

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**PV 15/06/21 – 40 KING STREET ADAMSTOWN – DA2020/01525 -  
RECREATION FACILITY (OUTDOOR) - ANCILLARY STRUCTURE  
(MAINTENANCE SHED)**

**PAGE 3**      **ITEM - 2**      **Attachment A:**      Submitted Plans

**PAGE 24**      **ITEM - 2**      **Attachment B:**      Processing Chronology

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RECREATION FACILITY (OUTDOOR) - ANCILLARY STRUCTURE  
(MAINTENANCE SHED)**

**ITEM - 2      Attachment A:      Submitted Plans**

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**Site - General Description**

This landscape design report has been prepared in accordance with the requirements of The City of Newcastle's Development Control Plan 2012. The subject site consists of part Lot 4, DP 1223244. The lot is zoned RE2 Private Recreation. Currently the proposed development area consists of golf fairways. Surrounding development is of a residential nature.

**Proposed Development**

The proposed development includes a green keepers shed, fueling station, washdown area, retaining walls and entry to June Street. The proposed shed is cut into the existing topography so only a portion of the roof will be visible.

**Proposed Landscape Works and Objectives**

- Compensatory planting of nine large tree species located by the course superintendent to allow for clear playing lines. Trees to be 75 litre and consist of thick fibrous bark species to minimise damage by golf balls. Refer to plant schedule and arborist report prepared by Arbour Views.
- Screening trees and shrubs to the northern, eastern and southern sides of the development to supplement screening provided by existing stands of trees.
- Planting of low grasses, ground covers and accent plants in front of tee off areas and entry to June Street.

**PLANTING SCHEDULE**

Botanical Name	Common Name	Pot Size	Density/Spacing	QTY	Mature Size HxWm
<b>Compensatory Trees</b>					
<i>Eucalyptus botryoides</i>	Bangalay	75 Litre	As required	5	20x12
<i>Eucalyptus micrcorys</i>	Tallow Wood	75 Litre	As required	4	20x12
<b>Trees</b>					
EE <i>Elaeocarpus eumundi</i>	Quondong	75 Litre	As shown	17	10x4
WF <i>Waterhousea floribunda</i>	Weeping Lilly Pilly	75 Litre	As shown	10	10x7
<b>Shrubs</b>					
CS <i>Callistemon 'Scarlet Flame'</i>	Bottlebrush	5 Litre	1m	30	1.5x1
SC <i>Syzygium 'Cascade'</i>	Lilly Pilly	5 Litre	1.5m	86	3x2
<b>Accents, Groundcovers and Grasses</b>					
CX <i>Carex appressa</i>	Tall Rush	50mm Tube	5m2	165	0.8x0.8
DE <i>Doryanthes excelsa</i>	Minmi Lily	5 Litre	1m	49	2x2
GP <i>Grevillea 'Poorinda Royal Mantle'</i>	Prostrate Grevillea	2.5 Litre	2m2	46	0.2x2
LT <i>Lomandra 'Tanika'</i>	Dwarf Matt Rush	Tube	5m2	155	0.7x0.7
LL <i>Lomandra longifolia</i>	Matt Rush	50mm Tube	5m2	215	1x1
MU <i>Melaleuca 'Ulladulla Beacon'</i>	Ulladulla Beacon	2.5 Litre	2m2	150	0.3x1.5
SP <i>Scaevola 'Purple Fusion'</i>	Fan Flower	1.3 Litre	3m2	141	0.2x1.5

**Drawing Schedule**

- 01- Site Analysis, Report & Plant Schedule
- 02- Landscape Concept Plan
- 03- Landscape Planting Plan
- 04- Tree Removal Plan
- 05- Compensatory Trees
- 06- Sectional Elevations
- 07- Sectional Elevations
- 08- Sectional Elevations
- 09- Sectional Elevations
- 10- Specification
- 11- Specification & Schedules

Client:  
Merewether Golf Club

Project:  
Merewether Golf Club  
Greenkeepers Shed

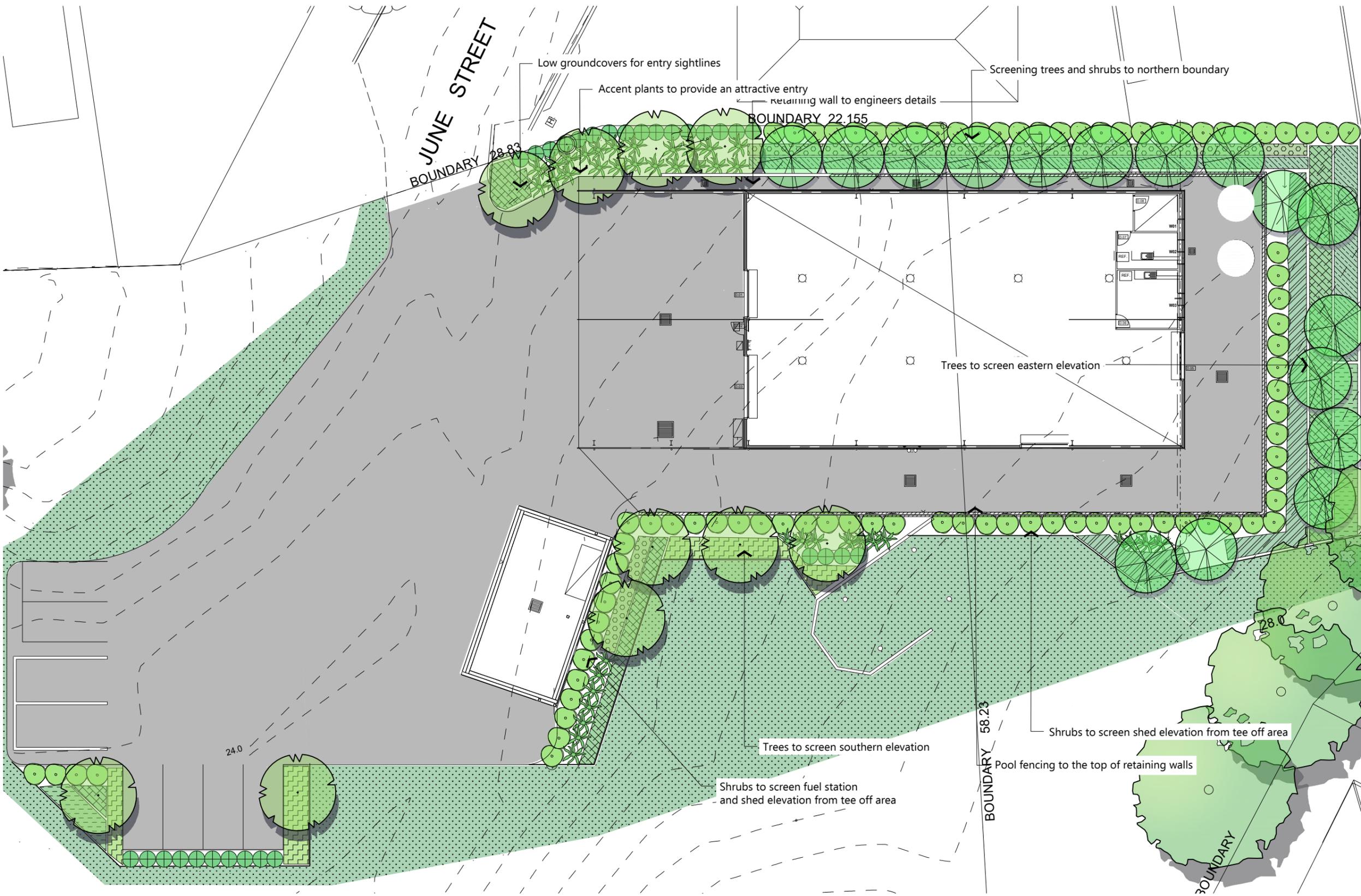
Title:  
**Site Analysis, Report  
& Plant Schedule**

Site: June Street Merewether, NSW  
Date: 18 May 2021  
Job No: 2077  
Revision:                      Sheet:

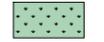
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01

Revisions		
Issue	Details	Date
A	DA Issue	16.12.20
B	DA Issue	15.04.21
C	DA Issue	20.04.21
D	DA Issue	18.05.21



**PLANTING LEGEND**

-  Trees
-  Shrubs
-  Accent Plant
-  Groundcovers & Grasses
-  Turf planting

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 w: maraconsulting.com.au



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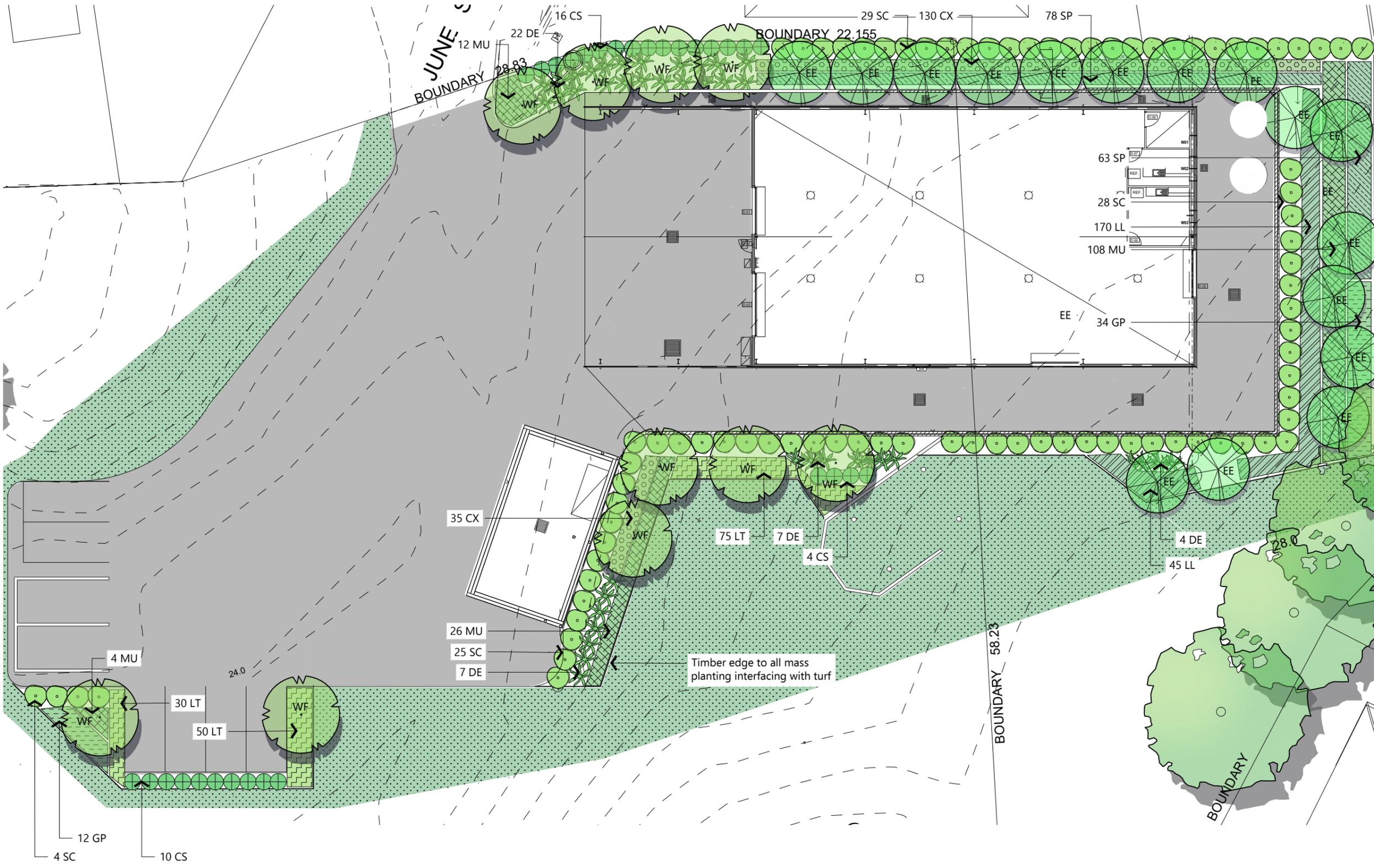
Client:  
Merewether Golf Club

