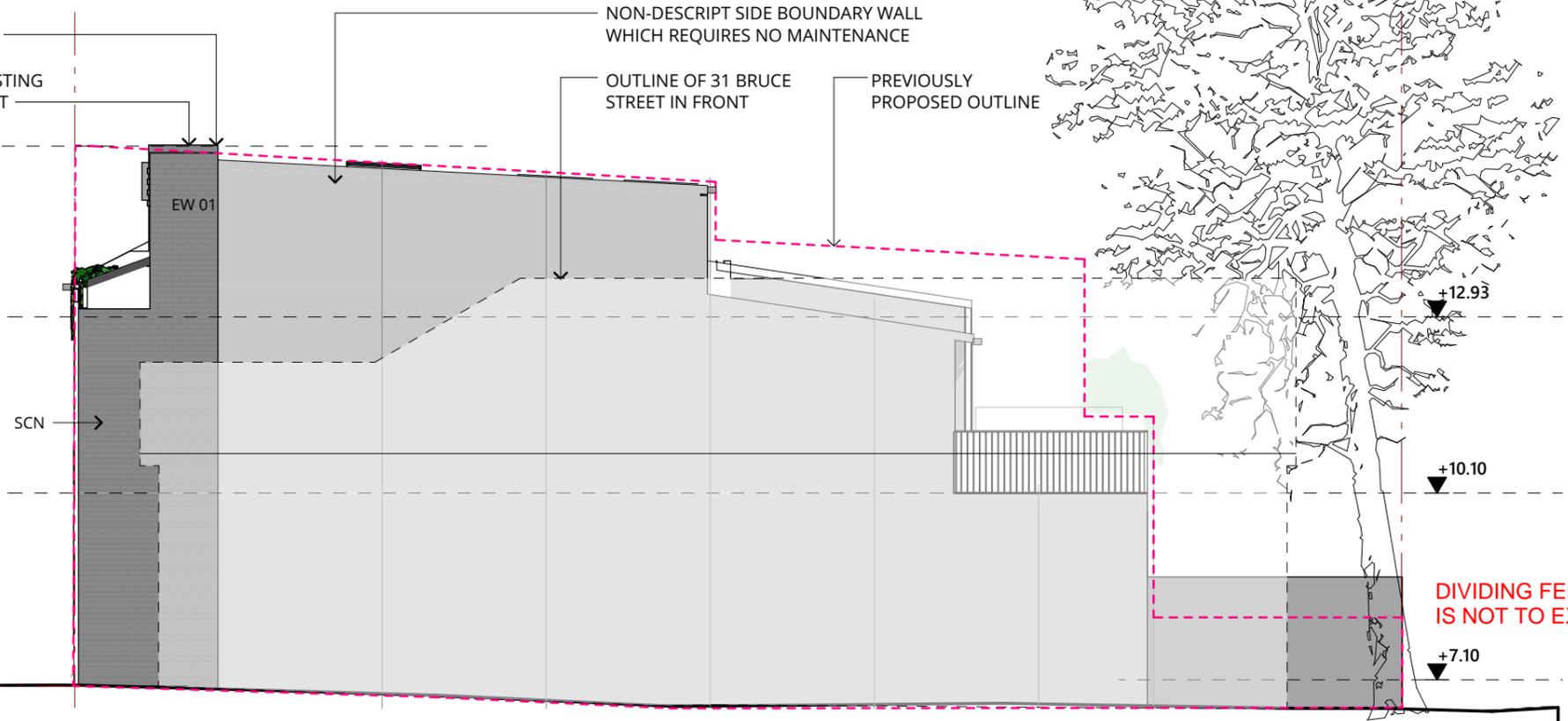
LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
 DD300  
 ISSUE NO.  
 07  
 SCALE  
 1:2.44,  
 1:8.39@A3



BRUCE STREET

CHANGE OF MATERIAL BEYOND FRONT FACADE  
PARAPET TO MATCH EXISTING NEIGHBOURING PARAPET

NON-DESCRIPT SIDE BOUNDARY WALL WHICH REQUIRES NO MAINTENANCE  
OUTLINE OF 31 BRUCE STREET IN FRONT  
PREVIOUSLY PROPOSED OUTLINE



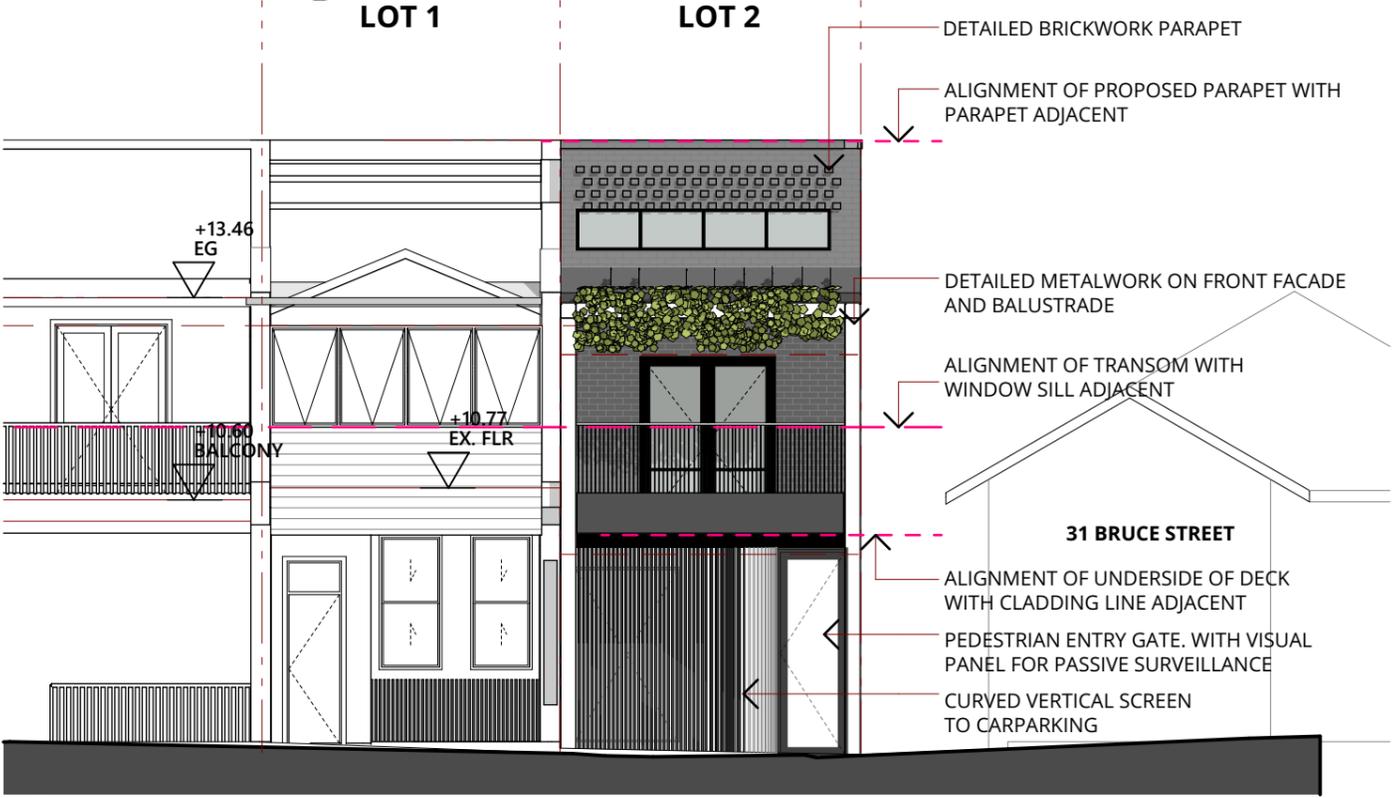
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**LEGEND**  
CON1 CONCRETE - TYPE 1  
MRS1 METAL ROOF SHEETING - TYPE 1  
SCN SCREEN

**SOUTH ELEVATION**  
SCALE 1:100

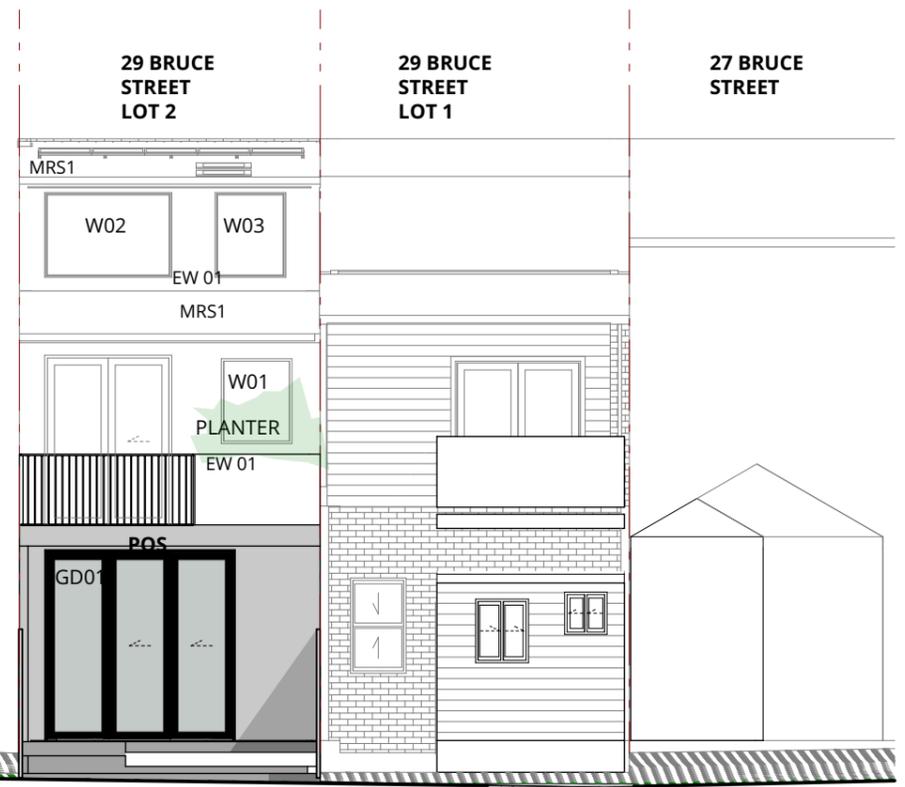
LOT 1

LOT 2



**WEST ELEVATION**  
SCALE 1:100

31 BRUCE STREET  
DIVIDING FENCE HEIGHT IS NOT TO EXCEED 1.8M.



**EAST ELEVATION**  
SCALE 1:100

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ISSUE	DESCRIPTION	BY	CHK	DATE
04	REVISED FOR RFI RESPONSE			10/08/2021
05	REVISED FOR RFI RESPONSE			30/08/2021
06	REVISED FOR RFI RESPONSE			28/03/2022
07	NOTES ADDED			27/04/2022
08	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St, New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
ELEVATIONS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2, 29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO.  
DD301  
ISSUE NO.  
08  
SCALE  
1:100@A3



