



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 06/12/22 – 20 SUMMER PLACE MEREWETHER HEIGHTS –
DA2022/01648 AND DWELLING HOUSE - ALTERATIONS,
ADDITIONS AND ANCILLARY DEVELOPMENT (POOL AND
RETAINING WALLS) INCLUDING DEMOLITION**

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DA2022/01648 AND DWELLING HOUSE - ALTERATIONS,
ADDITIONS AND ANCILLARY DEVELOPMENT (POOL AND
RETAINING WALLS) INCLUDING DEMOLITION**

ITEM-22 Attachment A: Submitted Plans

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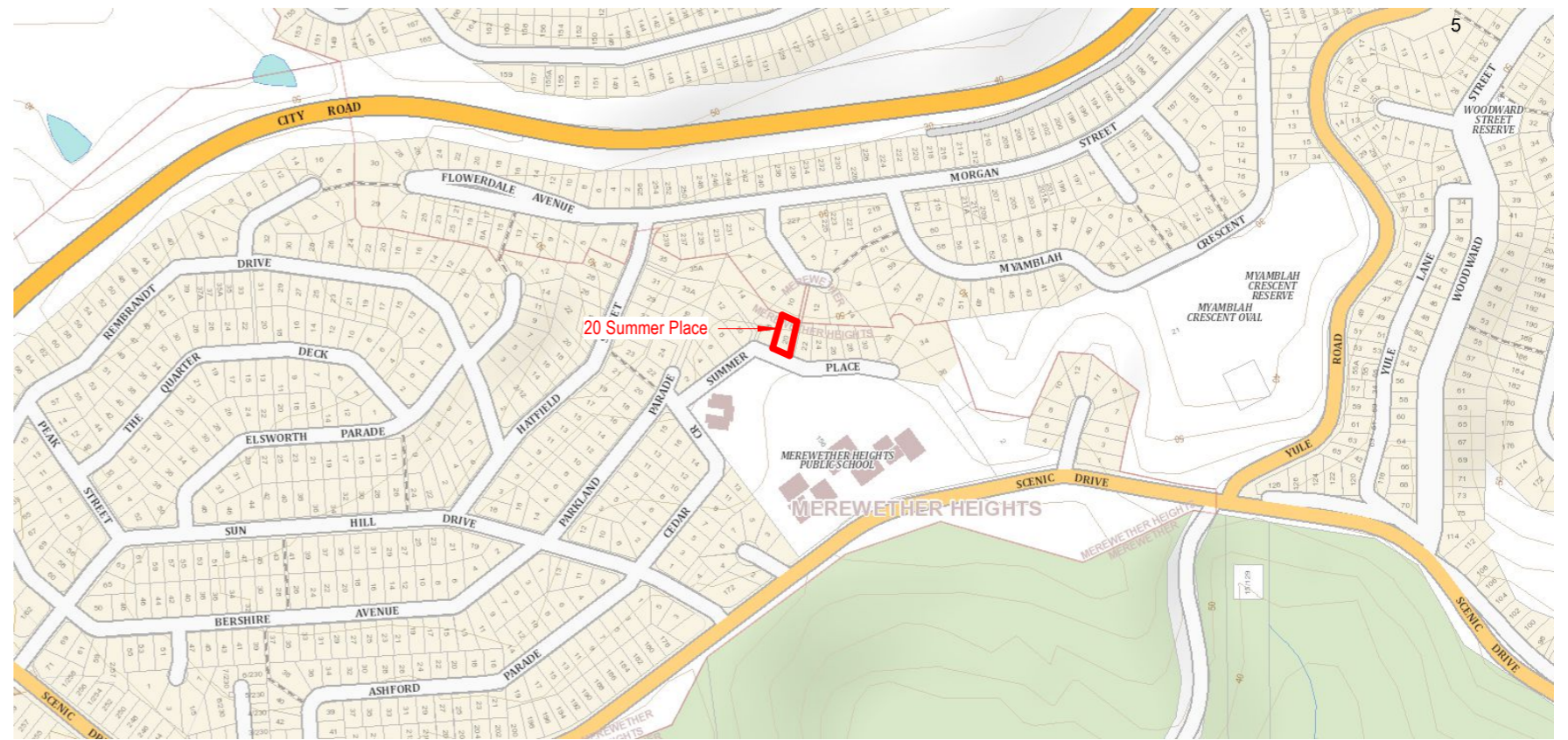
Staged Development for Additions and Alterations

For Rachel & John Vazey

At Lot 343 DP 237590

20 Summer Place

Merewether Heights NSW 2291



Area Plan

Architectural Drawing Index

Sheet Number	Rev	Sheet Name
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Ar03	C	Stage 1 - Site Analysis Plan
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Ar06	I	Stage 1 - Lower Living Floor Plan
Ar07	H	Stage 1 - Window and Door Schedule
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Ar12	H	Stage 1 - Sections
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Ar14	F	Stage 1 - 3D Views
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Ar17	B	Stage 1 - Winter Shadow Plans
Ar101	B	Stage 2 - Site Waste Minimisation and Management Plan
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Ar103	B	Stage 2 - Basix, Sustainability and Construction Details
Ar104	B	Stage 2 - Living Ground Floor
Ar105	I	Stage 2 - First Floor Plan
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Ar109	F	Stage 2 - Elevations
Ar110	E	Stage 2 - Elevations
Ar111	F	Stage 2 - Sections
Ar112	E	Stage 2 - Sections
Ar113	B	Stage 2 - 3D Views
Ar114	B	Stage 2 - 3D Views
Ar115	B	Stage 2 - Site Plan
Ar116	B	Stage 2 - Winter Shadow Plans

Stage 1 - FSR = 0.29:1

Floor to Space Schedule - Stage 1

Name	Area
Existing Dwelling Floor Area	152.5 m ²
Proposed Dwelling Floor Area	35.8 m ²
	188.3 m ²
Site area	632.8 m ²
	632.8 m ²

Stage 2 - FSR = 0.45:1

Floor to Space Schedule - Stage 2

Name	Area
Existing Dwelling Floor Area	188.3 m ²
Proposed Dwelling Addition Area	100.4 m ²
	288.8 m ²
Site Area	632.8 m ²
	632.8 m ²

Site Area Schedule - Stage 1

Name	Area	Coverage	Overall
Existing Dwelling Footprint	138.6 m ²	Impermeable	22%
Existing Garage	29.3 m ²	Impermeable	5%
Proposed Dwelling Addition Footprint	16.9 m ²	Impermeable	3%
	184.8 m ²		29%
Remaining Site	446.4 m ²	Permeable	71%
	446.4 m ²		71%

Site Area Schedule - Stage 2

Name	Area	Coverage	Overall
Existing Dwelling Footprint	155.5 m ²	Impermeable	25%
Existing Garage	29.3 m ²	Impermeable	5%
	184.8 m ²		29%
Remaining Site	446.4 m ²	Permeable	71%
	446.4 m ²		71%

General Builder Notes:

- All on site and pre-fabricated workman ship is to be in accordance with the National Construction Code and relevant Australian Standards.
- These drawings shall be read in conjunction with other consultants drawings / specifications and with other such written instructions as may be issued during the construction. Any discrepancy shall be raised with the design office before commencing the work.
- All dimensions are in millimeters. Unless noted otherwise. Site verify all dimensions before ordering Materials. Materials to be ordered are only to be ordered from a Builders or applicable product manufacturers separate site confirmed Materials list.
- All levels and setting out dimensions shown on the drawings shall be checked on site prior to the commencement of work.
- Bracing and tie-down details to the engineers details and AS1684.2.
- All timber and steel to be installed and treated to the manufacturers specifications, especially for any exterior applications.
- All white ant protection to be strictly within the guidelines of AS3660 and installed by a qualified licensed pest control consultant.
- AJ denotes masonry articulation joint, to be installed to AS 3700 section 4.8 requirements.
- All workmanship and materials shall be in accordance with the National Construction Code and relevant Australian Standards.

Site Classification Note:

Wind Class: N2 (W33N) (Assumed)
Site Class: 'P' Soil Class: 'M'
Site / Soil Class Assumed

Survey Note :

Boundary dimensions have been taken from site information by others. Confirm boundaries before commencement of construction.

Boundary Setback Note:

Boundaries are to be pegged and setout confirmed before commencement of construction where proposed works are with in 1200mm of a boundary.

Window Notes:

- Windows in all bedrooms where the floor height is 2m or greater above the finished surface outside and with a sill height of less than 1700mm shall be fitted with either a device to restrict the size of the opening or a screen with secure fittings to NCC 3.9.2.5 details and requirements
- Windows where the floor height is 4m or greater above the finished surface outside shall have no window openings greater than 125mm within 865mm of the floor. Also, there shall be no horizontal elements between 150mm to 760mm above the floor which can facilitate climbing, or shall be fitted with either a device to restrict the size of the opening or a screen with secure fittings to NCC 3.9.2.5 details and requirements



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Client: Rachel & John Vazey

Address: Lot 343 DP 237590
20 Summer Place
Merewether Heights NSW 2291

Revision Schedule

Date	Description	Rev
21/10/22	Clause 4.6 Re-Issued	G
05/08/22	Council amendments	F
20/01/22	First floor FCL lowered	E
26/10/21	Issued for DA	D
31/08/21	Stage 1 & 2 Setup	C

Do not scale off drawings, use shown dimensions only, contact the office if additional dimensions required.