Project:  
Merewether Golf Club  
Greenkeepers Shed

Title:  
**Landscape Concept  
Plan**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision:                      Sheet:

D                                      02



**PLANTING LEGEND**

- Trees
- Shrubs
- Accent Plant
- Groundcovers & Grasses
- Turf planting

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Scale 1:200 @ A3

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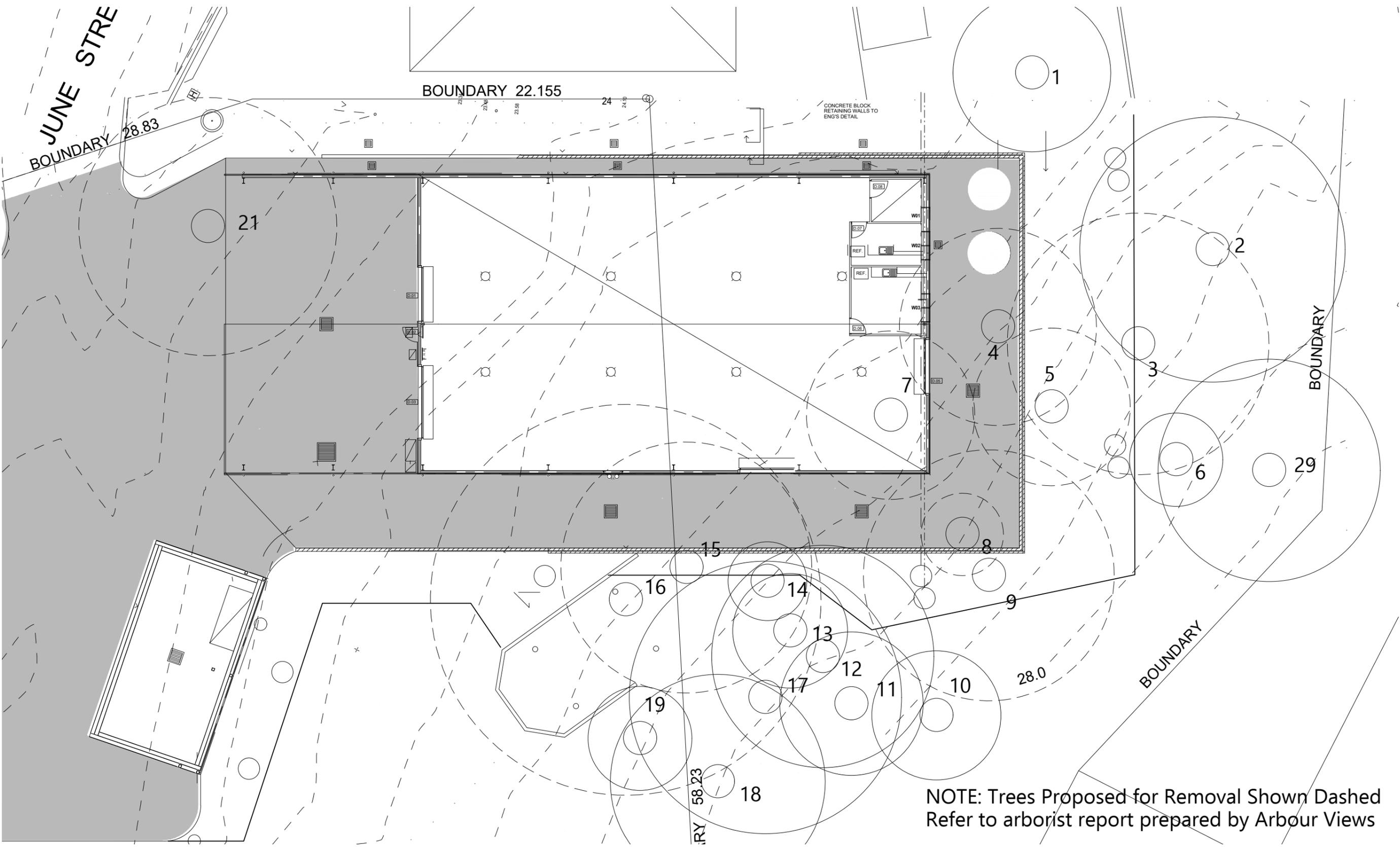
Client:  
Merewether Golf Club

Project:  
Merewether Golf Club  
Greenkeepers Shed

Title:  
**Landscape Planting Plan**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision:                      Sheet:

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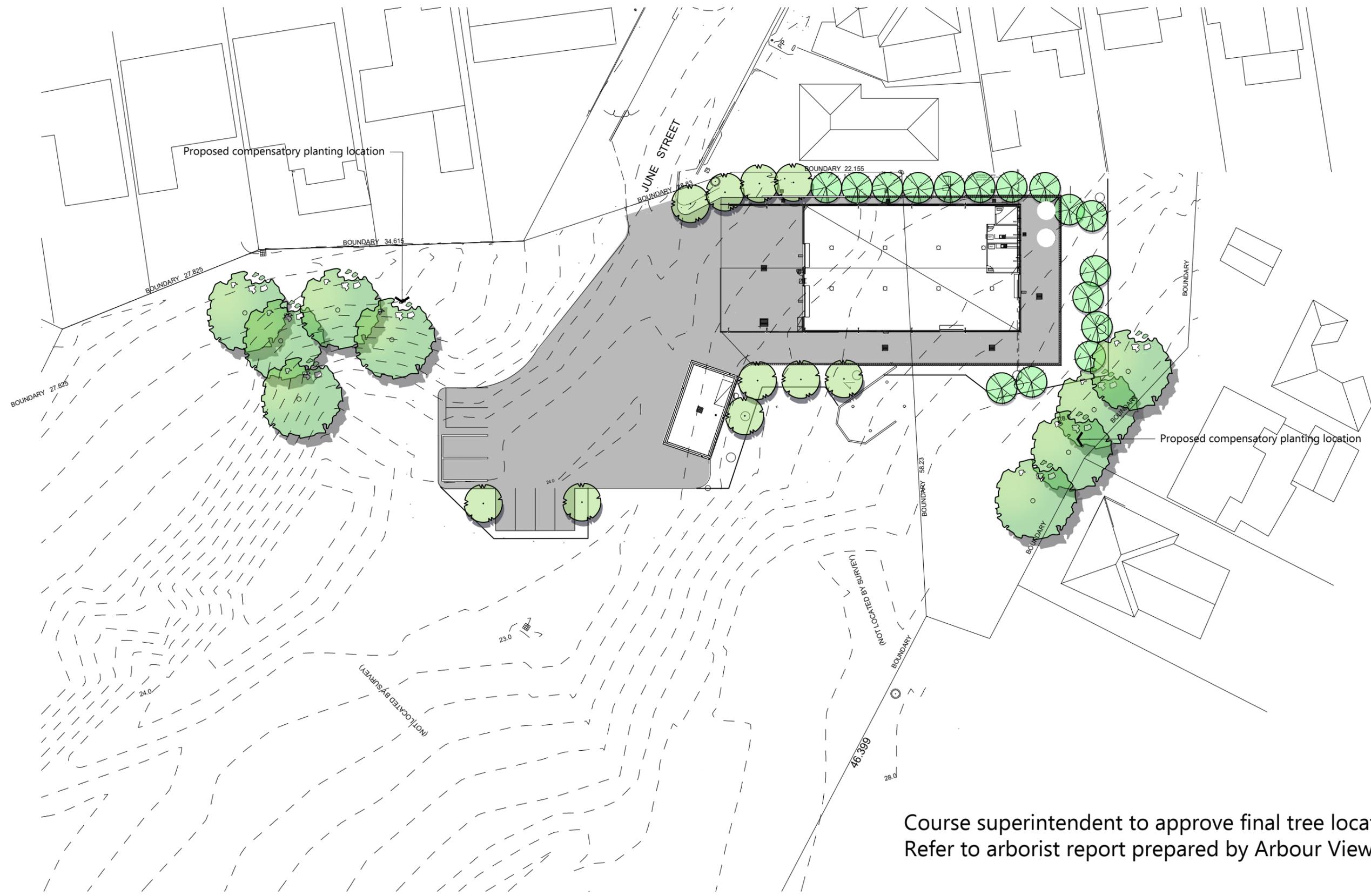
Client:  
Merewether Golf Club

Project:  
Merewether Golf Club  
Greenkeepers Shed

Title:  
**Tree Removal Plan**

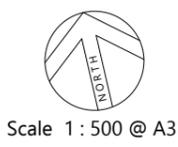
Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

D **04**



Course superintendent to approve final tree locations  
 Refer to arborist report prepared by Arbour Views