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 P:\Current Projects\Guy Bunder\Bruce Street\2020-2022\_New Build\_24\_RM3.pln



11 BRUCE STREET



30 BRUCE STREET



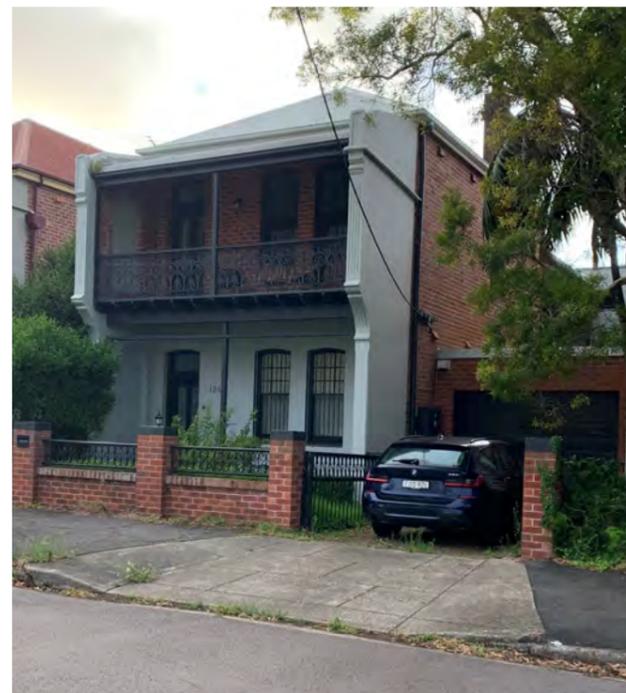
68 BRUCE STREET



113 BRUCE STREET



115 BRUCE STREET



124 BRUCE STREET



126 BRUCE STREET

**COMMON THEMES ALONG BRUCE STREET**

**- ORNATE STREET FACADES**

consisting of open metalwork balustrades, ornate render, detailed concrete or metal mouldings/filegree

**- NON-DESCRIPT SIDE BOUNDARY WALLS**

Either face brick, painted render, or painted brickwork behind the detailed front facade

**- CHANGE OF MATERIAL BEHIND FRONT FACADE**

contrast between front facade finish to non-descript side boundary wall finish

**- CONSISTENT VERANDAH, BALUSTRADE, AND VERANDAH ROOF DATUMS**

Proportions and datum heights consistent through the streetscape

**- VARIED COLOUR SCHEMES AND HOUSE TYPES**

Bruce Street consists of homes of varied styles, colour/material palettes, and ages

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02	REVISED FOR RFI RESPONSE			15/02/2022
03	REVISED FOR RFI RESPONSE			28/03/2022
04	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 STREETScape ANALYSIS  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
 DD302  
 ISSUE NO.  
 04  
 SCALE  
 @A3



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- DETAILED BRICKWORK PARAPET
- DATUMS OF NEIGHBOURING TERRACES REFLECTED IN NEW BUILD
- NON-DESCRIPT SIDE BOUNDARY WALL
- CHANGE OF MATERIAL BEYOND FRONT FACADE
- DETAILED METALWORK ON FRONT FACADE AND BALUSTRADE

REVISED PROPOSED PERSPECTIVE - OPTION 1



REVISED PROPOSED PERSPECTIVE - OPTION 2



REVISED PROPOSED PERSPECTIVE - OPTION 3



REVISED PROPOSED PERSPECTIVE - OPTION 4

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02	REVISED FOR RFI RESPONSE	RM		31/01/2022
03	REVISED FOR RFI RESPONSE			11/02/2022
04	REVISED FOR RFI RESPONSE			15/02/2022
05	REVISED FOR RFI RESPONSE			28/03/2022
06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 REVISED STREETSCAPE  
 OPTIONS CONSIDERED  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW  
 2300  
 DRAWING NO.  
 DD303  
 ISSUE NO.  
 06  
 SCALE  
 @A3



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 F:\Current Projects\Guy Bunder\Bruce Street\2020-2022\_New Build\_24\_RM3.pln



DATUMS OF NEIGHBOURING TERRACES REFLECTED IN NEW BUILD

DETAILED BRICKWORK PARAPET

NON-DESCRIPT SIDE BOUNDARY WALL

CHANGE OF MATERIAL BEYOND FRONT FACADE

DETAILED METALWORK ON FRONT FACADE AND BALUSTRADE

PROPOSED OPTION PERSPECTIVE - OPTION 1



BLACK BRICKWORK



BLACK POWDERCOATED BATTENED BALUSTRADE AND CARPARK SCREEN



BLACK POWDERCOATED GLAZING FRAMES



BLACK PAINTED STEELWORK



NON-DESCRIPT OFF-FORM PRECAST CONCRETE PANELS

MATERIAL SCHEDULE PROPOSED

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04	FINAL FOR APPROVAL			2/05/2022
05	FINAL FOR APPROVAL			20/05/2022

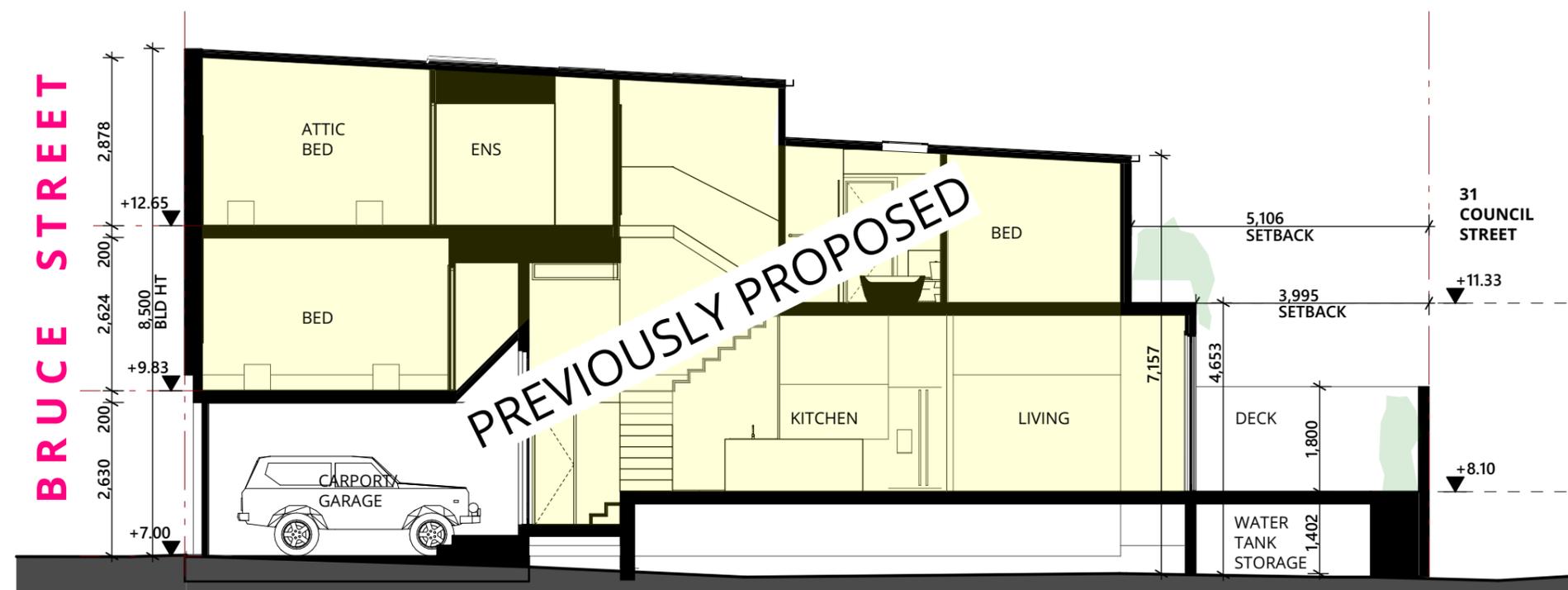
PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 REVISED STREETScape-Proposed Option  
 PROJECT NO.  
 2020-202