Drawing No: 1020-1202

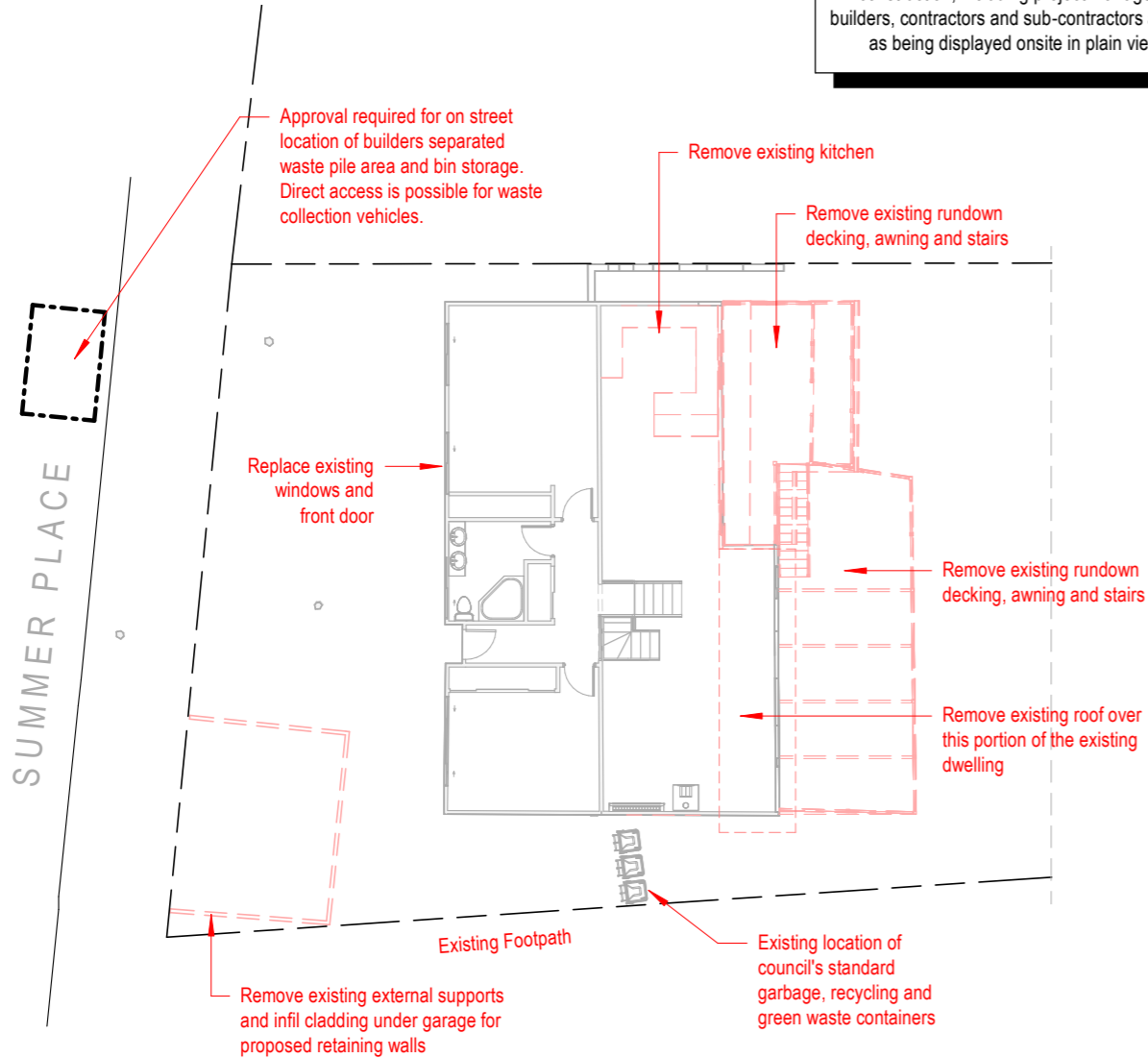
Sheet: Ar01

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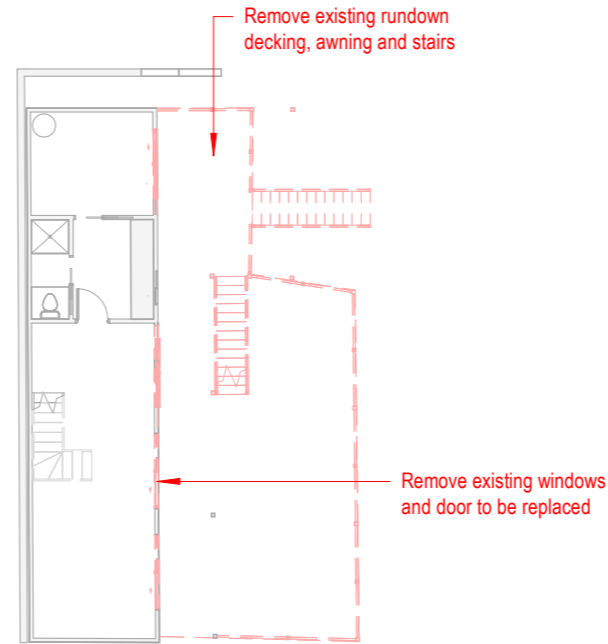
Stage 1 Construction

This plans must be provided to any relevant person involved in the demolition and/or construction, including project managers, builders, contractors and sub-contractors as well as being displayed onsite in plain view



Waste Management Plan - Stage 1

1 : 200



Waste Management Plan Lower Level - Stage 1

1 : 200

General Notes

1. The main outcome from this plan is to enable maximum diversion of demolition and construction waste to be reused, recycled or composted to reduce building waste going to landfill.
2. Ensure that waste management is planned across all demolition and construction stages so that reusable resources and waste can be appropriately and effectively stored and removed safely from site without adverse impacts on local amenity.
3. **Large skip bins are not to be used on site for mixed materials** unless they are being sent to a specialised construction waste sorting depot or similar.

Demolition Notes

1. To avoid creating demolition waste, wherever practically possible use the existing structure/materials as they are, where they are. If that is not possible re-use them onsite before committing to recycling.
2. All demolished materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Construction Notes

1. To avoid creating additional construction waste, ensure not to over order materials and carefully separate off-cuts to facilitate re-use onsite before setting aside for resale or efficient recycling.
2. All waste/unwanted construction materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Ongoing Waste Management Notes

1. A waste cupboard/area in the kitchen will gather daily household waste and consist of 3 separate bins separating garbage (landfill), recyclable materials and compostable materials.
2. Council's standard garbage, recycling and green waste containers are to be located behind the building line or behind suitable screening that will not impact on adjoining premises and have unobstructed access to Council's usual Collection Point.
3. The use of onsite composting and worm farms is highly recommended to produce soil and fertiliser for gardens.
4. Council's standard waste pickup is as follows:
Garbage (landfill) fortnightly, recycling fortnightly and green waste weekly

Site Waste Minimisation and Management Table			
Type of Material	Reuse and Recycling On-site	Reuse and Recycling Off-site	Disposal
Excavation Material	Fill, gardens, topsoil	Clean fill site	Unsuitable remainder to Waste Management Facility
Green Waste	Mulched for gardens, landscaping	Mulched for collection for reuse	Unsuitable remainder to Waste Management Facility
Bricks	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Concrete	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Timber	Reuse where possible eg formwork, packing	Timber recycler	Unsuitable remainder to Waste Management Facility
Plasterboard	Nil	Nil	Waste Management Facility
Metals	Reuse where possible	Metal recycler	Unsuitable remainder to Waste Management Facility
Other - Miscellaneous	Reuse or recycle if possible	Reuse or recycle if possible	Unsuitable remainder to Waste Management Facility



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Revision Schedule

Date	Description	Rev
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31/08/21	Stage 1 & 2 Setup	B
08/06/21	Issued for review	A

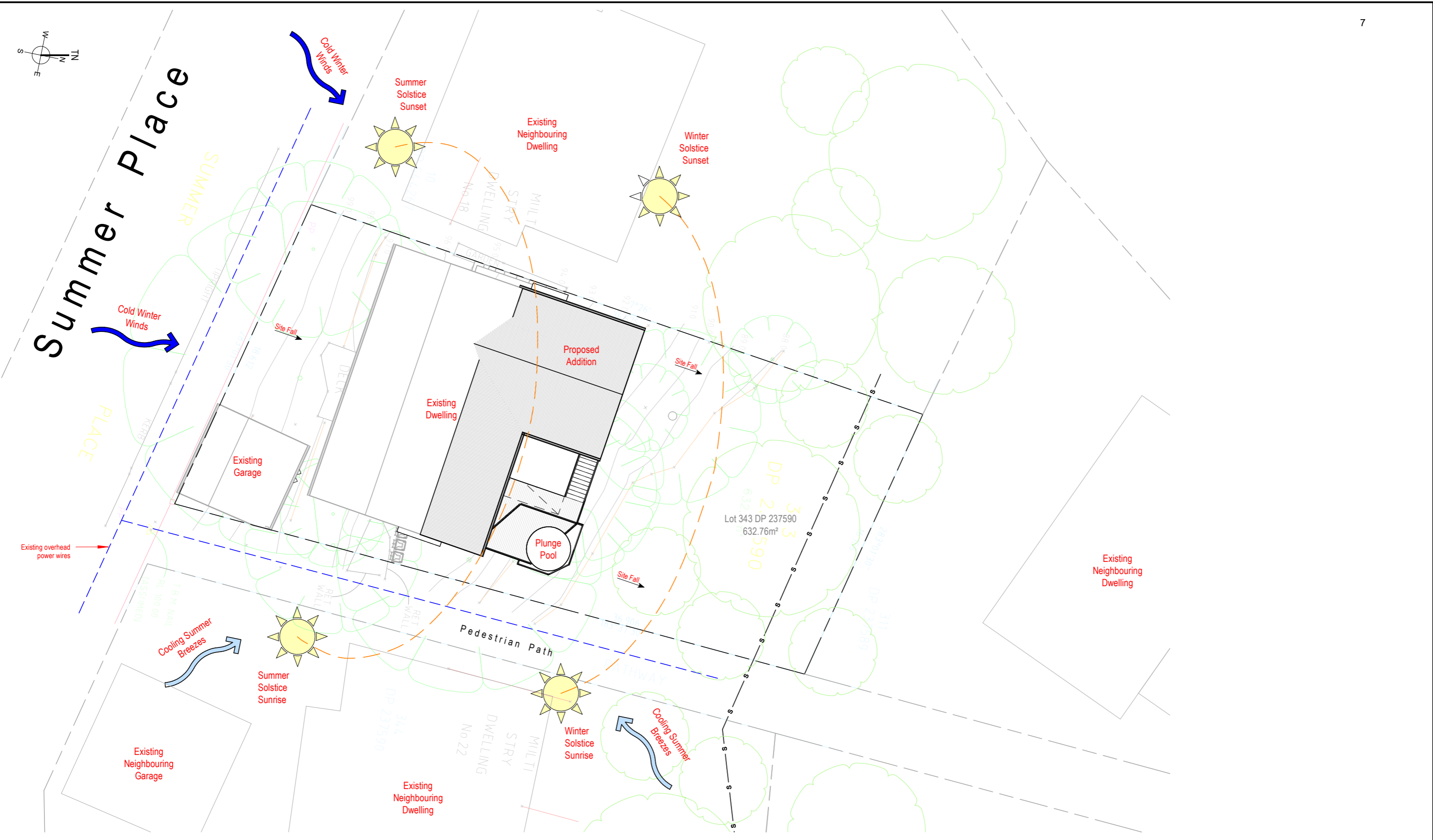
Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar02