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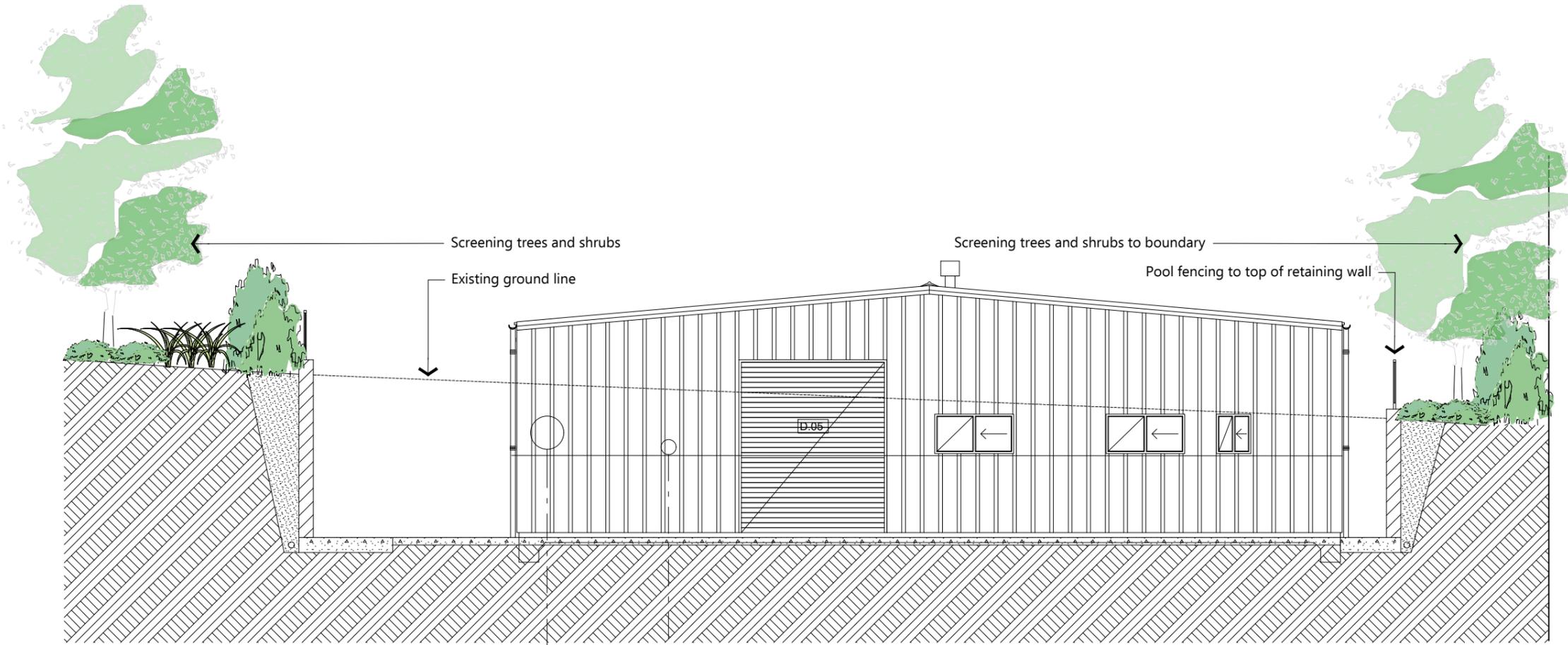
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Title:  
  
**Compensatory Trees**

Site: June Street Merewether, NSW  
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 Job No: 2077  
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D                                      05



Eastern Elevation

Scale 1 : 100 @ A3



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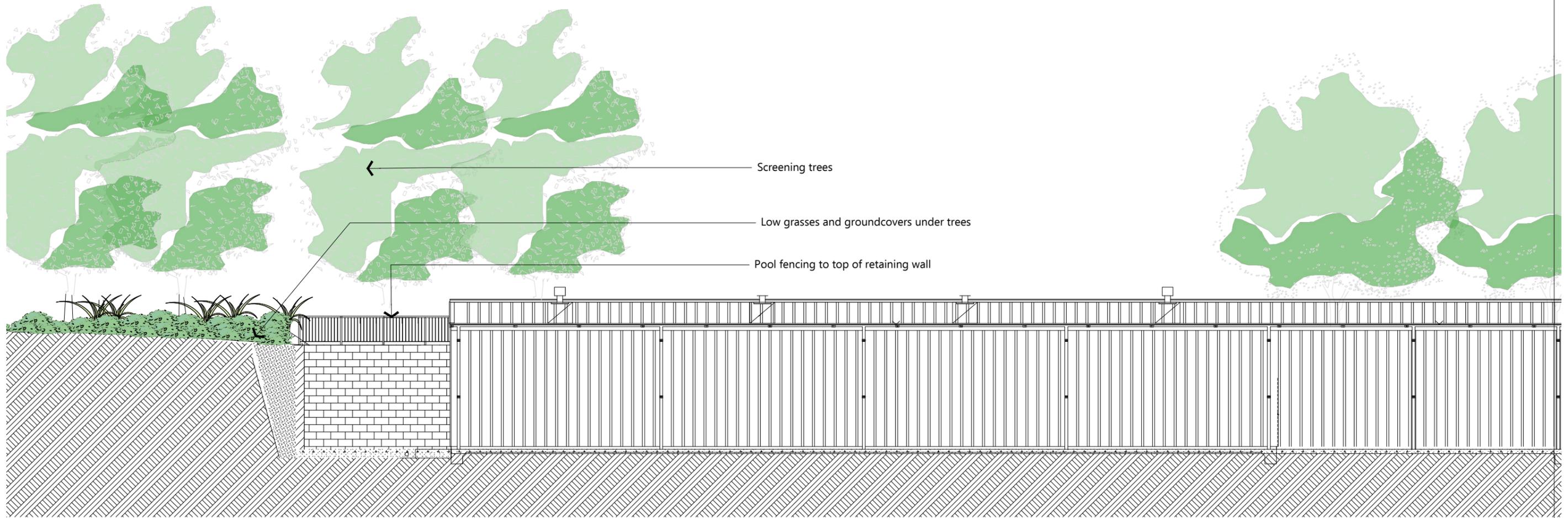
Title:

**Sectional Elevation**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

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06



Northern Elevation (Part)

Scale 1 : 100 @ A3



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Title:

**Sectional Elevation**

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 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

D

07



Western Elevation

Scale 1 : 100 @ A3



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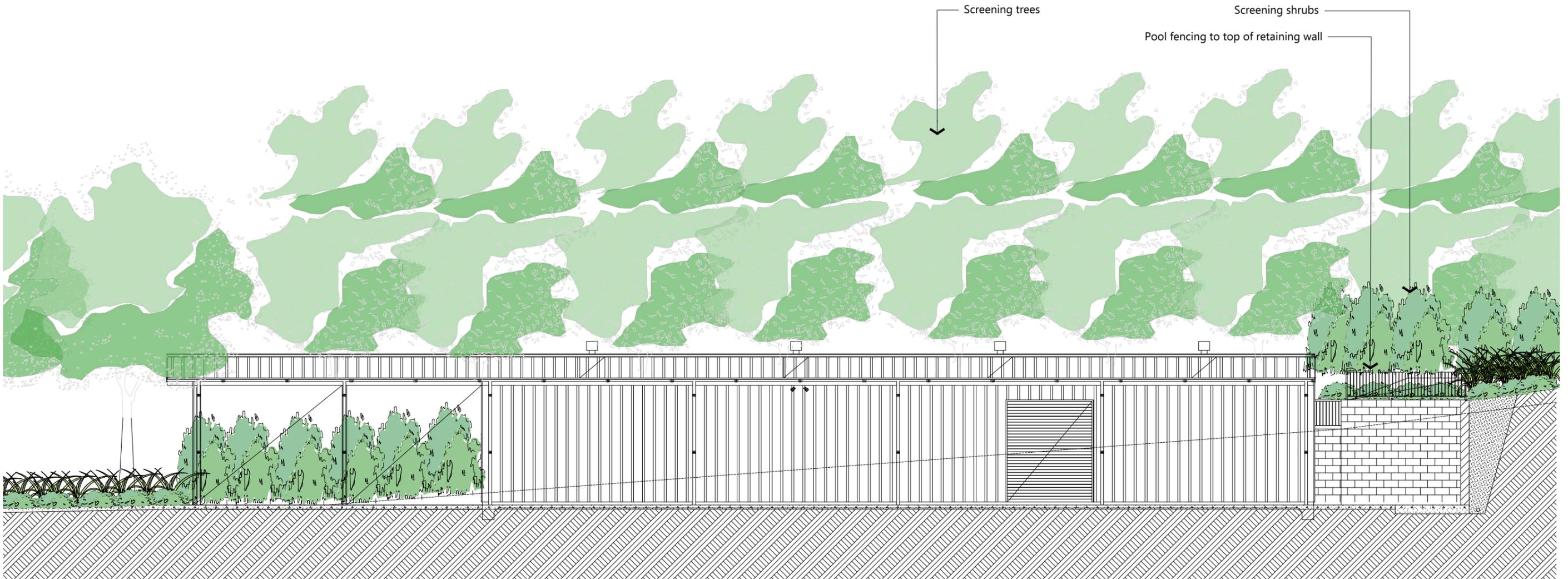
Client:  
 Merewether Golf Club  
 Project:  
 Merewether Golf Club  
 Greenkeepers Shed

Title:  
**Sectional Elevation**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

D

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Southern Elevation

Scale 1 : 100 @ A3



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 Project:  
 Merewether Golf Club  
 Greenkeepers Shed

Title:  
  
**Sectional Elevation**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

D **09**

## 1.0 GENERALLY

### 1.1 GENERAL

All landscape works shall be carried out by a person or business eligible for membership with the Landscape Contractor Association of NSW or comparable trade organisation. The Contractor shall allow for all restriction to his operations caused as a result of other contractors, likely damage to existing structures, fences, retaining walls, pavements, services or other improvements either within or outside the site. The Contractor shall be responsible for ensuring that full and adequate protection from damage shall be provided to all finished surfaces and material subject to staining or other disfigurement, and shall be responsible for making good all damages and disfigurement.

Check with engineers drawings when available to see extent of earthwork, drainage, changes in and location of services. Coordinate works as required.

### 1.2 ORDERING

REQUIREMENT: Within 14 days of the date of acceptance of tender, furnish proof of ordering the required materials, and advise immediately if any supply difficulties are encountered. Substitutions shall not be approved unless accepted in writing by the supervisor. The plant schedule shall be the accepted document for plant quantities and sizes to be used for the project. Where discrepancies arise between the drawings and the plant schedule seek clarification from the supervisor as soon as practicable.

### 1.3 WORK NEAR TREES

PROTECTION: Protect trees to be retained from damage. Contractor shall erect a protection fence around each tree. Do not store or otherwise place bulk materials and harmful materials under or near trees. Do not place spoil from excavations against tree trunks, even for short periods. Prevent damage to tree bark. Do not attach stays, guys and the like to trees. Avoid compaction of the ground under trees.

WORK UNDER TREES: Do not add or remove topsoil within the drip line, use hand methods such that root systems are preserved intact and undamaged. Open up excavations under tree canopies for as short a period as possible.

ROOTS: Where it is necessary to cut tree roots, use means such that the cutting does not unduly disturb the remaining root system.

DAMAGES: Any damage to trees to be retained will be attended to by a qualified arborist who will prepare a report covering rectification works. Submit report to supervisor for approval. Conduct remedial works as required including removal and replacement if so recommended. All costs to be borne by the contractor.

### 1.4 INSPECTION

The contractor must notify the Superintendent prior to commencement of stages of work. Refer to Schedule of Hold Points. Contractor shall be required to amend / alter any works completed without hold points reviewed.

### 1.5 STANDARDS

REFERENCED DOCUMENTS:

- AS 4419 Soils for landscaping and garden use. - 1998
- AS 4454 Composts, soil conditioners and mulches - 1997
- AS 4373 Pruning of amenity trees - 1996

### 1.6 SUBMISSIONS

Submit the following documents the Superintendent at the following times:

Certification of compliance from the tree supplier indicating compliance with NATSPEC requirements. Prior to planting trees.

Certificate of Compliance from the soil supplier providing laboratory testing to demonstrate compliance with the specification for each type of soil. Prior to installing soil.

### 1.7 SAMPLES

PLANTS: All plants shall be made available for inspection on site or at local nursery. The entire material represented may be rejected, except for plants with a correctable defect subject to satisfactory treatment.

TREES SHALL COMPLY WITH AS 2303-2015 "Trees Stock for Landscape Use".

BULK MATERIALS: 2 kg sample of each type specified. Submit bulk material samples, not less than 2 working days before bulk deliveries.

### Compliance

Non-compliance may lead to rejection of the entire batch.