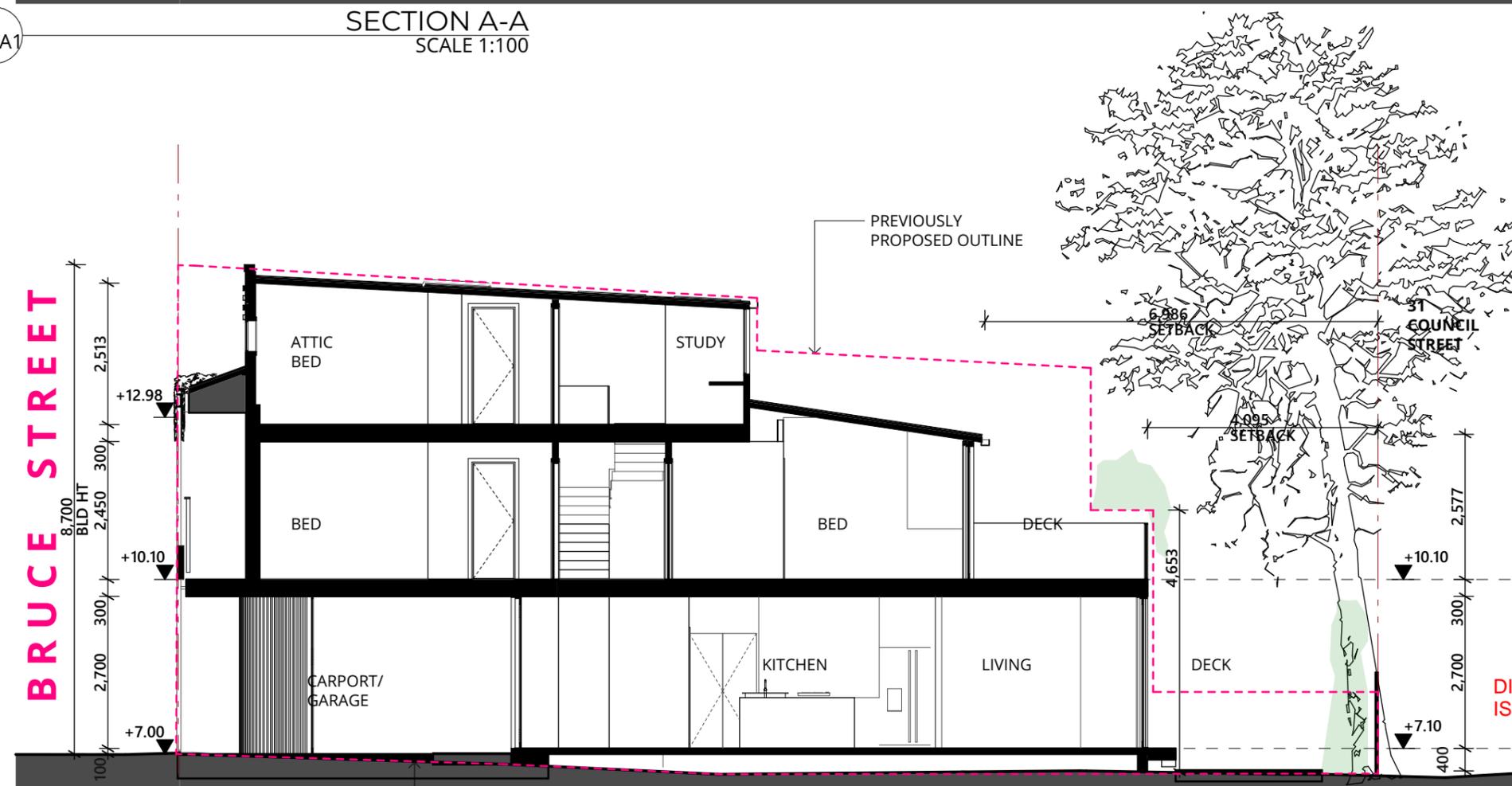
LOCATION  
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 DRAWING NO. DD304  
 ISSUE NO. 05  
 SCALE 1:4.17@A3



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 F:\Current Projects\Guy Bunder\Bruce Street\2020-2022\_New Build\_24\_RM3.pln



SECTION A-A  
SCALE 1:100



SECTION A-A  
SCALE 1:100

A1

A1

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07	REVISED FOR RFI RESPONSE			10/08/2021
08	REVISED FOR RFI RESPONSE			30/08/2021
09	REVISED FOR RFI RESPONSE			28/03/2022
10	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St, New Terrace

CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
SECTION

PROJECT NO.  
2020-202

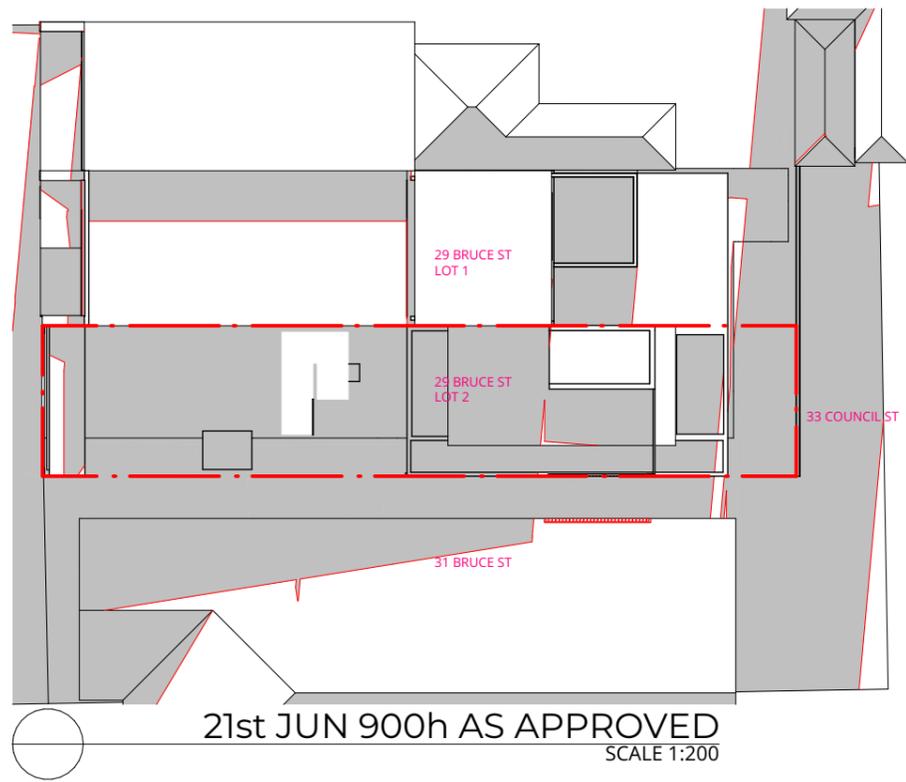
LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300

DRAWING NO.  
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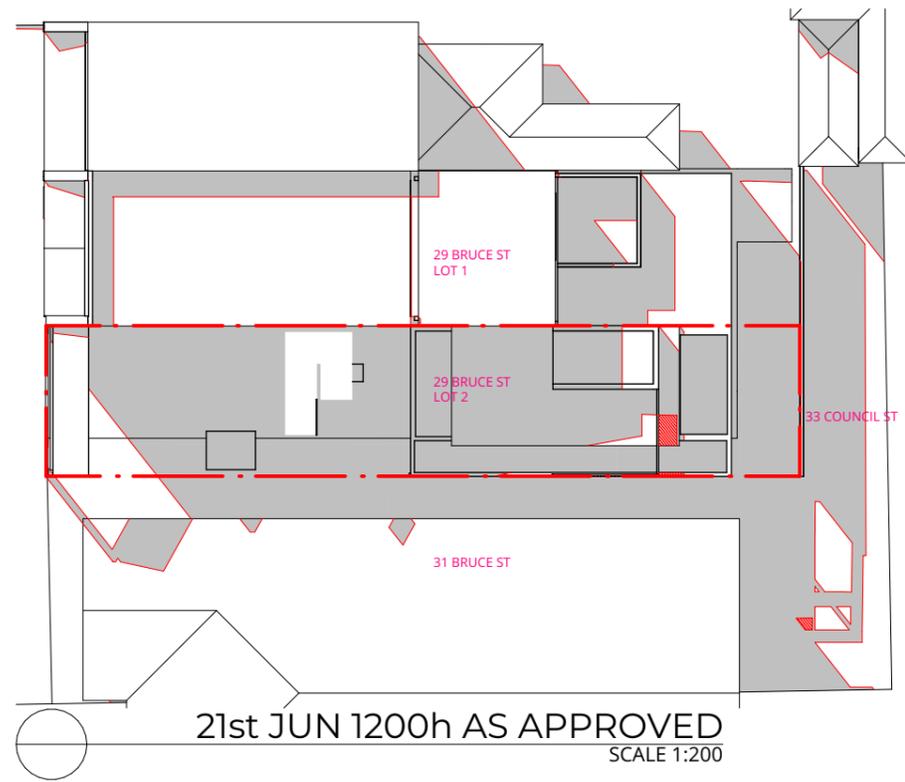
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10