Scale: As indicated @ A3



Site Analysis Plan Stage 1

1 : 200

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AUSTRALIAN PASSIVE HOUSE ASSOCIATION MEMBER 1 2021

bdca
BUILDING DESIGNERS ASSOCIATION OF AUSTRALIA

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Revision Schedule		
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Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar03

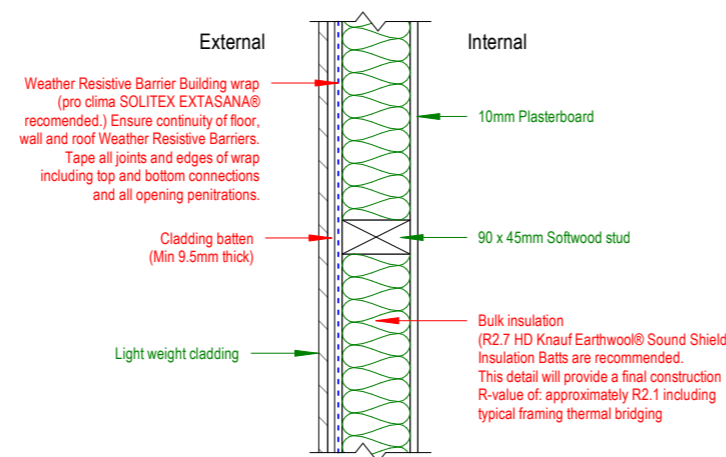
Scale: 1 : 200 @ A3

Basix, Sustainability and Construction Details

Blencowe Design	email: info@blencowdesign.com.au	ph: 0423081511
<p><u>Important Note for Development Applicants:</u> The following specification details the requirements necessary to achieve the thermal performance values as indicated on the BASIX Certification. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact Blencowes Design</p>		
BASIX Certificate Number A431047		
<p>These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.</p>		
External Wall Construction	Insulation	Colour (Solar Absorptance)
Stud Framed	R1.3 (or 1.7 including construction)	Any
Internal Wall Construction	Insulation	Detail
Plasterboard on studs	none	
Ceiling Construction	Insulation	Detail
Plasterboard	R3.0	
Roof Construction	Insulation	Colour (Solar Absorptance)
Metal	Foil/Sarking	Medium (solar absorptance 0.475 - 0.70)
Floor Construction	Insulation	Covering
Framed Suspended Open Sub-Floor	R0.8 (down)	As drawn (if not noted default values used)
Windows	Glass and frame type	U SHGC
LGW01	Single low-e Aluminium	4.48 0.46
LGW02-04	Single low-e Aluminium	4.48 0.46
LGW05	Single low-e Aluminium	4.48 0.46
LLW01	Single low-e Aluminium	4.48 0.46
LLW02-05	Single low-e Aluminium	4.48 0.46
LLW06-07	Single low-e Aluminium	4.48 0.46
LGD01,04,08	Single low-e Aluminium	4.48 0.46
LLD01,02	Single low-e Aluminium	4.48 0.46
LGW03a	Single low-e Aluminium	4.48 0.46
LGW02a	Single low-e Aluminium	4.48 0.46
Plumbing	The owner/builder must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.	
	The owner/builder must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.	
	The owner/builder must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.	
Lighting	The owner/builder must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.	

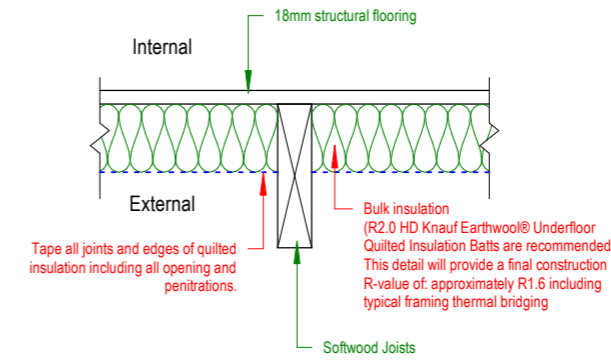
Detailed Project Specifications

Mark	Description	Details	Additional details
Ceilings			
IPC	Internal Plasterboard ceiling		55mm Cove cornice
Floors			
EGC	External ground bearing concrete	Plain concrete finish	
SED	Suspended external deck	Timber bearers & joists	Hardie deck (Dark earth)
SITF	Suspended internal floor	Timber bearers & joists	Coverings to owners requirements
Roofs			
ETMR	Exposed truss metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	Tie -down & bracing details to Engineering details and AS1684
NMR	New metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	Tie -down & bracing details to Engineering details and AS1684
Stairs			
EOS	Open timber stairs	Timber runs with open risers	Construction to meet NCC Part 3.9.1
Structural Columns			
P1	Post		
Walls			
BRW	Blockwork Retaining Wall	Blockwork Retaining Wall	To future engineering details
ISW	Internal stud wall	Internal 10mm plasterboard	
MWB	Metal weatherboard clad timber stud	Internal 10mm plasterboard	External batten fixed 200mm high metal weatherboards (Dark earth)
MWBOS	Metal weatherboard clad timber stud	Open studs	External 200mm high metal weatherboards (light) Open studs
VSSC(L)	Vertical seam metal clad timber stud	Internal 10mm plasterboard	External batten fixed 300mm vertical standing seam metal cladding (Light)
Railing			
EAH	External aluminium handrail	Powdercoated finish	Min 1000mm high to NCC Part 3.9.2
PSF	Pool safety fence	Powdercoated finish	Min 1.2m pool fence to complying with AS1926.1-2012



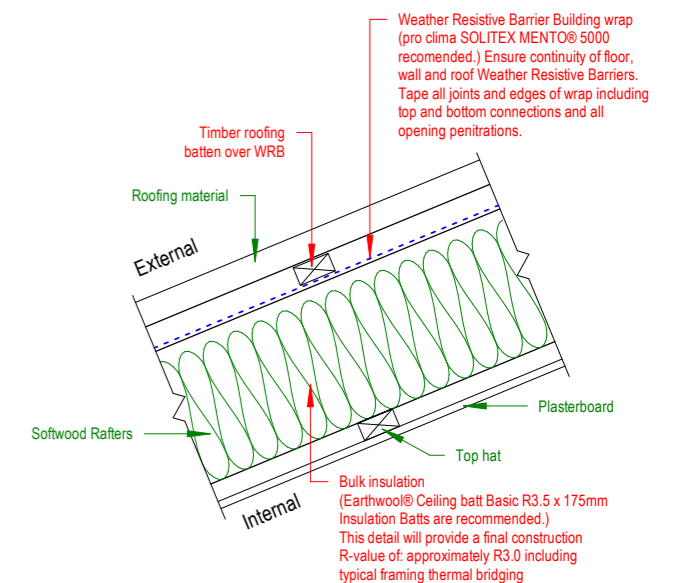
Typical Light Weight Clad Insulation Detail

Scale 1:10



Typical Framed Floor Insulation Detail

Scale 1:10



Typical Skillion Roof Insulation Detail

Scale 1:10

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Revision Schedule		
Date	Description	Rev
29/03/22	Client changes	D
26/10/21	Issued for DA	C
31/08/21	Stage 1 & 2 Setup	B
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Refer to Ar01 for additional notes