Substitution: If non-complying trees are proposed, submit proposal in writing to the Superintendent. Only written approvals of substitution are recognised. Submit a copy of the written approval of substitution with the non-complying trees.

### Holding proposals

Submit proposals in writing to the project manager outlining proposed methods for holding trees beyond specified dates to ensure trees will continue to comply.

### Shipment

Responsibility: Landscape Contractor.

### 1.8 WEEDS

Eradicate weeds by environmentally acceptable methods using a non-residual glyphosate herbicide at the manufacturer's recommended rates. Regularly remove, by hand, rubbish and weed growth that may occur or recur throughout grassed, planted and mulched areas. Continue eradication throughout the course of the works and during the Planting Establishment Period so that a weed free area is established at completion of the establishment period.

### 1.9 EXISTING SERVICES

Existing services on site may include but not limited to storm water drainage, water, and associated power service conduits. Locations of all services shall be established prior to excavation and cultivation of planting beds, installation of trees, etc. Do not excavate by machine within 1m of existing underground services without prior approval or identification of service locations. Services locations where shown on plans are approximate only. The true location of actual in ground services must be determined by the contractor on site.

### 1.10 SET-OUT AND DIMENSIONS

Critical design dimensions shall be obtained by the landscape contractor by survey before commencing work.

Check engineer's and architect's drawings where available to determine extent of earthworks, structures.

## 2.0 SOILS

All tree planting shall be in premium garden soil imported by landscape contractor - top 300mm, general purpose soil below top 300mm all turf underlay shall be general purpose soil 100mm depth.

### 2.1 SUBSOIL PREPARATION

Cultivate bases of planting holes and beds to a depth of 150mm. Do not use augers unless followed with cultivation of sides and base. Do not disturb services or tree roots; if necessary cultivate these areas by hand.

Cultivate manually within 300 mm of paths or structures. Remove stones exceeding 25 mm, clods of earth exceeding 50 mm, and any weeds, rubbish or other deleterious material brought to the surface during cultivation. Trim the surface to the required design levels after cultivation.

### 2.2 SUBSOIL ADDITIVES

Apply required additives to stockpiled site topsoil as required by soil tests if scheduled in this specification.

Provide 150g/m<sup>2</sup> gypsum to base of all tree planting locations unless otherwise approved.

### 2.3 SOIL

DEFINITIONS: (From AS 4419 - 1998, Soils for landscaping and garden use)

TYPE 01 General purpose soil: A soil which is suitable for the growing of domestic plants.

TYPE 02 Premium garden soil: A general purpose soil that contains additional organic matter [ min 10% OM ]

TYPE 03 Topsoil: The original surface layer of soil from grassland, bushland or cultivated land. Soil for the landscape works shall be free from weeds. Site topsoil is to be tested for compliance with AS4419-1998 Soils for Landscaping and Garden Use and ameliorated by contractor accordingly.

The landscape contractor shall obtain a certificate from the soil supplier that the soil provided for the project is weed free and be made available to the Superintendent if requested. Soil shall be assumed to be placed to all mass planting bed areas and individual tree planting locations. The landscape contractor is responsible for the removal and or disposal of all spoil or excess soil excavated in the process of implementing the landscape works. Soils shall comply with the texture classification 'Medium - (sandy Loam)' or 'Coarse - (sandy soil)'

### 2.4 SOIL LEVELS

Finished soil levels shall allow turf or mulch to be finished level to the top of timber edging, paving or concrete footpaths or as otherwise shown on drawings.

### 2.5 PLACING SOIL

Place the approved soil on the prepared subsoil. Spread and grade evenly, making the necessary allowances so that the required finished levels and contours may be achieved after light compaction. Avoid differential subsidence and produce a finished soil surface which is:

- at design levels;
- smooth and free from stones or lumps of soil;
- graded to drain freely, without ponding to catchment points;
- graded evenly into adjoining ground surfaces; and
- ready for planting.

### 2.6 FERTILISER

Provide proprietary fertilisers, delivered to the site in sealed bags marked to show manufacturer or vendor, weight, fertiliser type, N:P:K ratio, recommended uses and application rates. Use in accordance with the manufacturer's recommendations.

### 2.7 MULCH

Use mulch as scheduled which is free of deleterious and extraneous matter such as soil, weeds and sticks.

Place mulch to the required depth, clear of plant stems.

### 2.8 SUB-SURFACE DRAINAGE

Provide sub soil drains where necessary to intercept groundwater seepage and prevent water build up in tree pits. Connect subsoil drains to the stormwater drainage system.

Groundworks, for trench excavation and backfilling  
STANDARD: To AS 3500.



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Client:  
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Project:  
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Greenkeepers Shed

Title:

Specification

Site: June Street Merewether, NSW  
Date: 18 May 2021  
Job No: 2077  
Revision: Sheet:

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### 3.0 SOFT LANDSCAPE WORKS

#### 3.1 PLANTS

- Supply plants to the following quality:
- Are vigorous, well established, free from disease and pests, of good foliage, have large healthy root systems with no evidence of root curl, restriction or damage;
  - Are hardened off, not soft or forced, and suitable for planting in the natural climatic conditions prevailing at the site.
  - Do not require staking to stand upright other than staking to control damage from strong winds or local conditions.
  - Staking should then be as detailed on the drawings and provide free movement with support only to protect from excessive movement.

**SUBSTITUTIONS:** Make no substitutions.  
**LABELLING:** Label at least one plant of each species or variety in a batch with a readable tag.  
**REPLACEMENTS:** Using plants of the same type, quality and size, replace any plants which are damaged whilst being transported to the site or during the work under the Contract, or which fail or are rejected.  
**STORAGE:** Deliver plant material to the site on a day to day basis, and plant immediately after delivery. If this is not possible, keep the plants in good condition on the site, adequately protected from frost, wind, sun and vermin by appropriate storage methods, including an on-site nursery of sufficient size, with provision for watering the stock.  
**POTTING-ON:** Do not carry out potting-on unless authorised.

#### 3.2 PLANT ESTABLISHMENT

**PERIOD:** The Planting Establishment Period commences at the date of issue of a written certificate of practical completion from the Superintendent.  
**PROGRAM:** Furnish a proposed planting maintenance program with the tender.  
**LOG BOOK:** Keep a log book recording when and what maintenance work has been done and what materials, including toxic materials, have been used. Make the log book available for inspection upon request.  
**RECURRENT WORKS:** Throughout the Plant Establishment Period, continue to carry out recurrent works of a maintenance nature including, but not limited to, watering, mowing, weeding, rubbish removal, fertilising, pest and disease control, staking and tying, replanting, cultivating, pruning and keeping the site neat and tidy.  
**REPLACEMENTS:** Continue to replace failed, damaged or stolen plants for the extent of the Plant Establishment Period.  
**MULCHED SURFACES:** Maintain the surface in a clean and tidy condition and reinstate the mulch as necessary.  
**GRASSED AREAS:** Commence grass maintenance works at the completion of turfing, and continue to carry out grass maintenance throughout the contract and Plant Establishment Period, maintaining healthy weed free growth.  
**STAKES AND TIES:** Adjust or replace as required. Remove those not required at the end of the Plant Establishment Period. Prune trees as directed by the landscape architect.  
**SITE WATER:** The contractor shall be responsible for sourcing, checking availability and if required importing water to maintain the plants during the plant establishment period as required under this specification.

#### 3.3 PLANT MAINTENANCE

Continue to carry out recurrent works of a maintenance nature including, but not limited to, watering, weeding, rubbish removal, fertilising, pest and disease control, replanting (staking and tying replacement trees), cultivating, trimming, thinning out, removal of dead plant material, pruning and keeping the site neat and tidy.

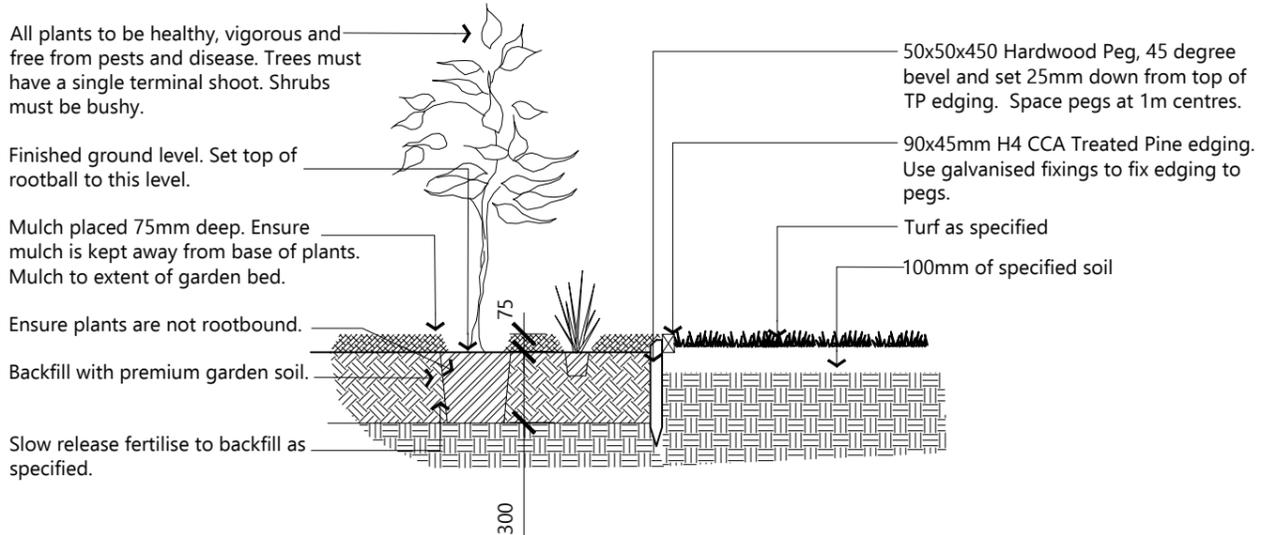
FERTILISER / ADDITIVES SCHEDULE		
All fertilisers are to be applied at the manufacturer's recommended rate.		
LOCATION	TYPE	NPK RATIO
Trees (during planting)	Plant Establisher containing a mix of water crystals, wetting agent, inert and fertilisers.	Terracottem or Terraform
Trees	Seaweed based soil conditioner with plant growth regulators.	Seasol

SOIL SCHEDULE		
If requested by the Superintendent a basic soil test shall be carried out at the contractor's expense to ascertain the physical and chemical properties of the proposed imported soil where no certificate of soil type is provided. Site soil designated for re-use shall be tested as noted in the specifications.		
LOCATION	TYPE	DEPTH (mm)
Trees	02: Premium Garden Soil (10% compost)	Top 300
Trees	01: General purpose soil	Below 300

MULCH SCHEDULE		
LOCATION	TYPE	DEPTH (mm)
Trees	Equal to ANL 'Forest Blend - No Fines'	m

TIMBER EDGE SCHEDULE - TE		
Timber edge to be installed to all mass planted or tree planting that interfaces with turf or gravel		
LOCATION	TYPE	
As noted on on drawings	100x50mm nom H4 Treated Pine. Fix to 50x50x450 hwd pegs at max. 1200mm centres. Fixings to be galvanised steel. Refer to detail 01/L04.	