SCALE  
1:100@A3

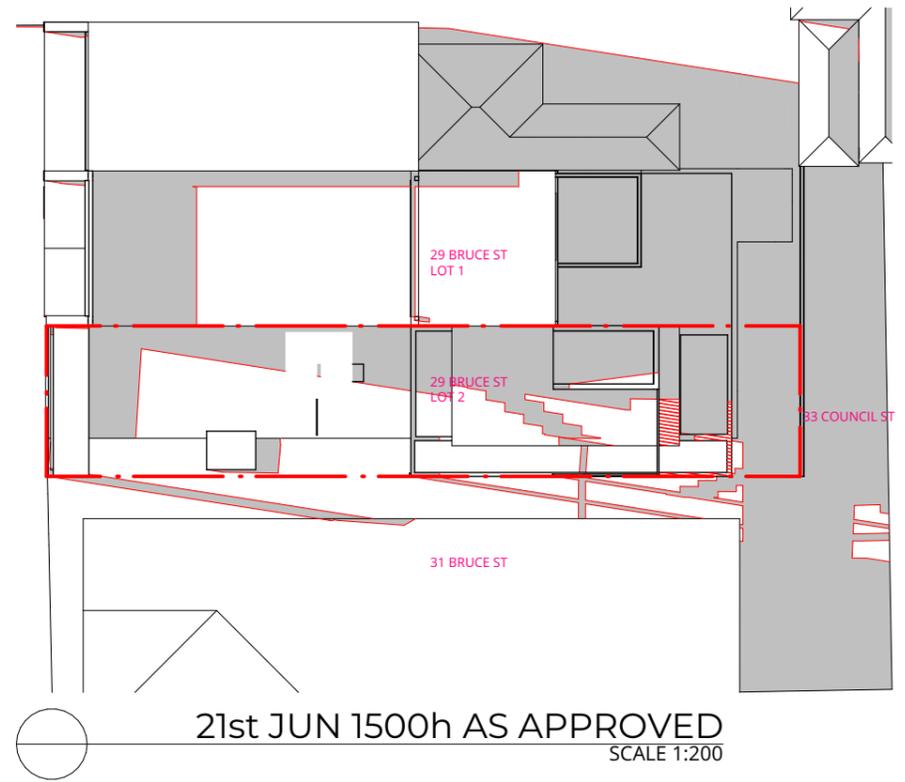




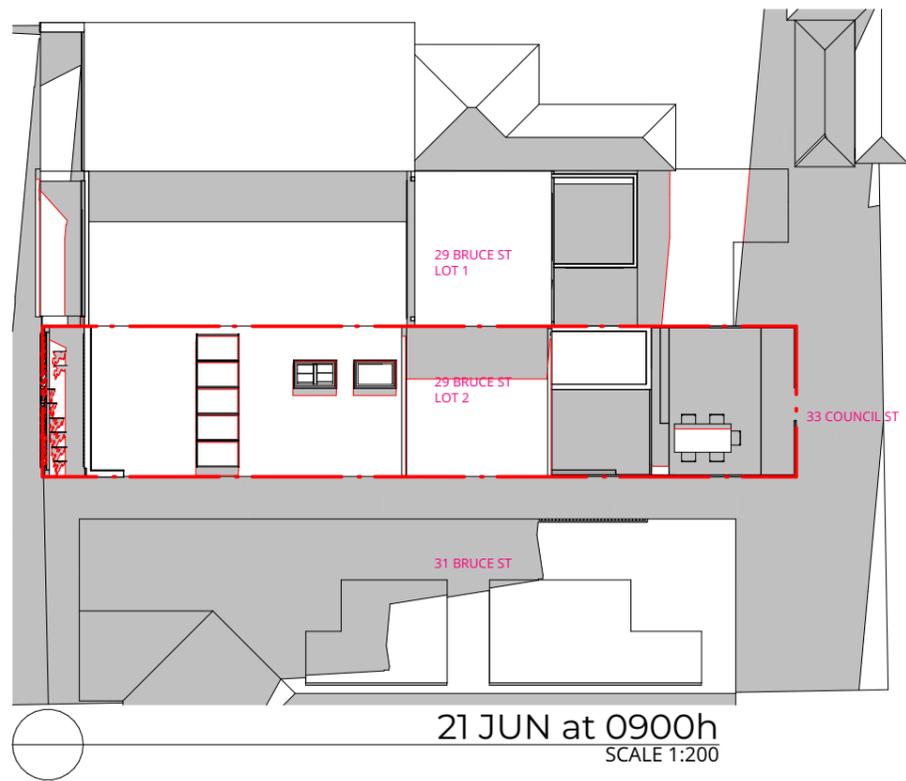
21st JUN 900h AS APPROVED  
SCALE 1:200



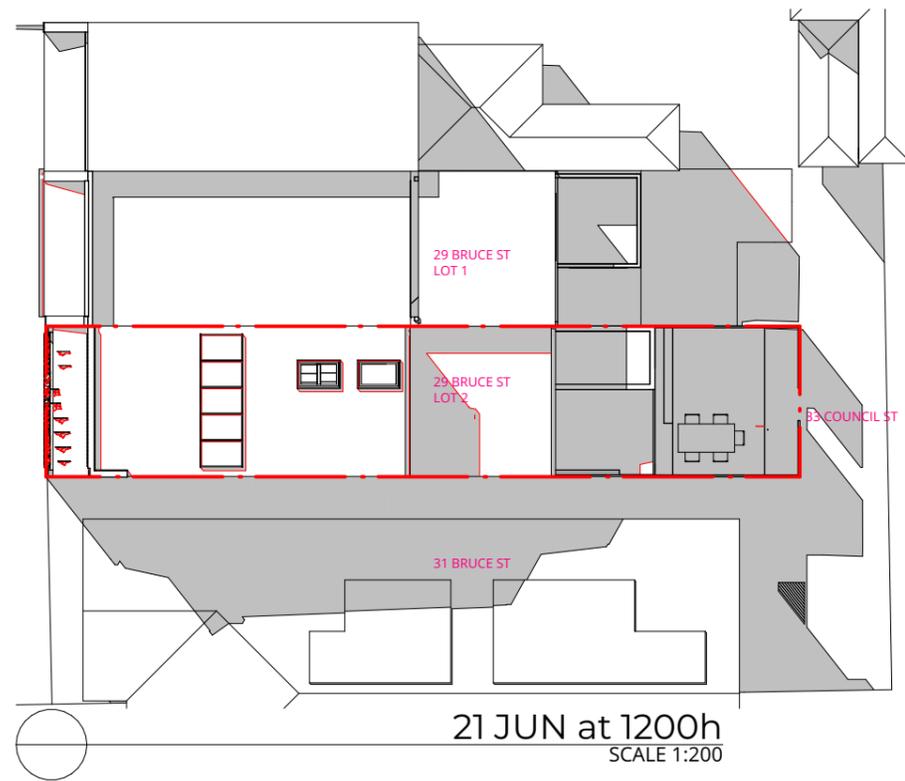
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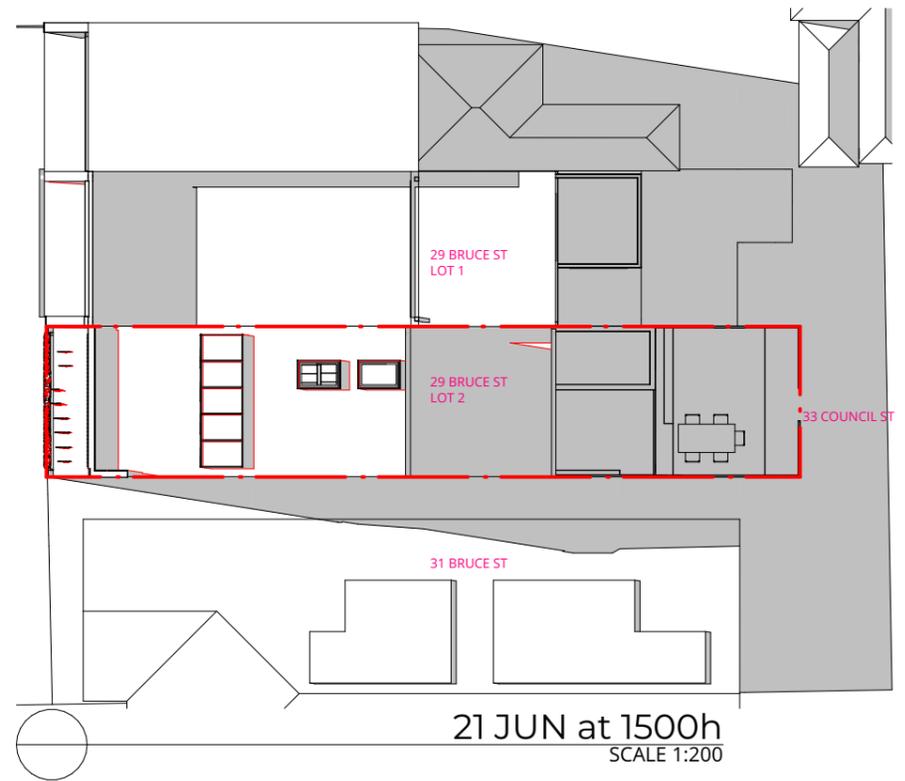
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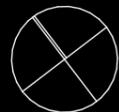
21 JUN at 0900h  
SCALE 1:200



21 JUN at 1200h  
SCALE 1:200



21 JUN at 1500h  
SCALE 1:200



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04	REVISED FOR RFI RESPONSE			10/08/2021
05	REVISED FOR RFI RESPONSE			28/03/2022
06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St\_ New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

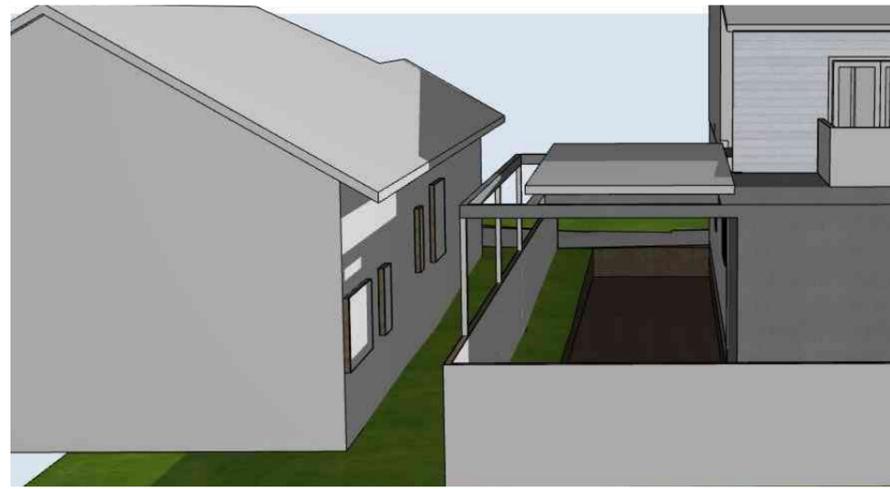
DRAWING  
SHADOW DIAGRAMS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO. DD500  
ISSUE NO. 06  
SCALE 1:200@A3