Drawing No: 1020-1202

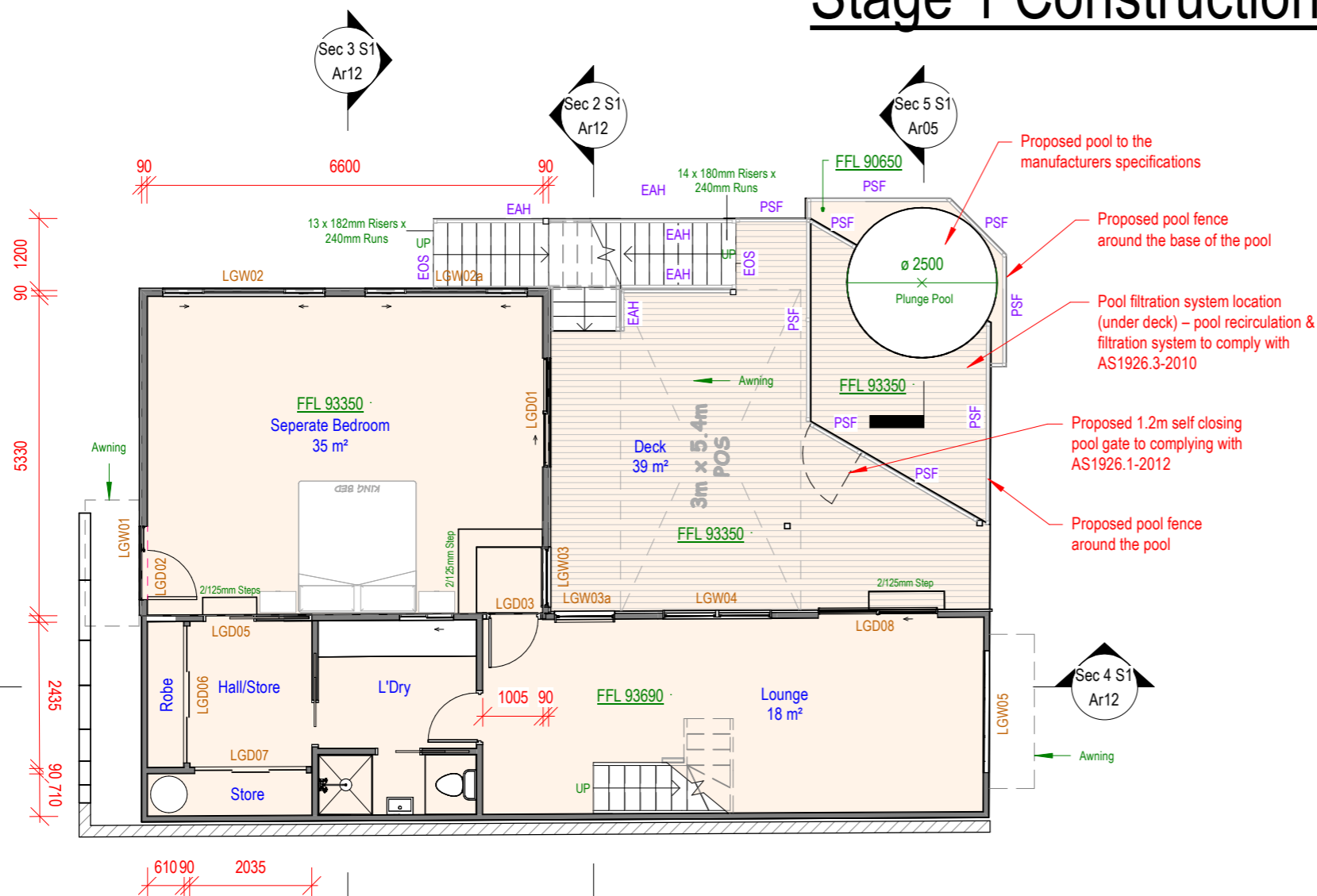
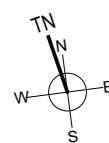
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Stage 1 Construction

Tag Mark Key

Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



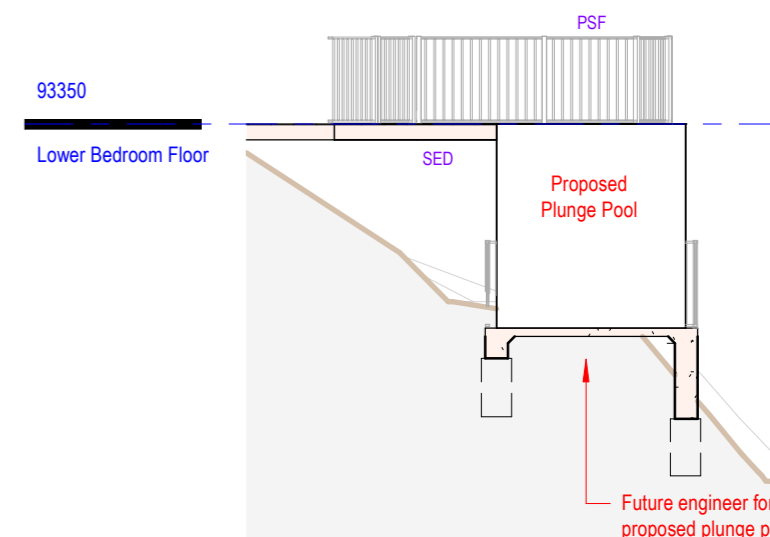
Lower Ground Floor

1 : 100

Pool barrier must be designed, constructed, installed and maintained in accordance with the Australian Standard AS1926.1-2012 – Safety Barriers for Swimming Pools.

Swimming Pool Fence Requirements:

- Internal swimming pool fencing height must be at least 1.2m high around the perimeter, measured on the outside of the fencing
- Boundary fence used as pool fencing to be 1800mm in height measured from inside of pool enclosure
- Minimum 900mm separation between the upper and lower horizontal components of the fence to maintain a non-climbable zone
- Maximum 100mm gap under the fence
- Maximum 100mm gap in barrier components, allowing for any flex in the material
- Non-climbable zone extends from the barrier 300mm into pool area and 900mm outside pool area
- All swimming pool fencing must be in good condition, i.e. with no holes, broken, or loose palings
- There must be no objects such as BBQs, furniture, planter boxes, trees, or shrubs within 900mm of the fence, which could allow a child to climb over the fence
- Gates to the swimming pool area must open outwards and must be fully self-closing and self-latching from any open position.
- An appropriate resuscitation sign must be displayed in the immediate vicinity of the pool area



Sec 5 S1

1 : 100



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08/06/21	Issued for review	F
03/06/21	Minor tweaking	E

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Refer to Ar01 for additional notes

Drawing No: 1020-1202

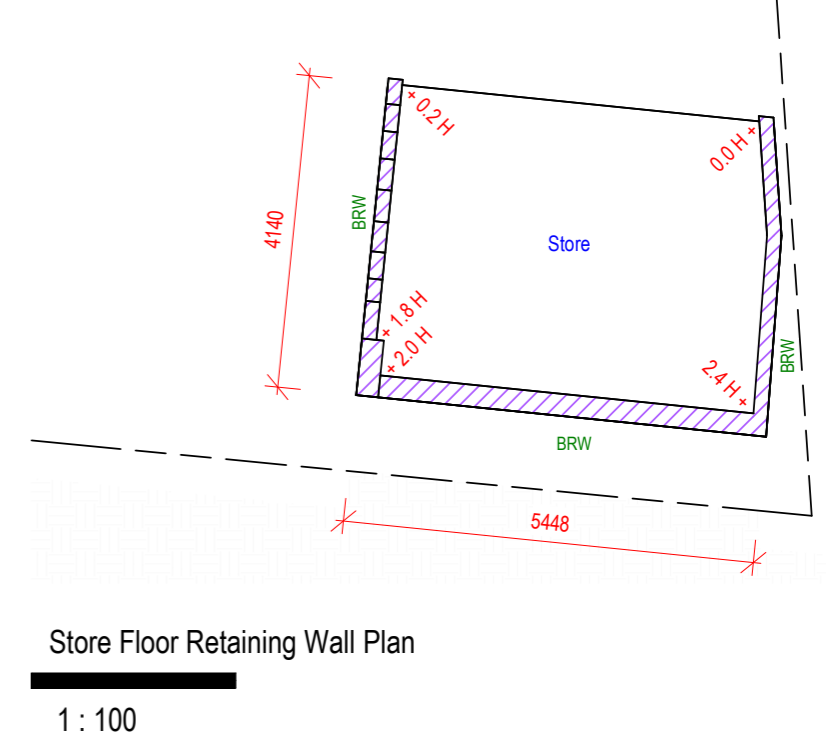
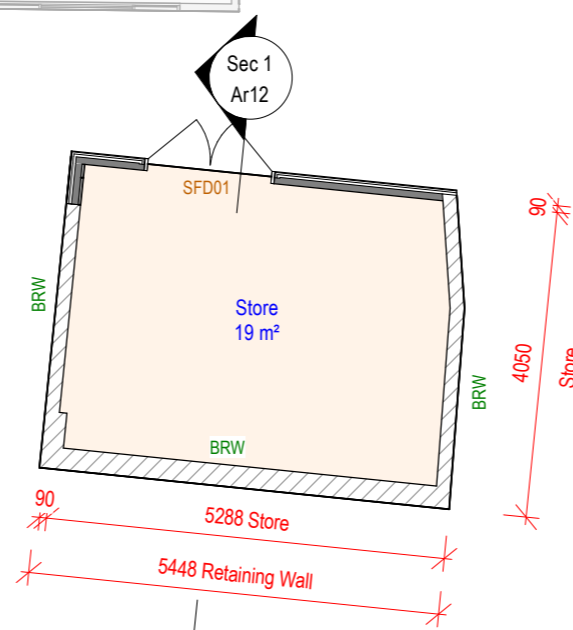
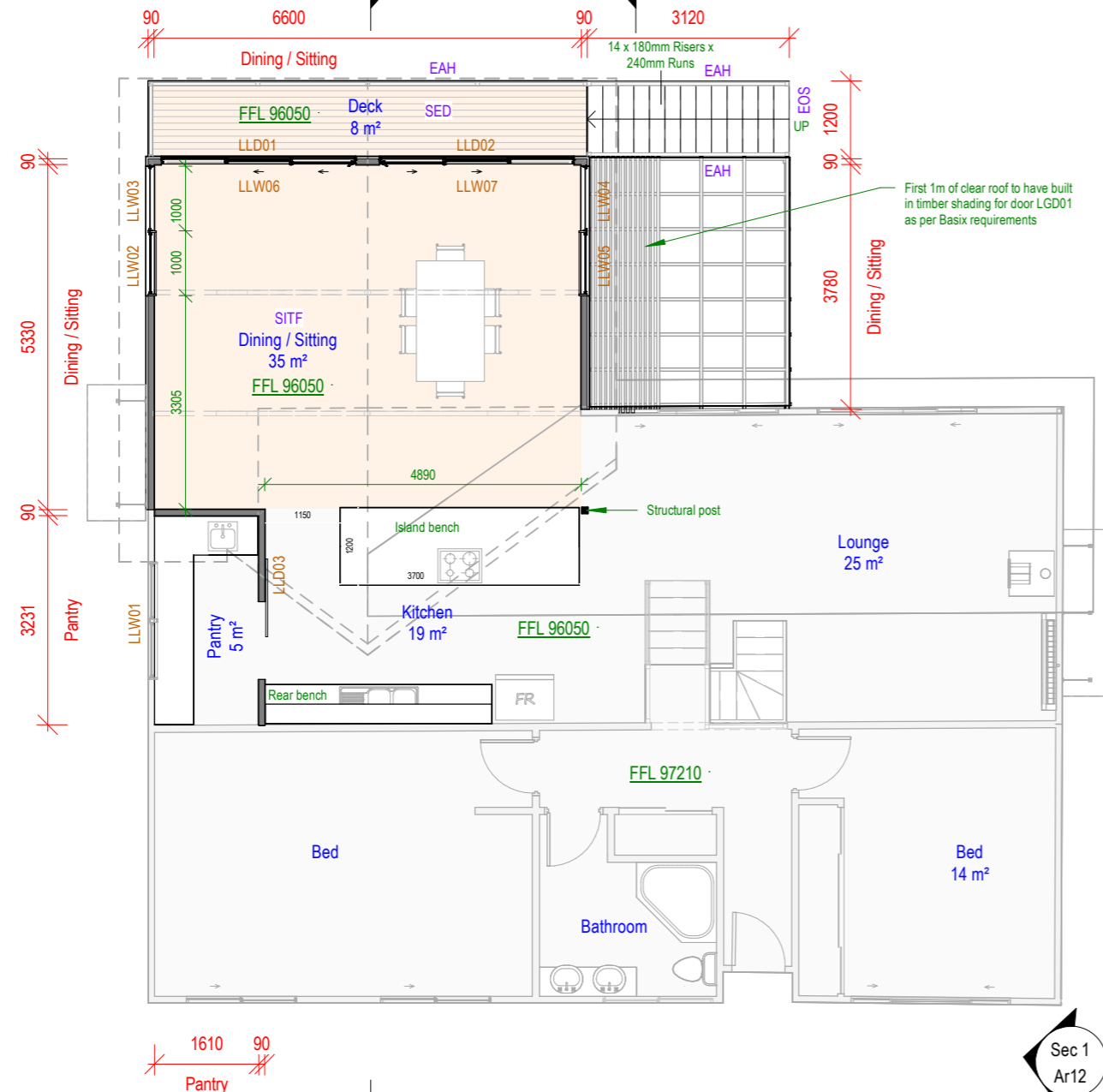
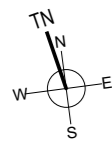
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Scale: 1 : 100 @ A3