DEFECTS SCHEDULE		
TYPE	PERIOD	NOTES
Plant establishment period (Softworks). All new planting.	52 Weeks	From date of written acceptance of Practical Completion for landscape works.



01. Mass Planting, Timber Edge and Turf

Scale 1:20

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Title:  
  
**Specification & Schedules**

Site: June Street Merewether, NSW  
 Date: 18 May 2021  
 Job No: 2077  
 Revision: Sheet:

D

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VERIFY ALL DIMENSIONS AND LEVELS ON SITE AND REPORT ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF WORK.

USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND

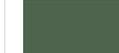


1 LANDSCAPED 3D NORTH ELEVATION  
NOT TO SCALE



2 LANDSCAPED 3D SOUTH ELEVATION  
NOT TO SCALE

COLOUR SCHEDULE

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING


A	LANDSCAPED 3D VIEWS	21/04/21	
ISSUE DESCRIPTION		DATE	CHKD

20009	PROJECT
MEREWETHER GOLF CLUB GREENKEEPERS SHED	
JUNE STREET MEREWETHER NSW	LOCATION
MEREWETHER GOLF CLUB	CLIENT

Landscaped 3D Views	DRAWING
NOT TO SCALE	SCALE
JB	DRAWN
01.11.20	DATE
A208	DRAWING No.
A	ISSUE
8 OF 10	SHEET



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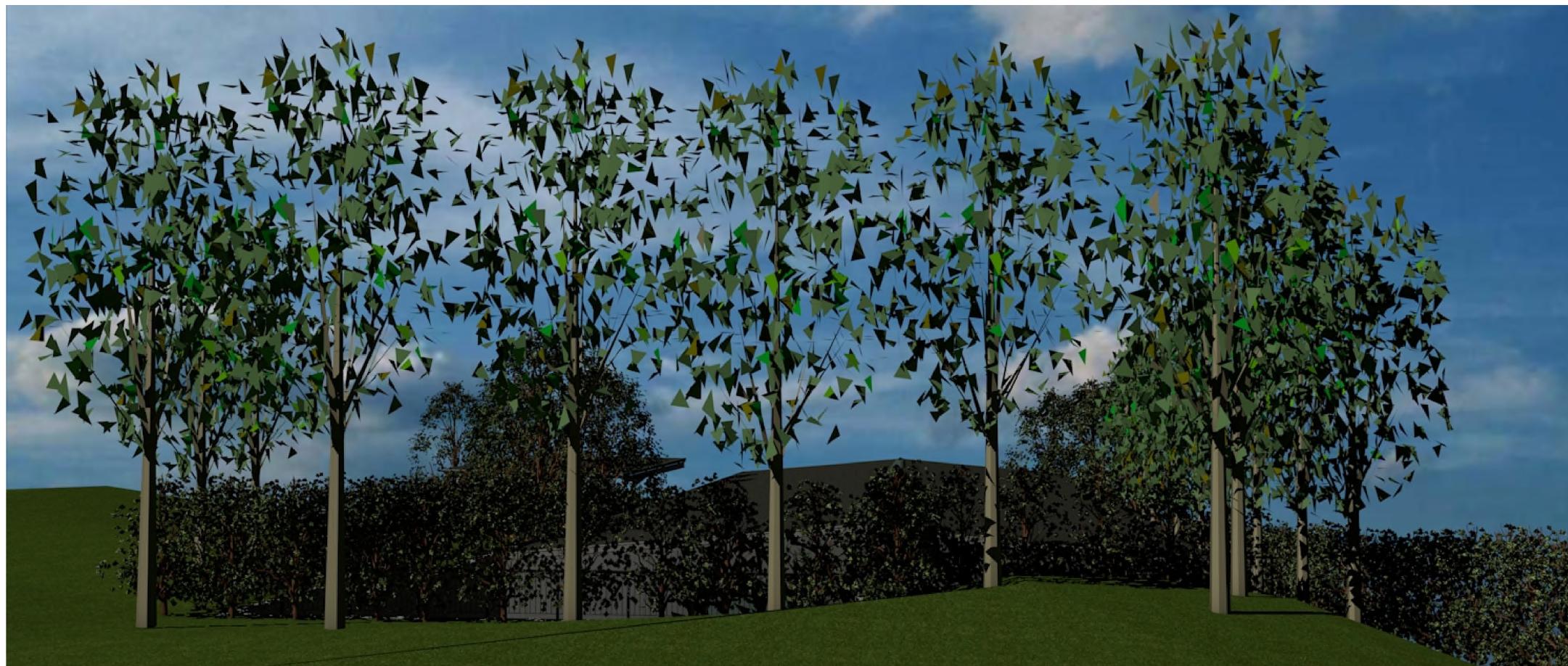
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND



1 LANDSCAPED 3D WEST ELEVATION  
NOT TO SCALE



2 LANDSCAPED 3D EAST ELEVATION  
NOT TO SCALE

COLOUR SCHEDULE

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING

COLORBOND "WILDERNESS"  
COLORBOND "SHALE GREY"

A	LANDSCAPED 3D VIEWS	21/04/21	
ISSUE	DESCRIPTION	DATE	CHKD
	20009		PROJECT
	MEREWETHER GOLF CLUB GREENKEEPERS SHED		
	JUNE STREET		LOCATION
	MEREWETHER NSW		
	MEREWETHER GOLF CLUB		CLIENT
	Landscaped 3D Views		DRAWING
	NOT TO SCALE		SCALE
		JB	DRAWN
		01.11.20	DATE
	A209		DRAWING No.
	A		ISSUE
	9 OF 10		SHEET



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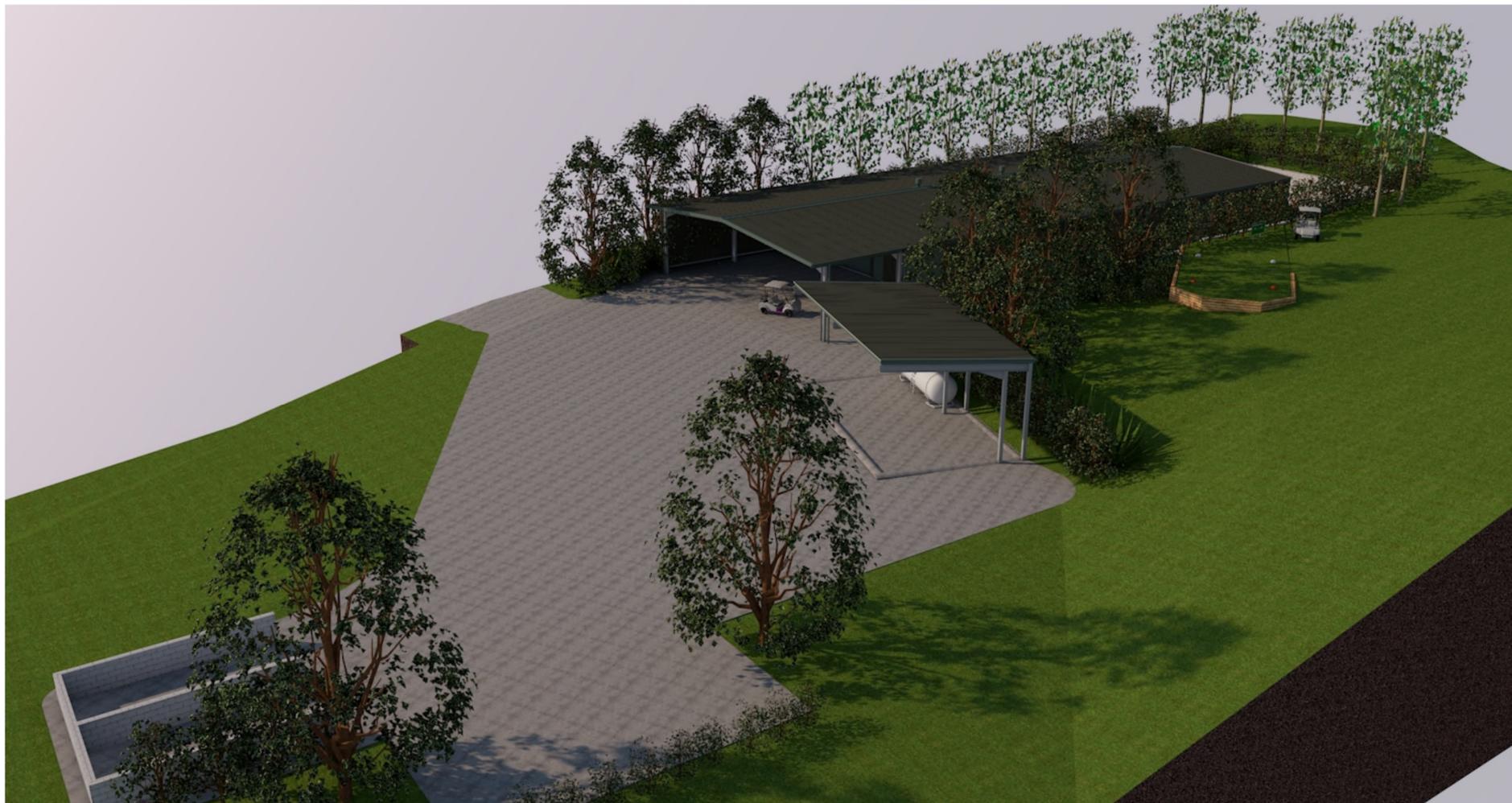
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND

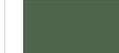


1 3D VIEW 1  
NOT TO SCALE



2 3D VIEW 2  
NOT TO SCALE

COLOUR SCHEDULE

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING

ISSUE	DESCRIPTION	DATE	CHKD
A	LANDSCAPED 3D VIEWS	21/04/21	

20009	PROJECT
MEREWETHER GOLF CLUB GREENKEEPERS SHED	
JUNE STREET MEREWETHER NSW	LOCATION

MEREWETHER GOLF CLUB	CLIENT
----------------------	--------

Landscaped 3D Views	DRAWING
---------------------	---------

NOT TO SCALE	SCALE
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JB	DRAWN
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01.11.20	DATE
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A210	DRAWING No.
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A	ISSUE
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10	OF	10	SHEET
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# PROPOSED GREENKEEPERS SHED MEREWETHER GOLF CLUB