○ APPROVED JUNE 21ST 9AM  
SCALE 1:2



○ APPROVED JUNE 21ST 9:30AM  
SCALE 1:2



○ APPROVED JUNE 21ST 10AM  
SCALE 1:2



○ APPROVED JUNE 21ST 10:30AM  
SCALE 1:2



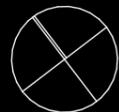
○ APPROVED JUNE 21ST 11AM  
SCALE 1:2



○ APPROVED JUNE 21ST 11:30AM  
SCALE 1:2



○ APPROVED JUNE 21ST 12PM  
SCALE 1:2



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03	REVISED FOR RFI RESPONSE			10/08/2021
04	REVISED FOR RFI RESPONSE			28/03/2022
05	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St New Terrace  
CLIENT  
Guy Bunder and Madeline  
Fitzgibbon

DRAWING  
SHADOW DIAGRAMS  
APPROVED  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW  
2300  
DRAWING NO. DD501  
ISSUE NO. 05  
SCALE 1:2@A3





Overshadowing- 9am  
SCALE 1:200



Overshadowing- 9:30am  
SCALE 1:200



Overshadowing- 10am  
SCALE 1:200



Overshadowing- 10:30am  
SCALE 1:200



Overshadowing- 11am  
SCALE 1:200



Overshadowing- 11:30am  
SCALE 1:200



Overshadowing- 12pm  
SCALE 1:200



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03	REVISED FOR RFI RESPONSE			10/08/2021
04	REVISED FOR RFI RESPONSE			28/03/2022
05	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St, New Terrace  
CLIENT  
Guy Bunder and Madeline  
Fitzgibbon

DRAWING  
SHADOW DIAGRAMS  
PROPOSED  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW  
2300  
DRAWING NO. DD502  
ISSUE NO. 05  
SCALE 1:200@A3





Overshadowing- 9am (Solar)  
SCALE 1:200



Overshadowing- 10am (solar)  
SCALE 1:200



Overshadowing- 11am (solar)  
SCALE 1:200



Overshadowing- 12pm (solar)  
SCALE 1:200



Overshadowing- 1pm (solar)  
SCALE 1:200



Overshadowing- 2pm (solar)  
SCALE 1:200



Overshadowing- 3pm (solar)  
SCALE 1:200



○ Overshadowing- 9am (2 Storey)  
SCALE 1:200



○ Overshadowing- 10am (2 Storey)  
SCALE 1:200



○ Overshadowing- 11am (2 Storey)  
SCALE 1:200



○ Overshadowing- 12pm (2 Storey)  
SCALE 1:200



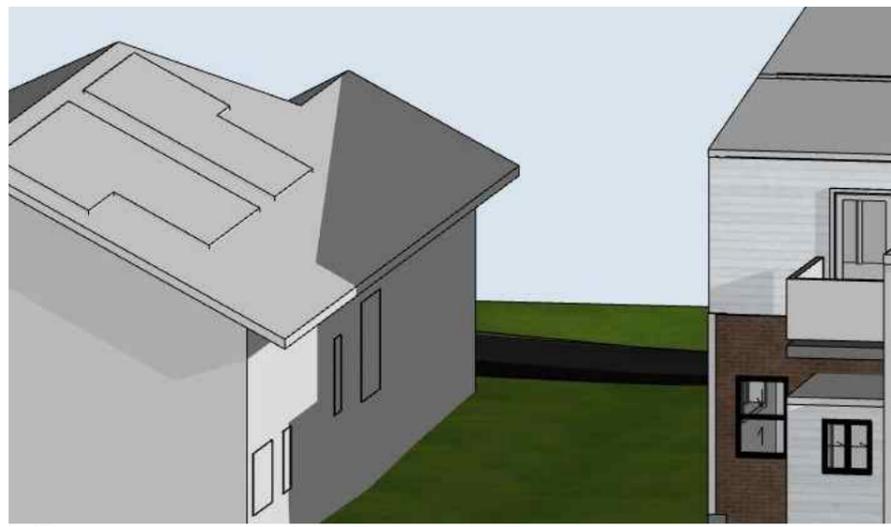
○ Overshadowing- 1pm (2 Storey)  
SCALE 1:200



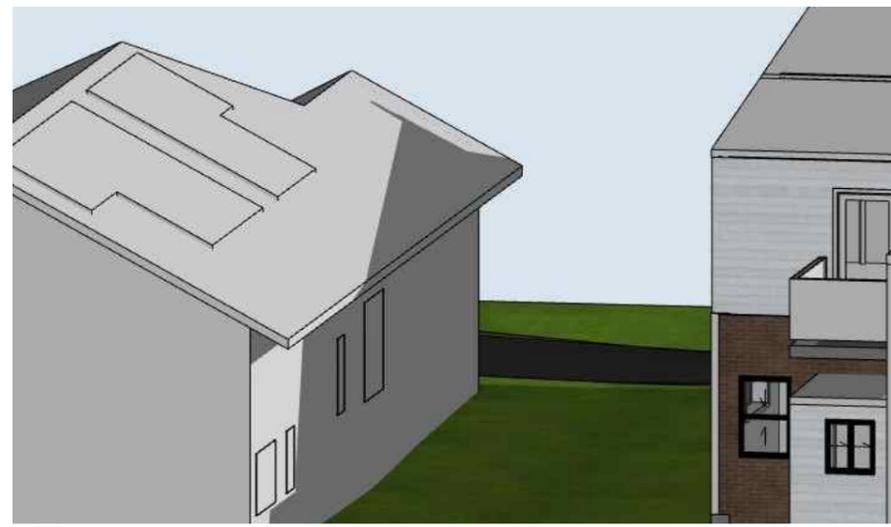
○ Overshadowing- 2pm (2 Storey)  
SCALE 1:200



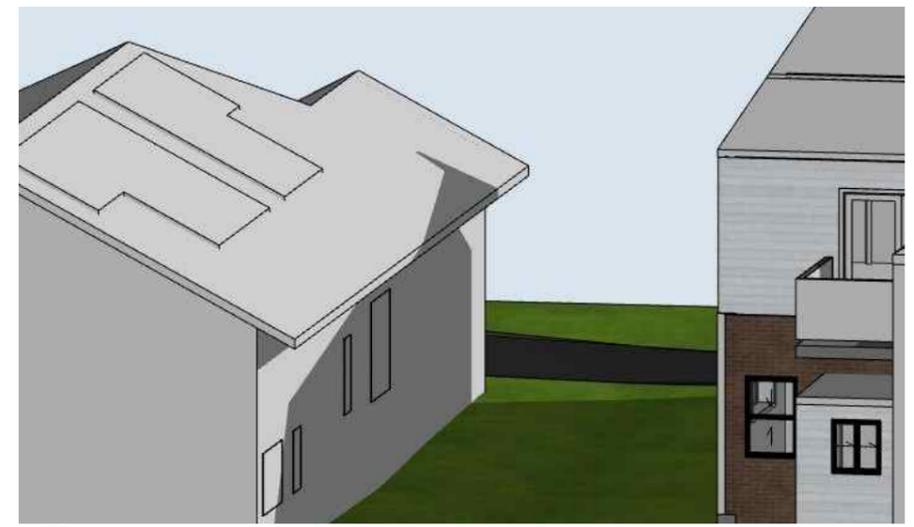
○ Overshadowing- 3pm (2 Storey)  
SCALE 1:200



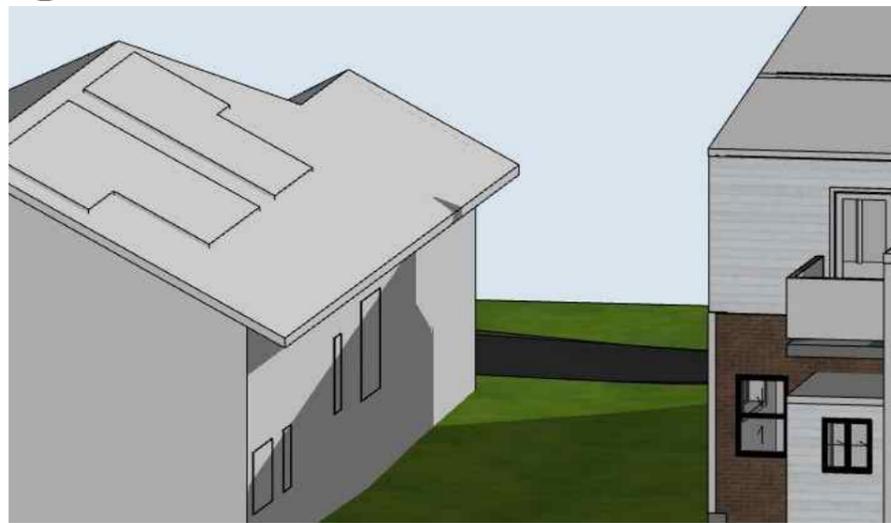
○ Overshadowing- 9am (Existing)  
SCALE 1:200