Stage 1 Construction

Tag Mark Key

Mark	Description
10	
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



Living Ground Floor - Stage 1

1 : 100

Store Floor Retaining Wall Plan

1 : 100



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Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar06

Scale: 1 : 100 @ A3

Stage 1 Construction

Window Schedule - Stage 1

	Mark	Height	Width	Type	Assembly	Sill Height	Comments	Room Name
Lower Bedroom Floor	LGW01	2040	400	Fixed	F	0		Seperate Bedroom
Lower Bedroom Floor	LGW02	1200	2650	ASW	SFS	950		Seperate Bedroom
Lower Ground Floor	LGW02a	1200	2650	ASW	SFS	610		Seperate Bedroom
Lower Ground Floor	LGW03	1759	1000	Louver	L	341	Owners existing stain glass window	Seperate Bedroom
Lower Ground Floor	LGW03a	1759	1000	Louver	L	341		Deck
Lower Ground Floor	LGW04	960	1810	Louver	LL	1179		Lounge
Lower Ground Floor	LGW05	430	2030	Glass Block	F	1598		Lounge
Living Ground Floor	LLW01	502	1810	Louver	LL	1898		Pantry
Living Ground Floor	LLW02	1759	1000	Louver	L	641		Dining / Sitting
Living Ground Floor	LLW03	1759	1000	Fixed	F	641		Dining / Sitting
Living Ground Floor	LLW04	1759	1000	Fixed	F	641		Dining / Sitting
Living Ground Floor	LLW05	1759	1000	Louver	L	641		Dining / Sitting
Living Ground Floor	LLW06	150	2975	Fixed	F	2400		Dining / Sitting
Living Ground Floor	LLW07	150	2975	Fixed	F	2400		Dining / Sitting

Door Schedule - Stage 1

Level	Mark	Area	Height	Width	Type	Assembly	Comments	Room Name
Lower Bedroom Floor	LGD01	3.80 m ²	2100	1810	External	SF		Seperate Bedroom
Lower Bedroom Floor	LGD02	1.67 m ²	2040	820	External	Swing	Re-use existing ground entry	Seperate Bedroom
Lower Ground Floor	LGD03	1.67 m ²	2040	820	Internal	Swing	Solid core	
Lower Ground Floor	LGD05	3.59 m ²	2040	1760	Internal	Cavity slider		Seperate Bedroom
Lower Ground Floor	LGD06	4.65 m ²	2040	2280	Internal	Sliding		Hall/Store
Lower Ground Floor	LGD07	3.79 m ²	2040	1860	Internal	Sliding		Hall/Store
Lower Ground Floor	LGD08	4.17 m ²	2100	1985	External	SF		Lounge
Living Ground Floor	LLD01	7.20 m ²	2400	3000	External	SSF		Dining / Sitting
Living Ground Floor	LLD02	7.20 m ²	2400	3000	External	SSF		Dining / Sitting
Living Ground Floor	LLD03	6.05 m ²	2400	2520	Internal	Slide	Feature wall hung	Kitchen
Store Floor	SFD01	3.52 m ²	2040	1725	External	Double swing		Store



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03/06/21	Minor tweeking	D

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Drawing No: 1020-1202

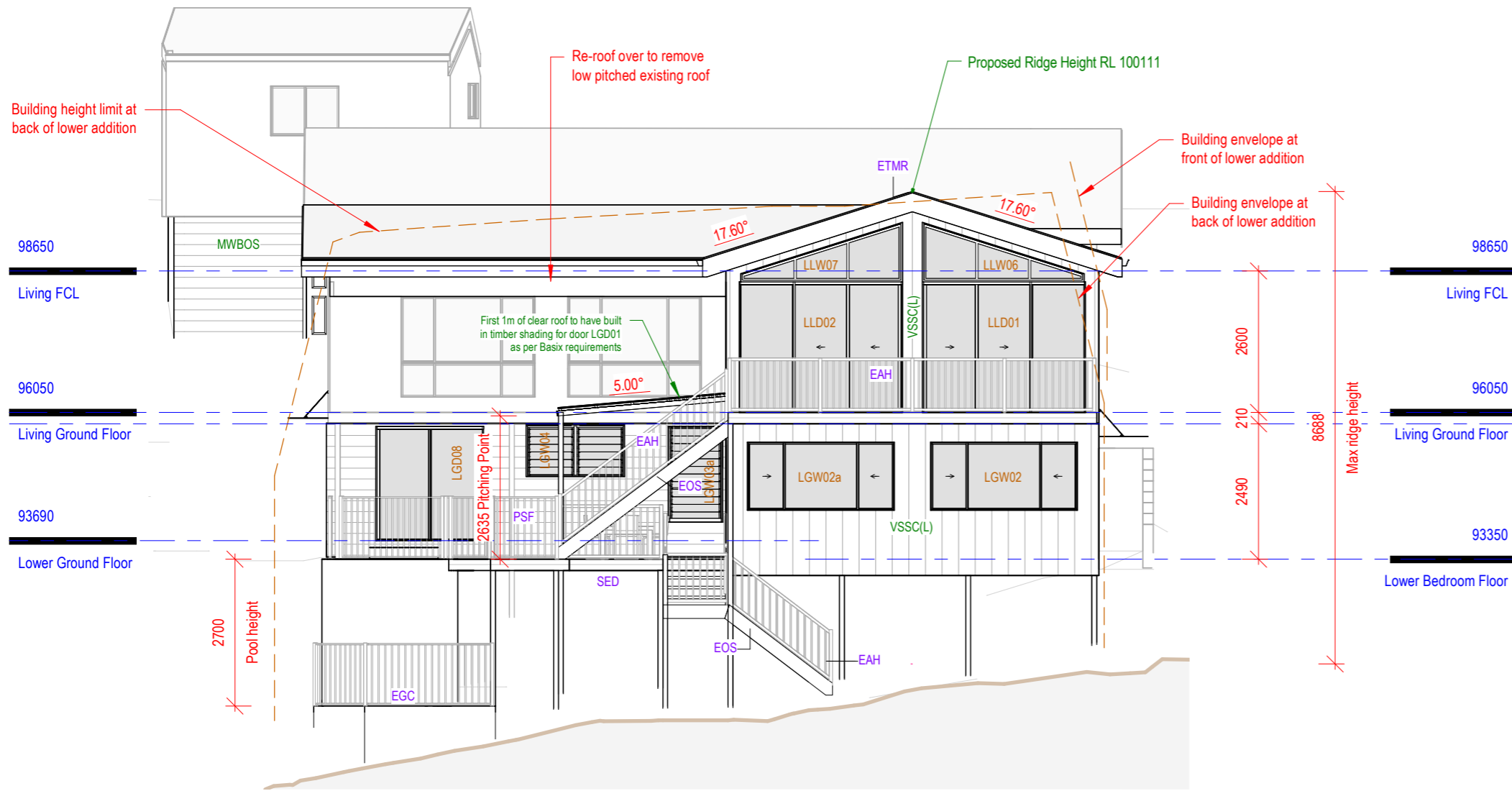
Sheet: Ar07

Scale: @ A3

Stage 1 Construction

Tag Mark Key

Mark	Description
12	
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



North Elevation - Stage 1

1 : 100



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AUSTRALIAN PASSIVE HOUSE ASSOCIATION MEMBER 1 2021

Client: Rachel & John Vazey

Address: Lot 343 DP 237590
20 Summer Place
Merewether Heights NSW 2291

Revision Schedule

Date	Description	Rev
05/08/22	Council amendments	I
29/03/22	Client changes	H
26/10/21	Issued for DA	G
31/08/21	Stage 1 & 2 Setup	F
08/06/21	Issued for review	E

Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

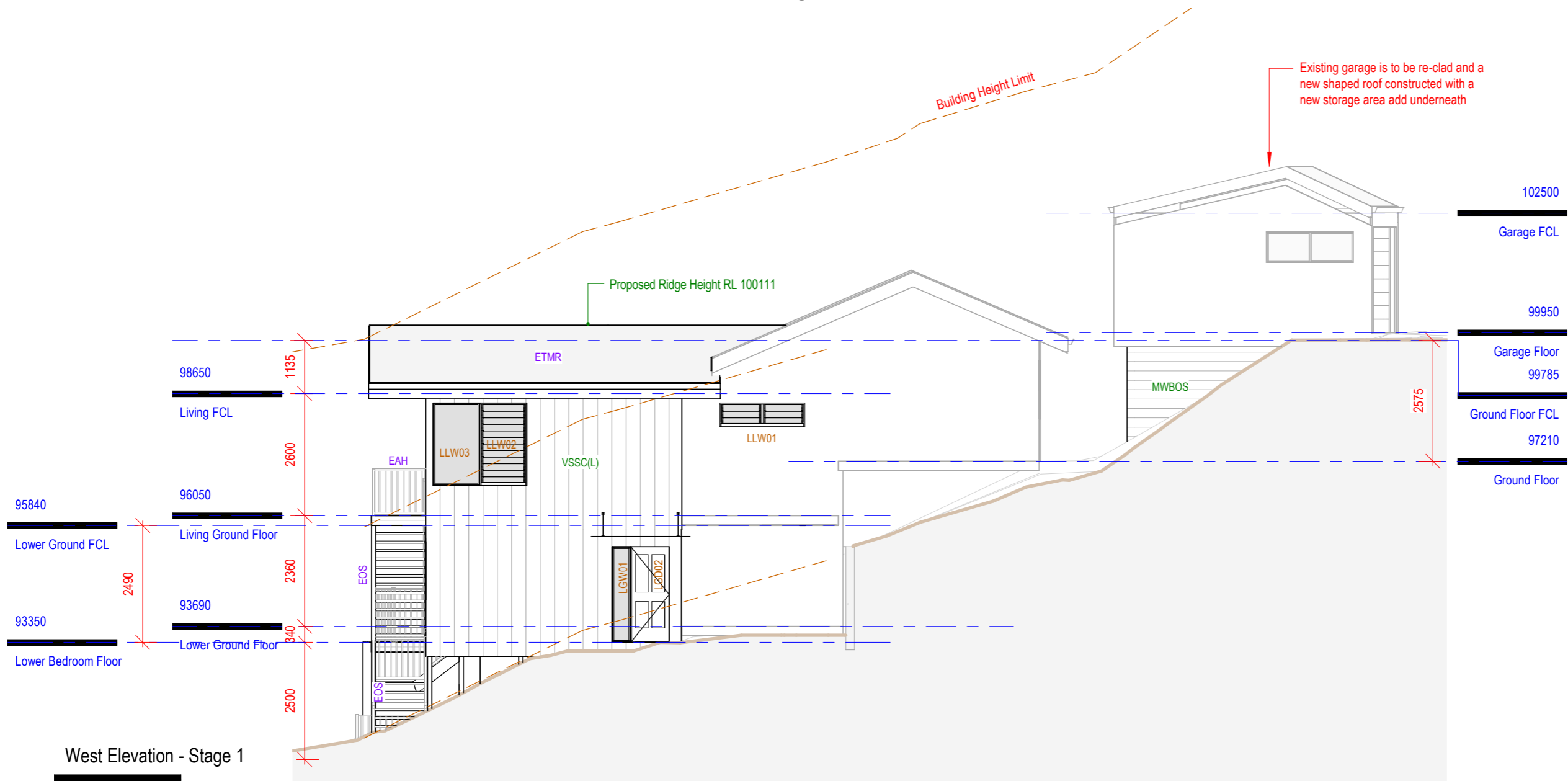
Sheet: Ar08

Scale: 1 : 100 @ A3

Stage 1 Construction

Tag Mark Key

Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



West Elevation - Stage 1

1 : 100



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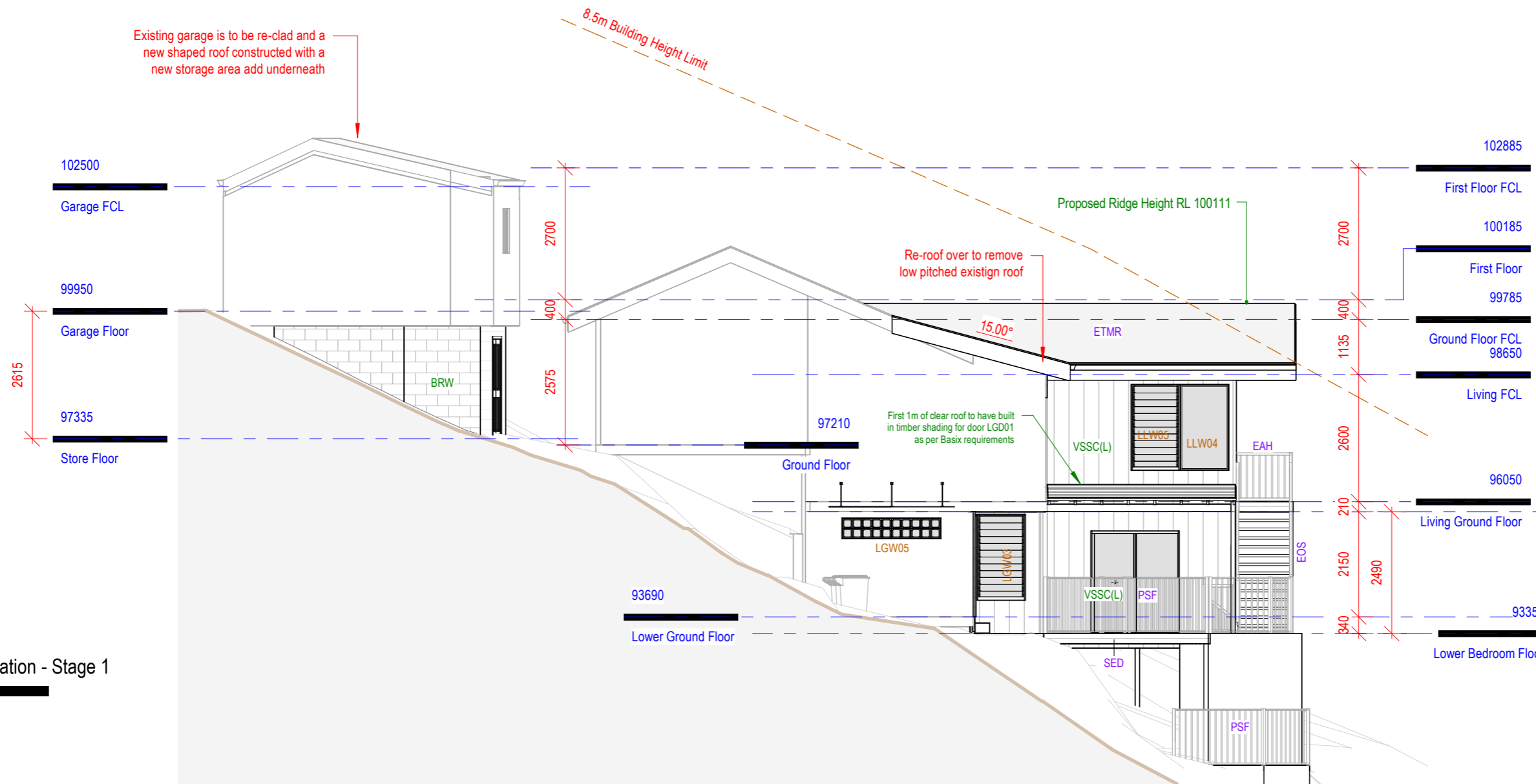
Address: Lot 343 DP 237590
20 Summer Place
Merewether Heights NSW 2291

Revision Schedule			Do not scale off drawings, contact the office if additional dimensions required. Refer to Ar01 for additional notes
Date	Description	Rev	
05/08/22	Council amendments	H	Drawing No: 1020-1202 Sheet: Ar09 Scale: 1 : 100 @ A3
26/10/21	Issued for DA	G	
31/08/21	Stage 1 & 2 Setup	F	
08/06/21	Issued for review	E	
03/06/21	Minor tweaking	D	

Stage 1 Construction

Tag Mark Key

Mark	Description
Ceilings	
14	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



East Elevation - Stage 1

1 : 100



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Revision Schedule

Date	Description	Rev
05/08/22	Council amendments	I
29/03/22	Client changes	H
26/10/21	Issued for DA	G
31/08/21	Stage 1 & 2 Setup	F
08/06/21	Issued for review	E

Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar10

Scale: 1 : 100 @ A3

Stage 1 Construction

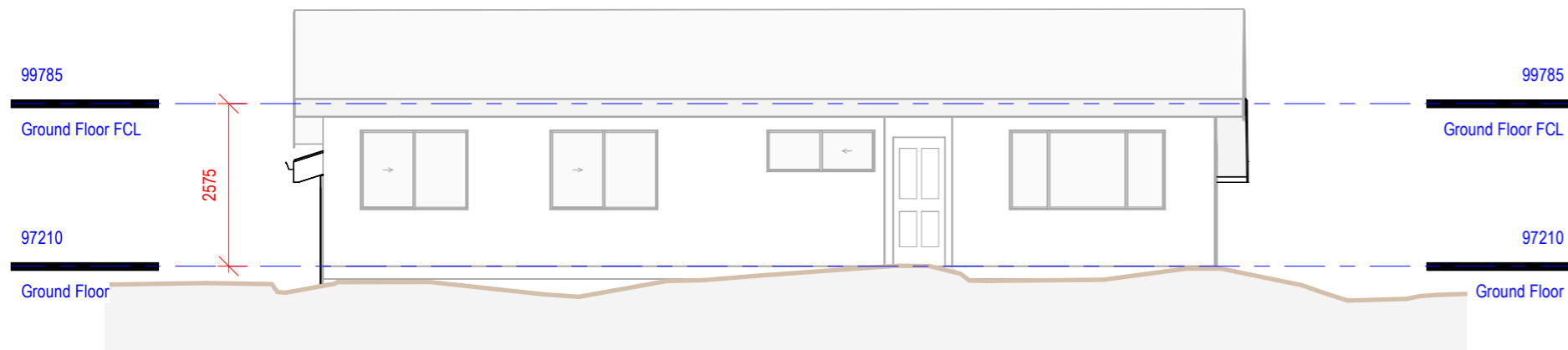


Tag Mark Key

Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
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ISW	Internal stud wall
MWB	Metal weatherboard clad timber stud
MWBOS	Metal weatherboard clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence

Summer Place Street Elevation - Stage 1

1 : 100



South Elevation - Stage 1

1 : 100



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Client: Rachel & John Vazey

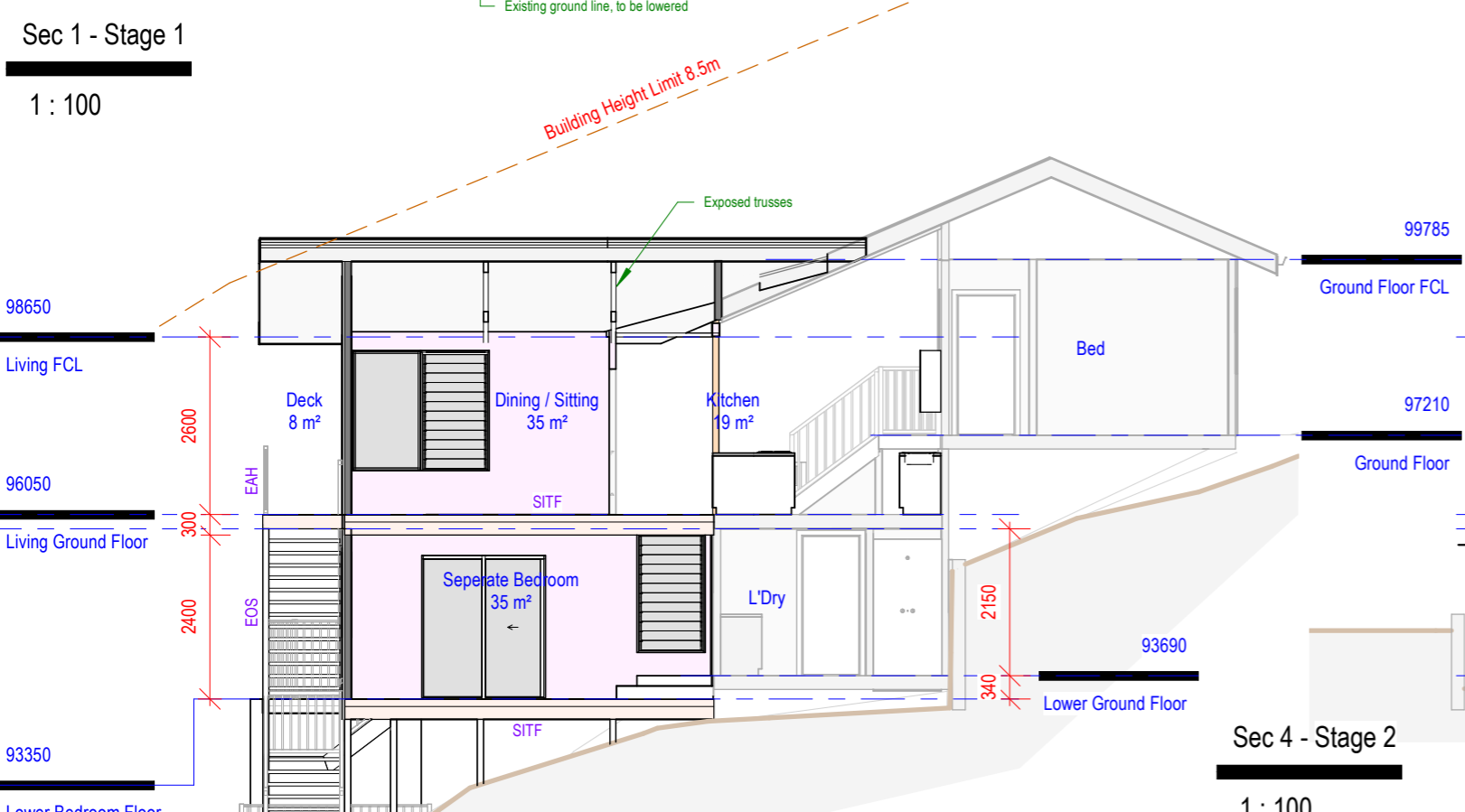
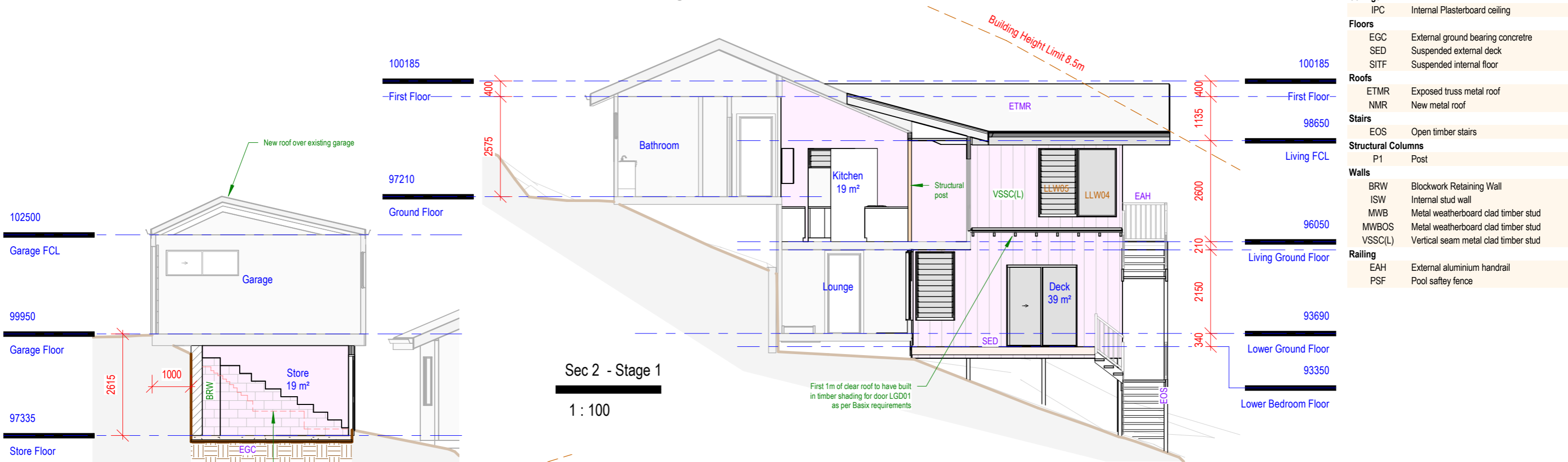
Address: Lot 343 DP 237590
20 Summer Place
Merewether Heights NSW 2291

Revision Schedule			Do not scale off drawings, contact the office if additional dimensions required. Refer to Ar01 for additional notes
Date	Description	Rev	
26/10/21	Issued for DA	G	Drawing No: 1020-1202
31/08/21	Stage 1 & 2 Setup	F	
08/06/21	Issued for review	E	Sheet: Ar11
03/06/21	Minor tweaking	D	Scale: 1 : 100 @ A3
19/05/21	Additional alterations	C	

Stage 1 Construction

Tag Mark Key

Mark	Description
Ceilings	
IPC	Internal Plasterboard ceiling
Floors	
EGC	External ground bearing concrete
SED	Suspended external deck
SITF	Suspended internal floor
Roofs	
ETMR	Exposed truss metal roof
NMR	New metal roof
Stairs	
EOS	Open timber stairs
Structural Columns	
P1	Post
Walls	
BRW	Blockwork Retaining Wall
ISW	Internal stud wall
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VSSC(L)	Vertical seam metal clad timber stud
Railing	
EAH	External aluminium handrail
PSF	Pool safety fence



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03/06/21	Minor tweaking	D

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Refer to Ar01 for additional notes

Drawing No: 1020-1202
Sheet: Ar12
Scale: 1 : 100 @ A3

Stage 1 Construction



View from kitchen - Stage 1



View from lounge - Stage 1



View of kitchen from living - Stage 1



View of kitchen from sitting - Stage 1



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03/06/21	Minor tweaking	D
19/05/21	Additional alterations	C

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Refer to Ar01 for additional notes
Drawing No: 1020-1202
Sheet: Ar13
Scale: @ A3

Stage 1 Construction



Revision Schedule		
Date	Description	Rev
26/10/21	Issued for DA	F
31/08/21	Stage 1 & 2 Setup	E
08/06/21	Issued for review	D
03/06/21	Minor tweaking	C
19/05/21	Additional alterations	B