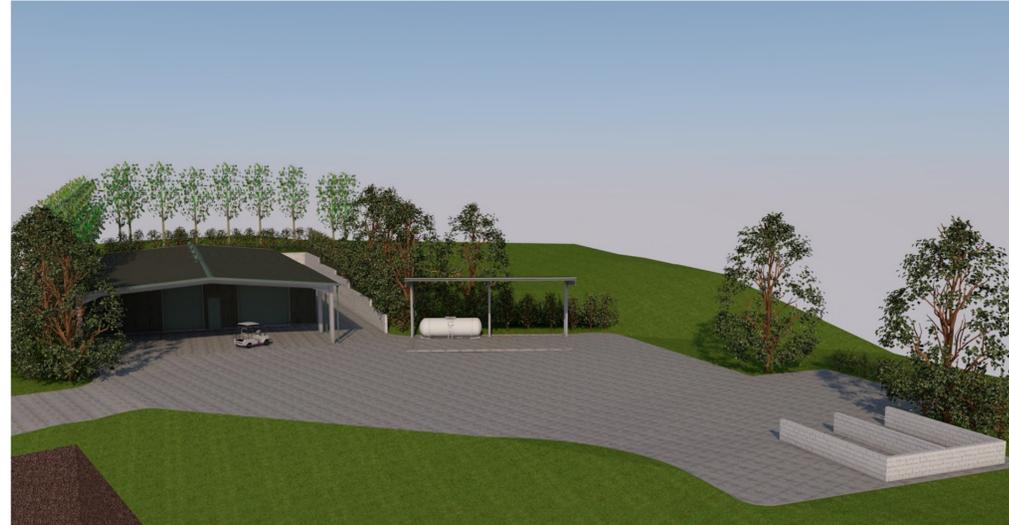
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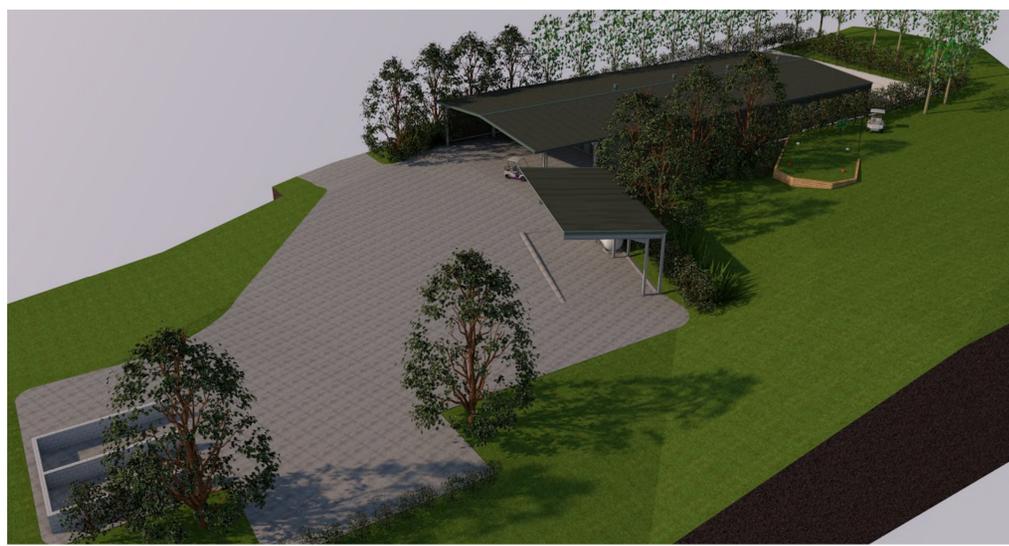
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND



4 3D VIEW 1  
NOT TO SCALE



5 3D VIEW 2  
NOT TO SCALE

**COLOUR SCHEDULE**

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING

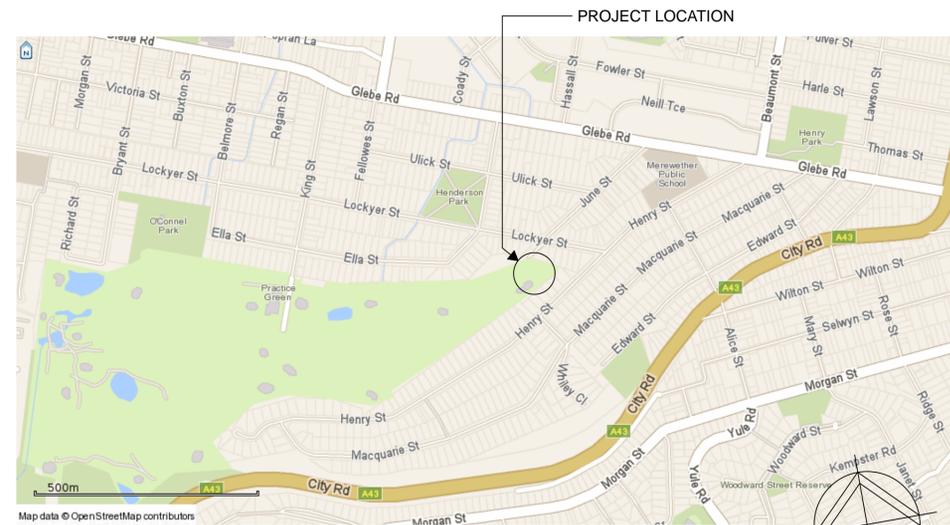
E	2 WATER TANKS & CAR PARKS ADDED	14/05/21
D	ELEVATION NAMES, COLOUR SCHEDULE ADDED	21/04/21
C	BOUNDARY TEE OFF REMOVED	07/04/21
B	MOVED RET WALL 3m FROM BOUNDARY, 4 CAR PARKS ADDED	06/04/21
A	DA ISSUE	26/11/20
ISSUE DESCRIPTION	DATE	CHKD

**20009**  
MEREWETHER GOLF CLUB  
GREENKEEPERS SHED

JUNE STREET  
MEREWETHER  
NSW

MEREWETHER GOLF CLUB

PROJECT	LOCATION
CLIENT	DRAWING
SCALE	1: 100 @ A1, 1: 200 @ A3
DRAWN	JB
DATE	01.11.20
DRAWING No.	A201
ISSUE	E
SHEET	1 OF 10



1 LOCATION PLAN  
NOT TO SCALE

**M ARCHITECT**

**S**

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USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND

LEGEND			
COL	COLUMN - GALV TO ENG'S DETAIL	CPD	CUPBOARD
FG	FIXED GLAZING	WC	TOILET PAN
CT	CERAMIC TILE	FW	FLOOR WASTE
HR	HANDRAIL	SHR	SHOWER
CONC	CONCRETE	RV	ROOF VENT AS SPECIFIED
PB	PLASTERBOARD SHEETING	FC	8mm FIBRE CEMENT SHEETING PAINT FINISH
MIRPB	VILLBOARD SHEETING	MRS	METAL ROOF SHEETING, COLORBOND
PL	PLASTIC LAMINATE	MWS	METAL WALL SHEETING, COLORBOND
DP	DOWN PIPE	PRS	POLYCARBONATE ROOF SHEETING
GPO	DOUBLE GENERAL PURPOSE OUTLET (POWER POINT)		PLASTERBOARD LINED STUD WALL, EXTERNAL WALLS INSULATED
FFL	FINISHED FLOOR LEVEL	W01	WINDOW NUMBER
FCL	FINISHED CEILING LEVEL	D.01	DOOR NUMBER
REF	FRIDGE		CONCRETE PAVEMENT
B	BASIN	EG	EAVES GUTTER, 100 HALF ROUND COLORBOND
SNK	SINK	FL	FLASHING AS SPECIFIED
	RAINWATER 1000DIA PVC	BC	BARGE CAPPING (COLORBOND)
	STORMWATER 1000DIA PVC	RC	RIDGE CAPPING (COLORBOND)
	SEWER LINE	GD	GRAATED DRAIN
		RW	RETAINING WALL
			SEDIMENT CONTROL FENCE

NOTE:  
ALL SOUND INSULATION REQUIREMENTS - REFER TO REVERB ACUSTICS NOISE IMPACT ASSESSMENT Nov 2020

COLOR SCHEDULE

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING

E	2 WATER TANKS & CAR PARKS ADDED	14/05/21
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B	MOVED RET WALL 3m FROM BOUNDARY, 4 CAR PARKS ADDED	06/04/21
A	DA ISSUE	26/11/20
ISSUE DESCRIPTION	DATE	CHKD

2009 MEREWETHER GOLF CLUB GREENKEEPERS SHED

JUNE STREET MEREWETHER NSW

MEREWETHER GOLF CLUB CLIENT

Floor Plan DRAWING

1: 100 @ A1, 1: 200 @ A3 SCALE

JB DRAWN

01.11.20 DATE

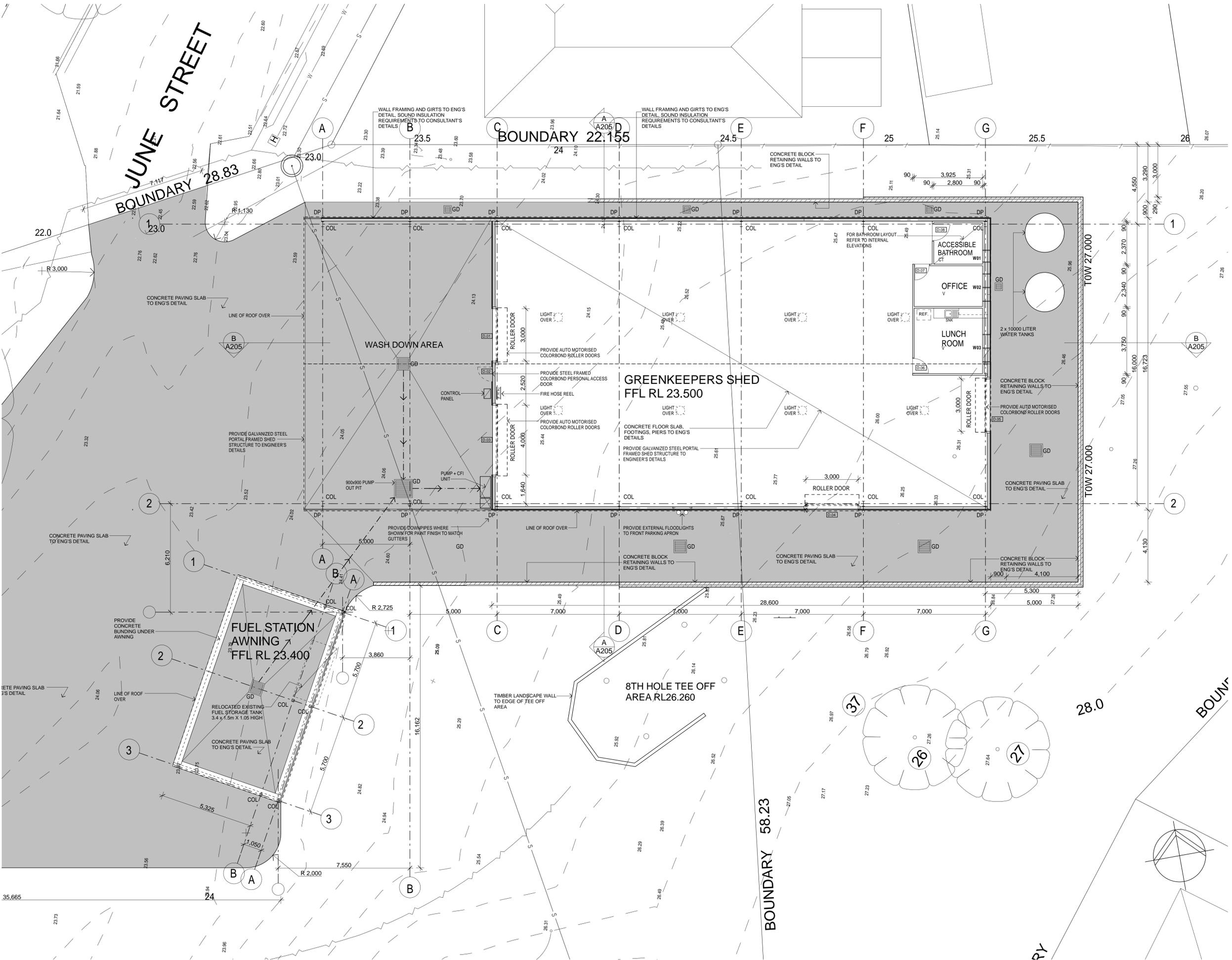
A203 DRAWING No.