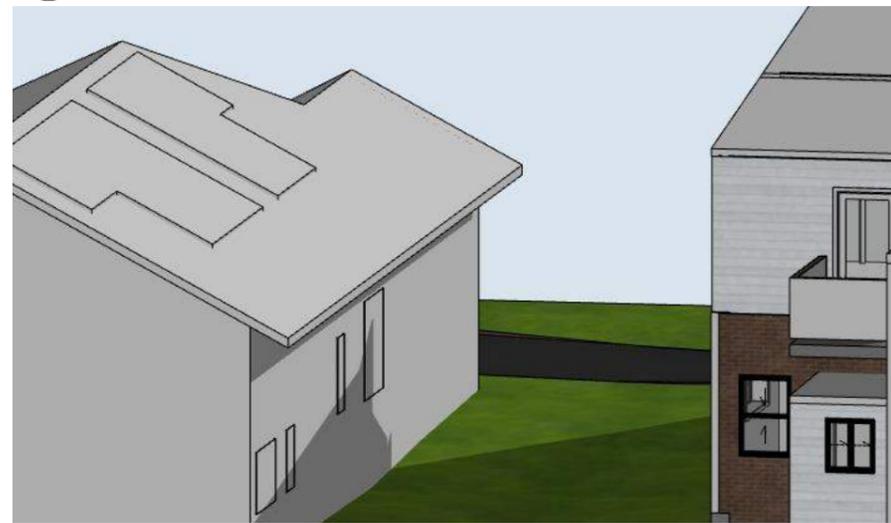
○ Overshadowing- 10am (Existing)  
SCALE 1:200



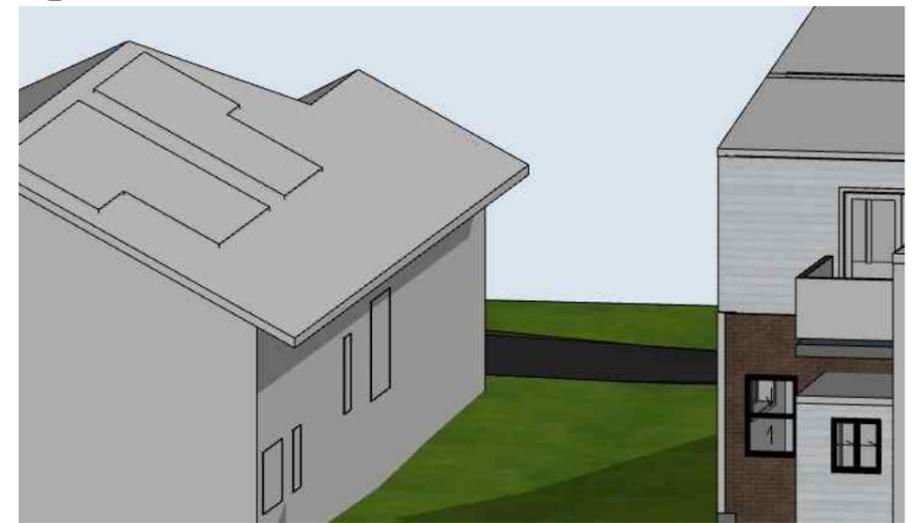
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SCALE 1:200



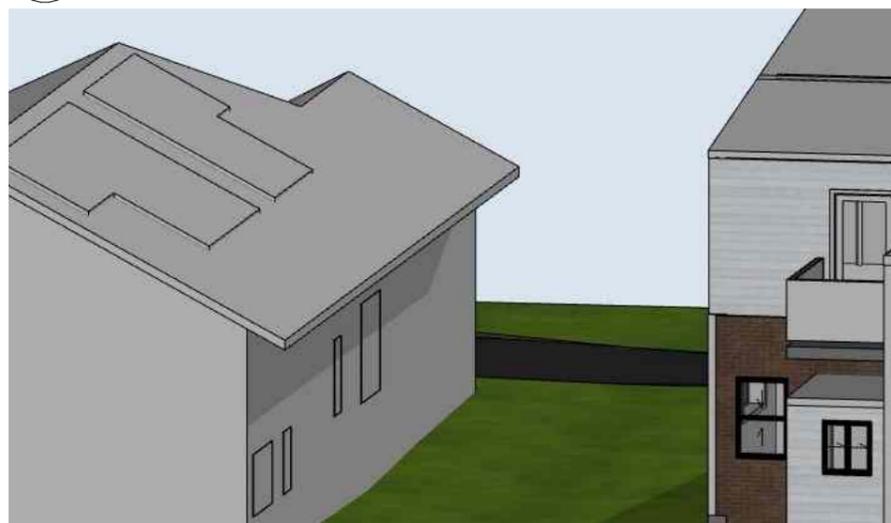
○ Overshadowing- 12pm (Existing)  
SCALE 1:200



○ Overshadowing- 1pm (Existing)  
SCALE 1:200



○ Overshadowing- 2pm (Existing)  
SCALE 1:200



○ Overshadowing- 3pm (Existing)  
SCALE 1:200



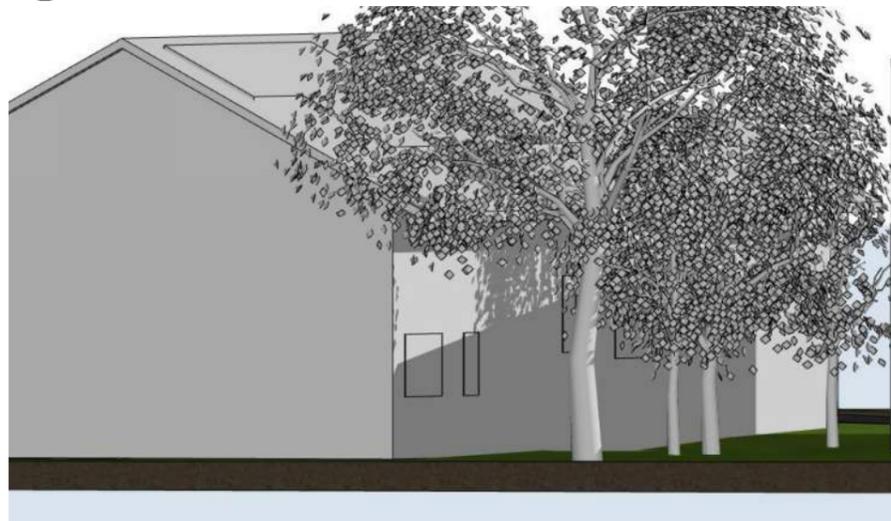
Overshadowing- 9am (Existing trees)  
SCALE 1:277.78