E ISSUE

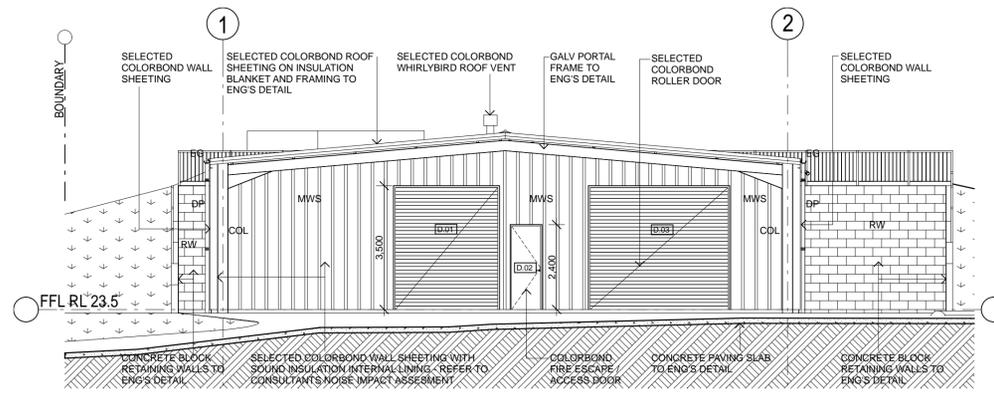
3 OF 10 SHEET



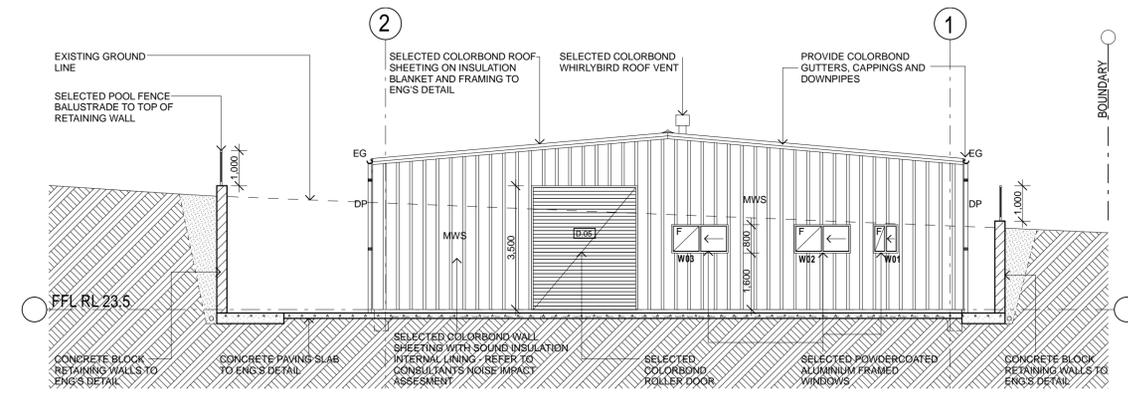
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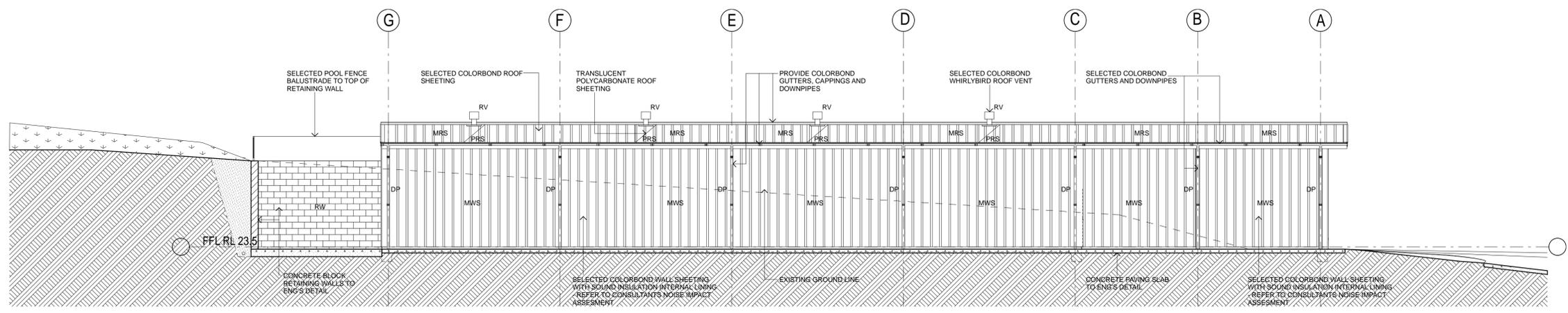
1 GROUND FLOOR PLAN (1)  
SCALE 1:100 @ A1



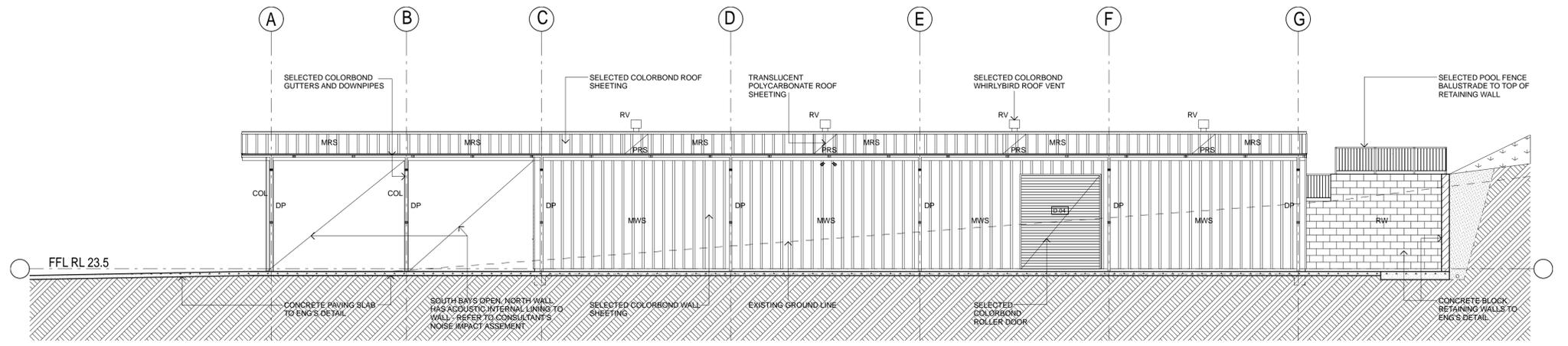
1 WEST ELEVATION  
SCALE 1:100 @ A1



2 EAST ELEVATION  
SCALE 1:100 @ A1



3 NORTH ELEVATION  
SCALE 1:100 @ A1



4 SOUTH ELEVATION  
SCALE 1:100 @ A1

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USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM DRAWINGS.

NOTES

LEGEND

LEGEND			
COL	COLUMN - GALV TO ENG'S DETAIL	CPD	CUPBOARD
FG	FIXED GLAZING	WC	TOILET PAN
CT	CERAMIC TILE	FW	FLOOR WASTE
HR	HANDRAIL	SHR	SHOWER
CONC	CONCRETE	RV	ROOF VENT AS SPECIFIED
PB	PLASTERBOARD SHEETING	FC	8mm FIBRE CEMENT SHEETING PAINT FINISH
MIRPB	VILLABOARD SHEETING	MRS	METAL ROOF SHEETING, COLORBOND
PL	PLASTIC LAMINATE	MWS	METAL WALL SHEETING, COLORBOND
DP	DOWN PIPE	PRS	POLYCARBONATE ROOF SHEETING
GPO	DOUBLE GENERAL PURPOSE OUTLET (POWER POINT)		PLASTERBOARD LINED STUD WALL EXTERNAL WALLS INSULATED
FFL	FINISHED FLOOR LEVEL	W01	WINDOW NUMBER
FCL	FINISHED CEILING LEVEL	D.01	DOOR NUMBER
REF	FRIDGE		CONCRETE PAVEMENT
B	BASIN	EG	EAVES GUTTER, 150 HALF ROUND COLORBOND
SNK	SINK	FL	FLASHING AS SPECIFIED
	RAINWATER 100DIA PVC W	BC	BARGE CAPPING (COLORBOND)
	STORMWATER 100DIA PVC SW	RC	RIDGE CAPPING (COLORBOND)
	SEWER LINE S	GD	GRADED DRAIN
		RW	RETAINING WALL
			SEDIMENT CONTROL FENCE

NOTE:  
ALL SOUND INSULATION REQUIREMENTS - REFER TO REVERS ACOUSTICS NOISE IMPACT ASSESSMENT Nov 2020

COLOUR SCHEDULE

COLORBOND "WILDERNESS"	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, ROLLER DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
COLORBOND "SHALE GREY"	ALL COLUMNS & EXPOSED FRAMING

NO	DESCRIPTION	DATE	CHKD
E	2 WATER TANKS & CAR PARKS ADDED	14/05/21	
D	ELEVATION NAMES, COLOUR SCHEDULE ADDED	21/04/21	
C	BOUNDARY TEE OFF REMOVED	07/04/21	
B	MOVED RET WALL 3m FROM BOUNDARY, 4 CAR PARKS ADDED	06/04/21	
A	DA ISSUE	26/11/20	

20009  
MEREWETHER GOLF CLUB GREENKEEPERS SHED

JUNE STREET  
MEREWETHER NSW

MEREWETHER GOLF CLUB CLIENT

Elevations / Shed DRAWING

1: 100 @ A1, 1: 200 @ A3	SCALE
JB	DRAWN
01.11.20	DATE
A204	DRAWING No.
E	ISSUE
4 OF 10	SHEET

**M ARCHITECT**

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NOTES  
LEGEND

**LEGEND**

COL	COLUMN - GALV TO ENG'S DETAIL	CPD	CUPBOARD
FG	FIXED GLAZING	WC	TOILET PAN
CT	CERAMIC TILE	FW	FLOOR WASTE
HR	HANDRAIL	SHR	SHOWER
CONC	CONCRETE	RV	ROOF VENT AS SPECIFIED
PB	PLASTERBOARD SHEETING	FC	8mm FIBRE CEMENT SHEETING PAINT FINISH
MRPB	VILLABOARD SHEETING	MRS	METAL ROOF SHEETING, COLORBOND
PL	PLASTIC LAMINATE	MWS	METAL WALL SHEETING, COLORBOND
DP	DOWN PIPE	PRS	POLYCARBONATE ROOF SHEETING
GPO	DOUBLE GENERAL PURPOSE OUTLET (POWER POINT)		PLASTERBOARD LINED STUD WALL EXTERNAL WALLS INSULATED
FFL	FINISHED FLOOR LEVEL	W01	WINDOW NUMBER
FCL	FINISHED CEILING LEVEL	D.01	DOOR NUMBER
REF	FRIDGE		CONCRETE PAVEMENT
B	BASIN	EG	EAVES GUTTER, 150 HALF ROUND COLORBOND
SNK	SINK	FL	FLASHING AS SPECIFIED
	RAINWATER 1000/DIA PVC	BC	BARGE CAPPING (COLORBOND)
	STORMWATER 1000/DIA PVC	RC	RIDGE CAPPING (COLORBOND)
	SEWER LINE	GD	GRAATED DRAIN
		RW	RETAINING WALL
			SEDIMENT CONTROL FENCE

NOTE:  
ALL SOUND INSULATION REQUIREMENTS - REFER TO REVERS ACUSTICS NOISE IMPACT ASSESSMENT Nov 2020

**COLOR SCHEDULE**

	ALL WALL & ROOF SHEETING, CAPPINGS, GUTTERS, FASCIA, DOWNPIPES, DOORS, FASCIA, DOORS, WINDOW FRAMES, TRIMS, & BALUSTRADE
	ALL COLUMNS & EXPOSED FRAMING

E	2 WATER TANKS & CAR PARKS ADDED	14/05/21	PROJECT
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B	MOVED RET WALL 3m FROM BOUNDARY, 4 CAR PARKS ADDED	06/04/21	
A	DA ISSUE	26/11/20	
ISSUE DESCRIPTION	DATE	CHKD	

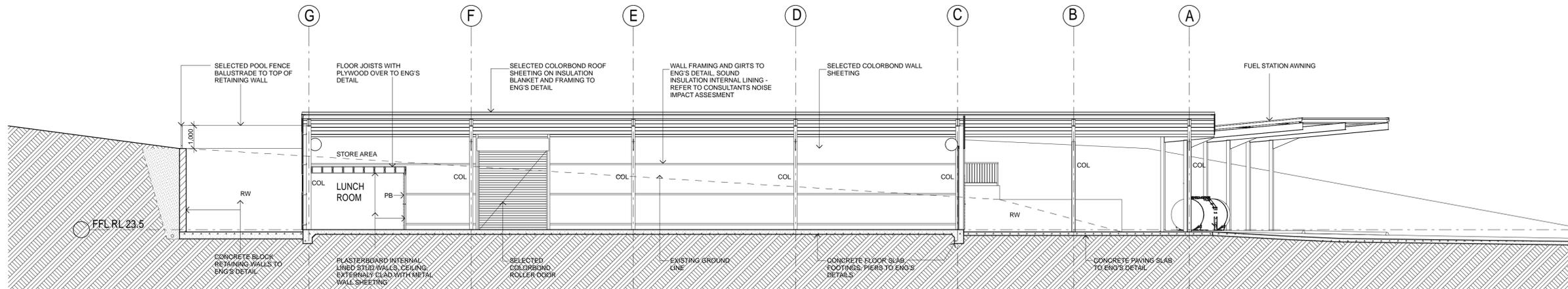
**2009 MEREWETHER GOLF CLUB GREENKEEPERS SHED**  
JUNE STREET MEREWETHER NSW

MEREWETHER GOLF CLUB CLIENT

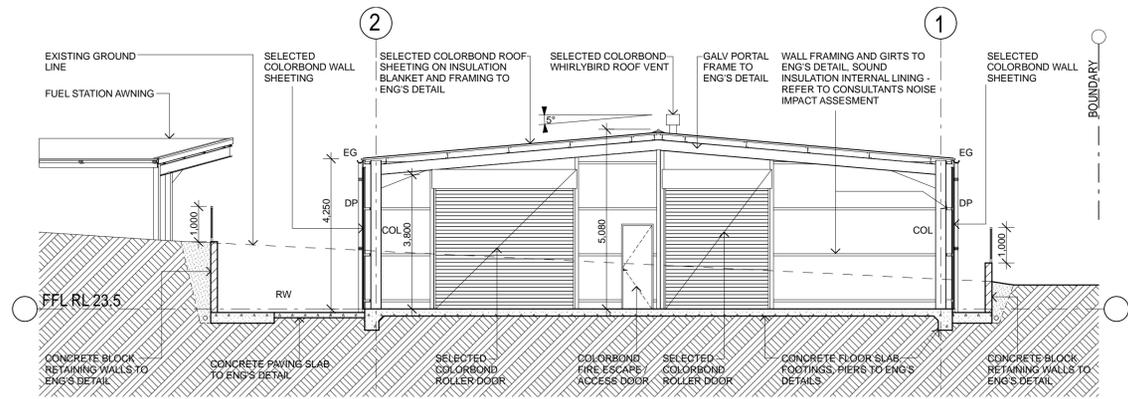
Sections / Shed, Fuel Awning Elev' Internal Elev'  
1: 100 @ A1, 1: 200 @ A3  
JB DRAWN  
01.11.20 DATE  
A205 DRAWING No.  
E ISSUE  
5 OF 10 SHEET



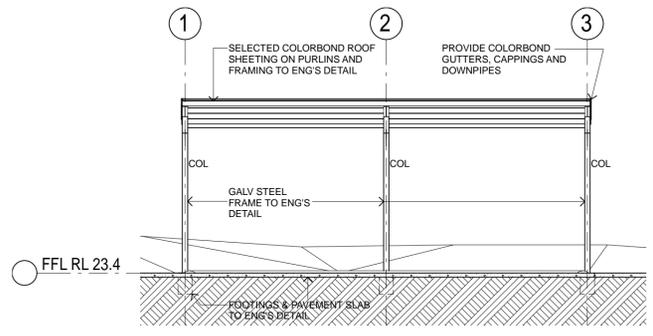
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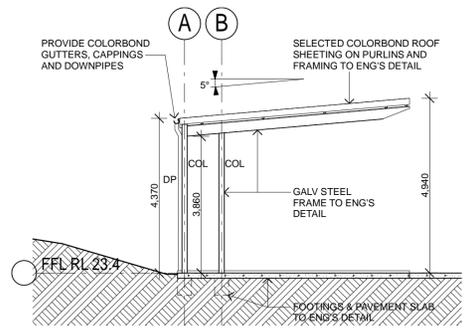
**2 SECTION B - GREENKEEPERS SHED**  
SCALE 1:100 @ A1



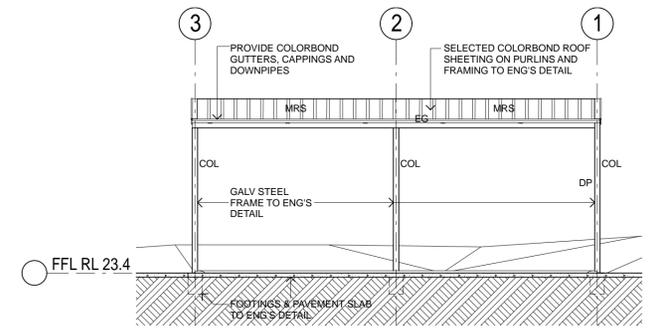
**1 SECTION A - GREENKEEPERS SHED**  
SCALE 1:100 @ A1



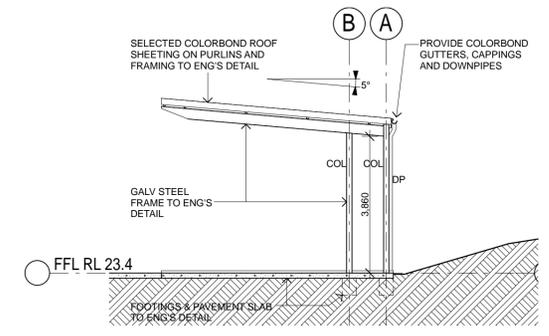
**3 WEST ELEVATION - FUEL AWNING**  
SCALE 1:100 @ A1



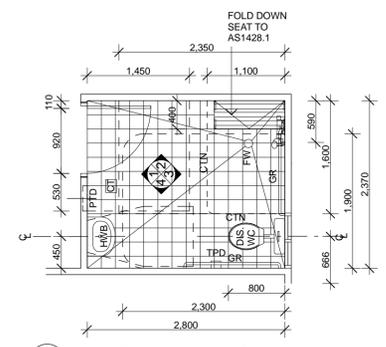
**5 NORTH ELEVATION - FUEL AWNING**  
SCALE 1:100 @ A1



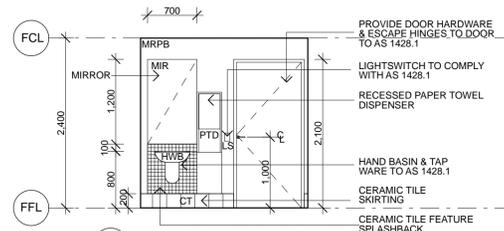
**4 EAST ELEVATION - FUEL AWNING**  
SCALE 1:100 @ A1



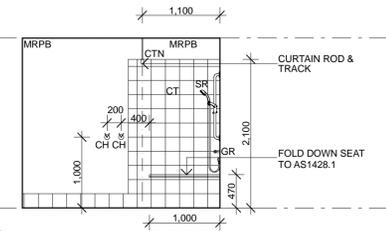
**6 SOUTH ELEVATION - FUEL AWNING**  
SCALE 1:100 @ A1



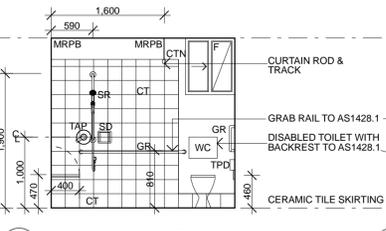
**1 UNISEX DIS' BATHROOM**  
SCALE 1:50



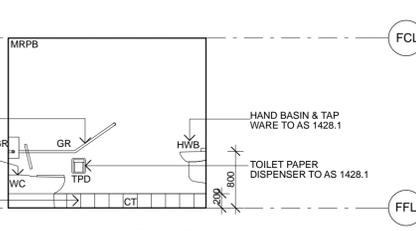
**1 UNISEX DIS' BATHROOM**  
SCALE 1:50



**2 UNISEX DIS' BATHROOM**  
SCALE 1:50



**3 UNISEX DIS' BATHROOM**  
SCALE 1:50



**4 UNISEX DIS' BATHROOM**  
SCALE 1:50

**7 INTERNAL ELEVATIONS**  
SCALE 1:50 @ A1

**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**PV 15/06/21 – 40 KING STREET ADAMSTOWN – DA2020/01525 -  
RECREATION FACILITY (OUTDOOR) - ANCILLARY STRUCTURE  
(MAINTENANCE SHED)**

**ITEM - 2      Attachment B:      Processing Chronology**

**DISTRIBUTED UNDER SEPARATE COVER**



**PROCESSING CHRONOLOGY**

**DA2020/01525 – 40 King Street Adamstown**

23 December 2020	Application lodged
4 January to 25 January 2021	Public notification
4 January 2021 & 4 February 2021	Internal referrals undertaken
29 March 2021	Request for additional information
22 April 2021 & 26 April 2021	Response to request for Information – amended plans and amended / additional information
29 April 2021	Further request for additional information
29 April to 13 May 2021	Public re-notification
24 May 2021	Further response to request for information - amended plans and amended / additional information