Overshadowing- 10am (Existing trees)  
SCALE 1:277.78



Overshadowing- 11am (Existing trees)  
SCALE 1:277.78



Overshadowing- 12pm (Existing trees)  
SCALE 1:277.78



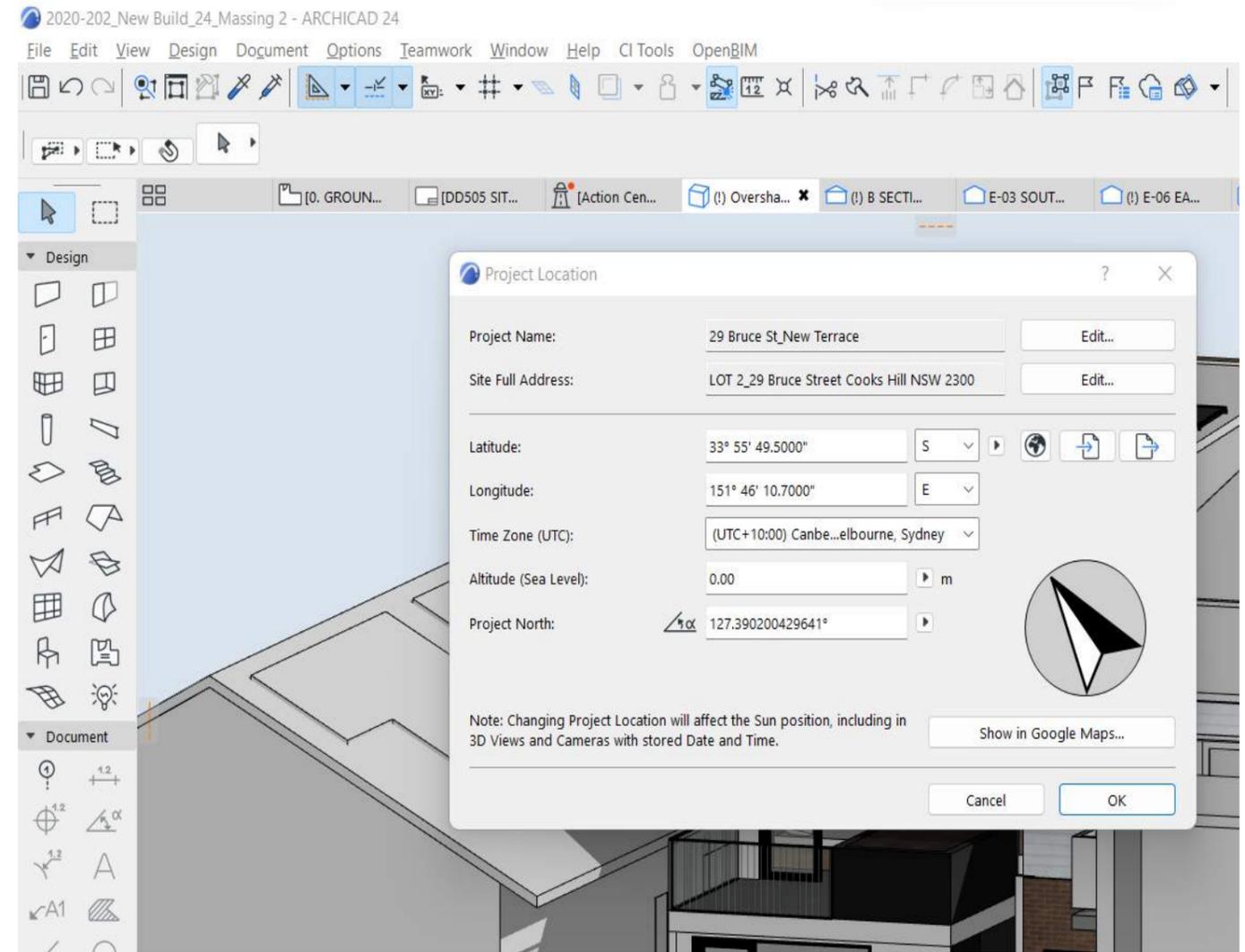
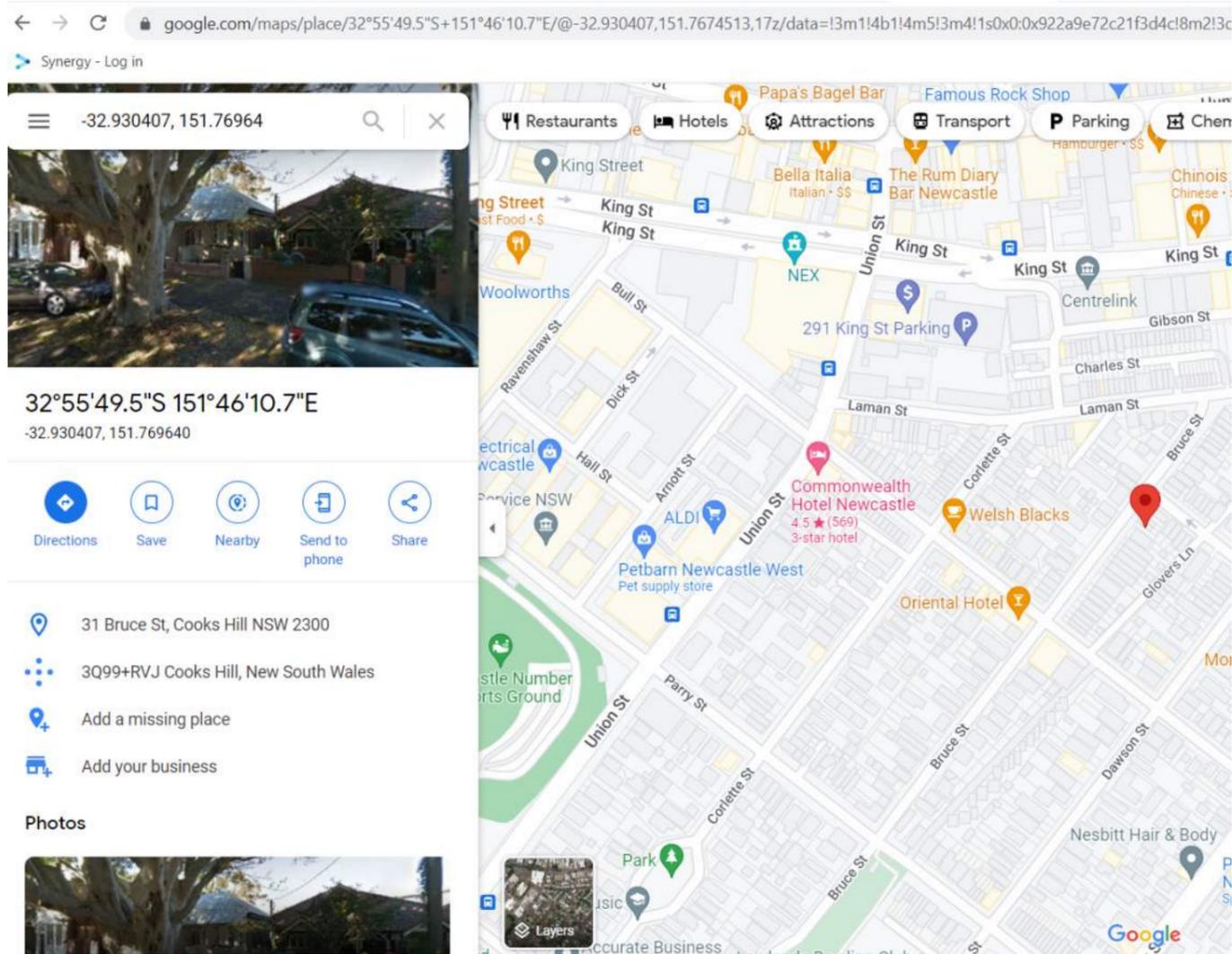
Overshadowing- 1pm (Existing trees)  
SCALE 1:277.78



Overshadowing- 2pm (Existing trees)  
SCALE 1:277.78



Overshadowing- 3pm (Existing trees)  
SCALE 1:277.78



## ARCHITECTURAL MODEL PRODUCTION

- SDA MODELS ALL OF OUR PROJECTS IN GRAPHISOFT ARCHICAD. THIS IS THE INDUSTRY LEADING ARCHITECTURAL SOFTWARE AND REGARDED AS THE MOST ACCURATE MODELLING SOFTWARE.
- ALL ARCHITECTURAL MODELS ARE PRODUCED USING SURVEY INFORMATION SUPPLIED AND ARE THOROUGHLY CHECKED FOR ACCURACY.
- SUNLIGHT IS MODELLED BASED UPON NORTH POINT SUPPLIED BY SURVEYOR AND COORDINATES (LATTITUDE AND LONGITUDE OF THE SITE). ACCURACY OF SHADOWS IS BASED ON BEST PRACTICE AND RELIES UPON THE ACCURACY OF THE SOFTWARE.

**DD50**  
**7**

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## SITE LOCATION- COORDINATES

PROJECT NO. 2020-202  
PROJECT 29 Bruce St\_New Terrace

ISSUE NO. 01  
SCALE @A3

**SDA**  
SPACE · DESIGN · ARCHITECTURE



CONNECTION TO  
PARAPET IS LOST IN 2  
STOREY OPTION.

LONGER BOUNDARY  
WALL AT FIRST FLOOR  
THAN PROPOSED,  
REDUCES DAYLIGHT INTO  
KITCHEN WINDOW IN MID  
WINTER

LONGER BOUNDARY  
WALL AT FIRST FLOOR  
LEVEL RESTRICTS VIEW OF  
SKY FROM KITCHEN  
WINDOW

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 19/07/2022 – DA2021/00281 - 29 BRUCE STREET COOKS HILL**

**ITEM-9**            **Attachment B:**      Draft Schedule of Conditions

**DISTRIBUTED UNDER SEPARATE COVER**



**Attachment B**

**DRAFT SCHEDULE OF CONDITIONS**

---

<b>Application No:</b>	DA2021/00281
<b>Land:</b>	Lot 2 DP 799875
<b>Property Address:</b>	29 Bruce Street Cooks Hill NSW 2300
<b>Proposed Development:</b>	Dwelling house

---

**SCHEDULE 1**

**Approved Documentation**

1. The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

<b>Plan No / Supporting Document</b>	<b>Reference / Version</b>	<b>Prepared by</b>	<b>Dated</b>
Ground + First Floor Plans	2020-202 Issue 08 DD200	SDA	02/05/2022
Attic Floor + Roof Plan	2020-202 Issue 07 DD201	SDA	02/05/2022
Elevation Plan	2020-202 Issue 08 DD301	SDA	02/05/2022
Streetscape Perspective	2020-202 Issue 05 DD304	SDA	20/05/2022
Section Plan	2020-202 Issue 10 DD400	SDA	02/05/2022
Arborist Report	-	Abacus Tree Services	30/08/2021
BASIX Report	1176669S_02	SDA	30/08/2021

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE**

2. The car parking and vehicular access are to be designed to comply with the relevant provisions of *AS/NZS 2890 Parking facilities*. Details are to be included in documentation for a Construction Certificate application.

3. All proposed driveways, parking bays, loading bays and vehicular turning areas are to be constructed with a basecourse of a depth to suit design traffic and be sealed with either bitumen seal, asphaltic concrete, concrete or interlocking pavers. Details are to be included in documentation for a Construction Certificate application.
4. Roof water from the proposed new work is to be directed to the proposed water tank with a minimum capacity of 4000 litres and being reticulated to any new toilet cisterns and cold water washing machine taps, with a mains water top up being installed to maintain between 10% and 15% of the tank capacity. Alternatively, an electronically activated mechanical valve device is to be installed to switch any new toilet cisterns and laundry taps to mains water when the tank falls below 10% capacity. The water tank and plumbing is to be designed in accordance with the Plumbing Code of Australia (National Construction Code Volume 3). Full details are to be included in documentation for a Construction Certificate application.
5. Overflows from the roof water tank and any additional discharge controls (if required) are to be directed to City of Newcastle's drainage system by means of an interallotment drainage line or underground pipe directly to the street gutter. Details are to be included in documentation for a Construction Certificate application.
6. All new impervious surfaces, including driveways and paved areas are to be drained to the nominated discharge controls. Details are to be included in documentation for a Construction Certificate application.
7. The floor level of all proposed buildings or building additions is to be verified on plans for a Construction Certificate application to be 6.52m Australian Height Datum.
8. Site and construction works are to be completed in accordance with the approved Arborist report. Full details are to be included in documentation for a Construction Certificate application.
9. The applicant is to comply with the requirements of the Hunter Water Corporation in respect of any building or structure proposed to be erected over any services or drain under the Corporation's control. Details addressing any requirements of the Hunter Water Corporation are to be included in documentation for a Construction Certificate application.
10. Working drawings and specifications of the proposed building are to be submitted to Subsidence Advisory NSW for approval prior to an application for a Construction Certificate and any requirements of Subsidence Advisory NSW are to be included in the documentation for a Construction Certificate application.
11. Brickwork is to be face brick and not painted. Full details are to be included in documentation for a Construction Certificate application.
12. The roof garden above the balcony to the street frontage elevation (west elevation) is not approved under this application. The fascia, gutter, roof pitch and awning structure is to match the adjoining approved dwelling at 29 Bruce Street (DA2021/00474) and the existing terrace at 27 Bruce Street. Roof sheeting is to be a corrugated metal sheet in a shale grey or zincalume finish. Full details are to be included in documentation for a Construction Certificate application.
13. As per the approved Ground Floor Plan, the air conditioning condenser is to be mounted to the south-east internal wall of the carport, 1500mm above the finished floor level. Full details are to be included in documentation for a Construction Certificate application.

14. A privacy screen is to be provided along the full length of the south-west elevation of the first floor deck ('DECK 7.59m<sup>2</sup>'), to a height of at least 1.5 metres above the finished floor level of the deck. The privacy screen shall have a maximum area of 25% openings, be permanently fixed and be made of durable materials. Full details are to be included in the documentation for a Construction Certificate application.

**CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE**

15. Building demolition is to be planned and carried out in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*.
16. If the development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, including a structure or work in a road or rail corridor, the person having the benefit of the development consent is to, at that person's own expense:
  - (a) protect and support the building, structure or work on adjoining land from possible damage from the excavation, and
  - (b) where necessary, underpin the building, structure or work on adjoining land to prevent damage from the excavation.

The above requirements do not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to the condition / requirements not applying.

17. A Registered Surveyor's certificate detailing the setting out of the proposed building on the site, including the relationship of the set out building to property boundaries, is to be submitted to the Principal Certifier before construction is commenced.
18. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
19. During construction works, an assessment of acid sulfate soil potential is to be undertaken in the area of excavation. If acid sulfate soils are found to be present, soils are to be treated in accordance with the New South Wales Acid Sulfate Soil Management Advisory Committee's '*Acid Sulfate Soil Manual*'.
20. Sandstone kerbing is to be protected for the duration of the works.
21. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

- a) Be a standard flushing toilet connected to a public sewer, or
- b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- c) Be a temporary chemical closet approved under the *Local Government Act 1993*.

22. Any waste containers used in association with the proposed demolition are to be located on the site where possible.

Note: Where this is not feasible, an application is to be made for the approval to position the container on the adjacent public road in accordance with the Council's adopted Building Waste Container Policy.

23. Any demolition/waste building materials that are not suitable for recycling are to be disposed of at City of Newcastle's Summerhill Waste Management Facility or other approved site.

24. Waste management is to be implemented in accordance with the approved Waste Management Plan. At a minimum, the following measures are to be implemented during the construction phase:

- a) A waste container of at least one cubic metre capacity is to be provided, maintained and regularly serviced from the commencement of operations until the completion of the building, for the reception and storage of waste generated by the construction of the building and associated waste;
- b) The waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets;
- c) Provision is to be made to prevent windblown rubbish leaving the site; and
- d) Footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997*.

25. A rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:

- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
- b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes, and
- c) stating that unauthorised entry to the work site is prohibited, and
- d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the Building Code of Australia under the Act, Part 6.

26. Building work must be carried out in accordance with the requirements of the Building Code of Australia.
27. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.
28. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
29. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves, including the road reserve, is not permitted.
30. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.
31. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
  - Monday to Friday, 7:00 am to 6:00 pm and
  - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

32. Council's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by Council, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

33. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4<sup>th</sup> Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
34. Prior to the commencement of work, a 3.0m wide all-weather vehicle access is to be provided from the kerb and gutter to the building under construction, to reduce the potential for soil erosion. Sand or soil is not to be stockpiled on the all-weather vehicle access.

35. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
36. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.

**CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE**

37. All commitments listed in the relevant BASIX certificate for:
  - a) BASIX development,
  - b) BASIX optional development, if the development application was accompanied by a BASIX certificate.are to be satisfactorily completed prior to the issue of an Occupation Certificate.

Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the Newcastle City Council with Occupation Certificate documentation.

38. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
39. All works within the road reserve required by this consent are to be completed prior to the issue of a Occupation Certificate.
40. The water management measures as indicated on the submitted plans and Statement of Environmental Effects and/or as modified under the terms of this consent are to be implemented and the nominated fixtures and appliances are to be installed and operational prior to issue of an Occupation Certificate.
41. The premises are to be identified by the provision of house numbers on the building exterior and mailbox such that they are clearly visible from the road frontage.

The minimum numeral height is to be 75mm.

## CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

42. The premise is allocated the following street address in accordance with City of Newcastle's *House Numbering Policy* and the *Surveying and Spatial Regulation*.

City of Newcastle allocated street address				
Dwelling number on plan	House number	Street name	Street type	Suburb
Proposed Dwelling (Lot 2 DP799875)	29A	Bruce	Street	Cooks Hill

## ADVISORY MATTERS

- For the purpose of applying the provisions of the National Construction Code for class 1, 2, 3, 4, 9a (health care) and 9c (aged care) buildings, it is advised that the proposed building is located in a Flood Hazard Area and the:
  - Defined Flood Level (DFL) is 6.02m Australian Height Datum (AHD)
  - Flood Hazard Level is 6.52m AHD (Freeboard is 500mm above DFL)
  - Maximum Flow Velocity of floodwaters for the Defined Flood Event is 0.1m/s
- The applicant must ensure that if unexpected archaeological deposits or relics not identified and considered in the supporting documents for this approval are discovered, work must cease in the affected area(s) and the Heritage Council of NSW must be notified. Additional assessment and approval may be required prior to works continuing in the affected area(s) based on the nature of the discovery.

Note: Heritage NSW can be contacted on 02 9873 8500 or [heritagemailbox@environment.nsw.gov.au](mailto:heritagemailbox@environment.nsw.gov.au). A 'relic' is any deposit, object or material evidence that relates to the settlement of New South Wales, not being Aboriginal settlement, and is of State or local significance. It is an offence under the provisions of the Heritage Act 1977 (NSW) for a person to disturb or excavate any land upon which the person has discovered a relic except in accordance with a gazetted exemption or an excavation permit issued by the Heritage Council of NSW.

- Should any Aboriginal objects be uncovered by the work which is not covered by a valid Aboriginal Heritage Impact Permit, excavation or disturbance of the area is to stop immediately and Heritage NSW is to be informed in accordance with the National Parks and Wildlife Act 1974. Works affecting Aboriginal objects on the site must not continue until Heritage NSW has been informed and the appropriate approvals are in place. Aboriginal objects must be managed in accordance with the National Parks and Wildlife Act 1974.
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- An application is to be submitted to the City of Newcastle for the removal or pruning of any trees located more than three metres from the dwelling wall, measured from the centre of the trunk to the footings of the dwelling, excluding carports and pergolas.

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- Any approval for fences on side boundaries, common to other private properties, is independent of any consent or agreement which may be required from any adjoining owner under the provisions of the *Dividing Fences Act 1991*.
- Prior to commencing any building works, the following provisions of Division 6.2 of the Environmental Planning and Assessment Act 1979 are to be complied with:
  - a) A Construction Certificate is to be obtained; and
  - b) A Principal Certifier is to be appointed for the building works and Newcastle City Council is to be notified of the appointment; and
  - c) Newcastle City Council is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Section 37 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* (NSW).
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.

**END OF CONDITIONS**

## SCHEDULE 2

### REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- Any issues raised in submission have been taken into account in the assessment report and where appropriate conditions of consent have been included in the determination.

### REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**DAC 19/07/2022 – DA2021/00281 - 29 BRUCE STREET COOKS HILL**

**ITEM-9**      **Attachment C:**      Processing Chronology

**DISTRIBUTED UNDER SEPARATE COVER**



**PROCESSING CHRONOLOGY**

**DA2021/00281 – 29 Bruce Street Cooks Hill**

10 March 2021	-	Application lodged.
11 March 2021	-	Internal referral commenced: Heritage (1 <sup>st</sup> referral).
23 March 2021 – 12 April 2021	-	Application notified in accordance with CN's CPP. 46 submissions (including two submissions of support) received in response.
17 May 2021	-	Internal referral received: Heritage (1 <sup>st</sup> referral).
27 May 2021	-	Request for additional information issued: BASIX, heritage, landscaping, solar, access, view sharing, vegetation management, response to CCP.
31 August 2021	-	Additional information received from applicant.
31 August 2021	-	Internal referral commenced: Heritage (2 <sup>nd</sup> referral).
8 September 2021 – 22 September 2021	-	Application renotified in accordance with CN's CPP. 25 submissions (including 6 submissions that emanated from 3 households) received in response.
16 December 2021	-	Internal referral received: Heritage (2 <sup>nd</sup> referral).
16 December 2021	-	Request for additional information issued: heritage, solar access, response to CCP.
31 March 2022	-	Additional information received from applicant.
31 March 2022	-	Internal referral commenced: Heritage (3 <sup>rd</sup> referral).
13 April 2022	-	1 submission resolved during assessment. 24 unresolved submissions remain with this application.
20 May 2022	-	Additional information received from applicant (current amended plans).
24 May 2022	-	Internal referral received: Heritage (3 <sup>rd</sup> referral).
27 May 2022	-	Application called up to DAC by Councillor Duncan and Councillor Clausen.
14 June 2022	-	Public Voice Committee meeting.