Stage 1 Construction



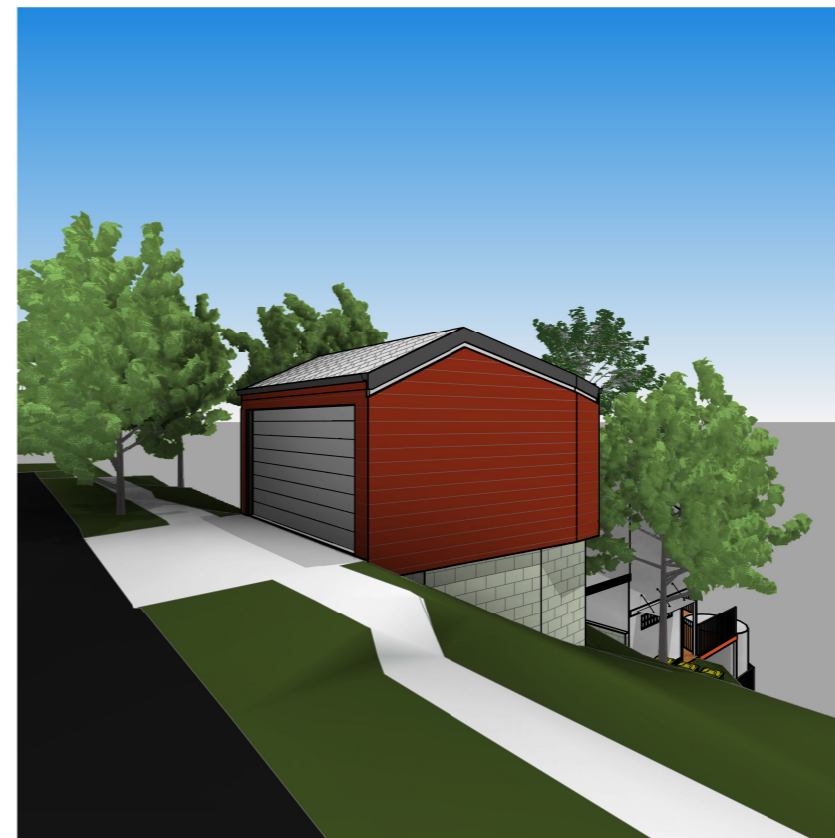
Northeast Perspective View - Stage 1



Northwest Perspective View - Stage 1



Southwest Perspective View - Stage 1



Southeast Perspective View - Stage 1



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Date	Description	Rev
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31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.
Refer to Ar01 for additional notes
Drawing No: 1020-1202
Sheet: Ar15
Scale: @ A3

Erosion and Sediment Controls

General Notes

- This plan shows the control objectives, philosophy and key control works for the site. The contractor shall provide supplementary works that reflect the adopted construction program and practices to ensure that erosion and sediment movement are managed in accordance with the objectives of this plan.
- Erosion and sediment hazard areas include stockpiles, exposed ground, embankments, cuttings concentrated flow paths and waterways.
- This plan is to be used as a guide only. The suitability of erosion and sediment control measures to be evaluated on site and where required, are to be modified under the supervision of a suitably qualified engineer and Council.

Pre-Construction Phase Notes

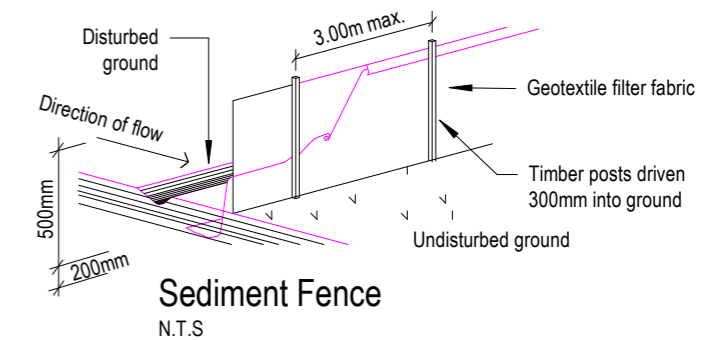
- Site works are not to start until the erosion and sediment control measures are installed and functional.
- Temporary sediment traps to be installed during construction (where applicable)
- Waste bins are to be provided for building waste or waste enclosure min. 1800 x 1800 x 1200mm high constructed using star pickets and 1200mm high weed control mat. Arrangement to be made for regular collection and disposal or recycling of construction waste.
- Entry and departure of vehicles is to be confined to the nominated existing vehicle access or stabilised site access. Sediment or barrier fencing will be used to restrict all vehicular movements to that access point. Stabilisation will be achieved by either:
 - a) constructing a sealed (eg concrete or asphalt) driveway to the street
 - b) constructing a stabilised site access according to Council's engineering standards.

Construction Phase Notes

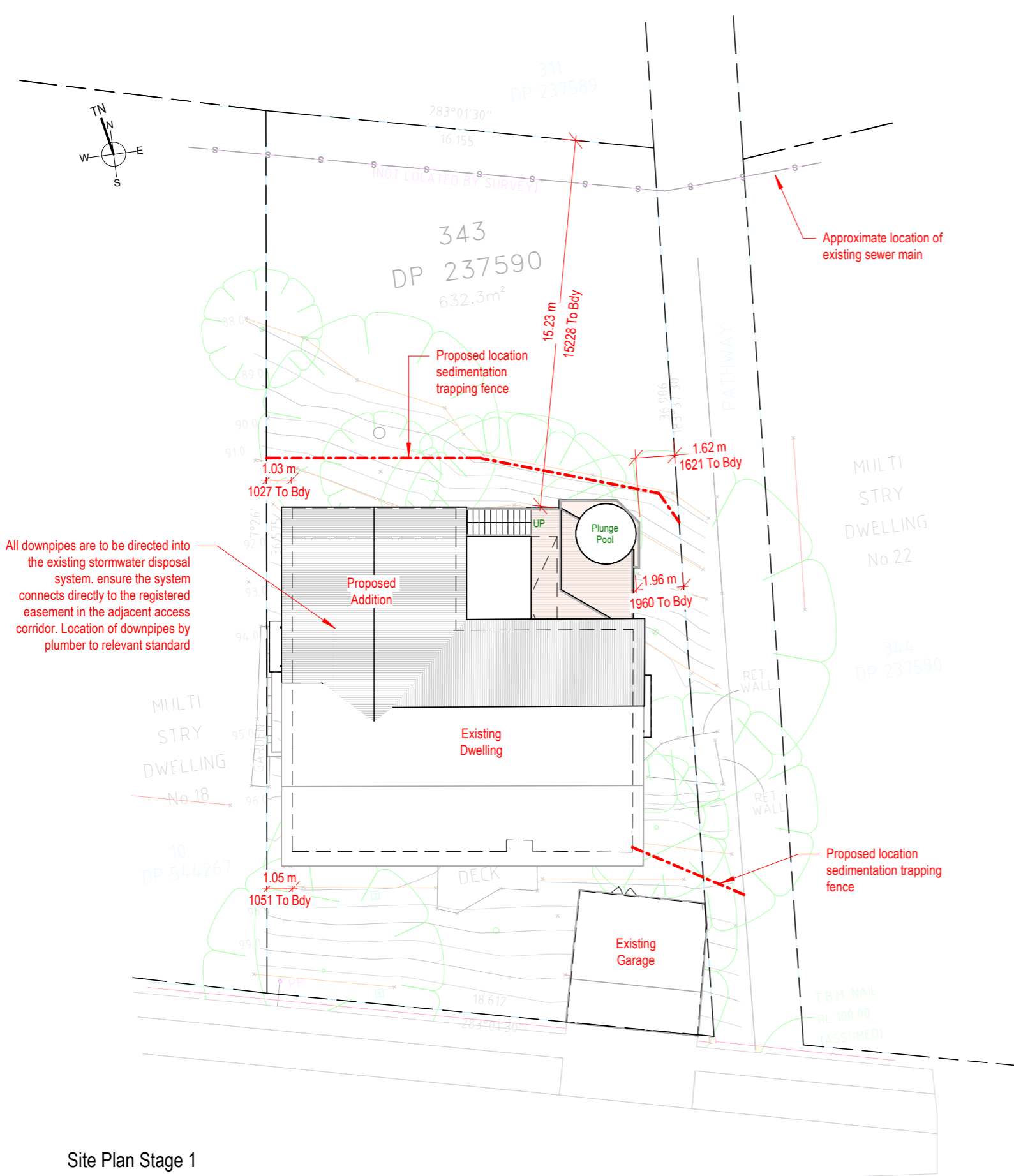
- Topsoil is to be stripped from building site and stockpiled for later use in landscaping the site.
- The footpath and driveway, other than stabilised site access, is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
- Where appropriate, an aggregate bag shall be placed in the gutter below the site access. The bag shall be made from green sediment fence material, or similar. The bag must be at least 450mm long, 200mm diameter, filled with less than 20mm blue metal or crushed rock. If the bag breaks or deteriorates, the bag shall be replaced immediately and the material cleaned out from any gutter, kerb, road surface or stormwater system it has entered. The use of hessian bags, and sand filled bags is not acceptable.
- All sedimentation controls are to be checked daily (at a min. weekly) and after all rain events. All structures to be cleaned on reaching 50% storage capacity to ensure they are maintained and in full functional condition. Excess materials and water from cleaning tools and equipment should not be washed down stormwater drains.

Post-Construction Phase Notes:

- Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works. Where necessary, spray and seed disturbed areas.
- Roof downpipes to be connected to street kerb or other stormwater disposal system as nominated in the plans on completion of roof and guttering as soon as possible.



Site Area Schedule - Stage 1			
Name	Area	Coverage	Overall
Existing Dwelling Footprint	138.6 m ²	Impermeable	22%
Existing Garage	29.3 m ²	Impermeable	5%
Proposed Dwelling Addition Footprint	16.9 m ²	Impermeable	3%
	184.8 m ²		29%
Remaining Site	446.4 m ²	Permeable	71%
	446.4 m ²		71%



All downpipes are to be directed into the existing stormwater disposal system. ensure the system connects directly to the registered easement in the adjacent access corridor. Location of downpipes by plumber to relevant standard

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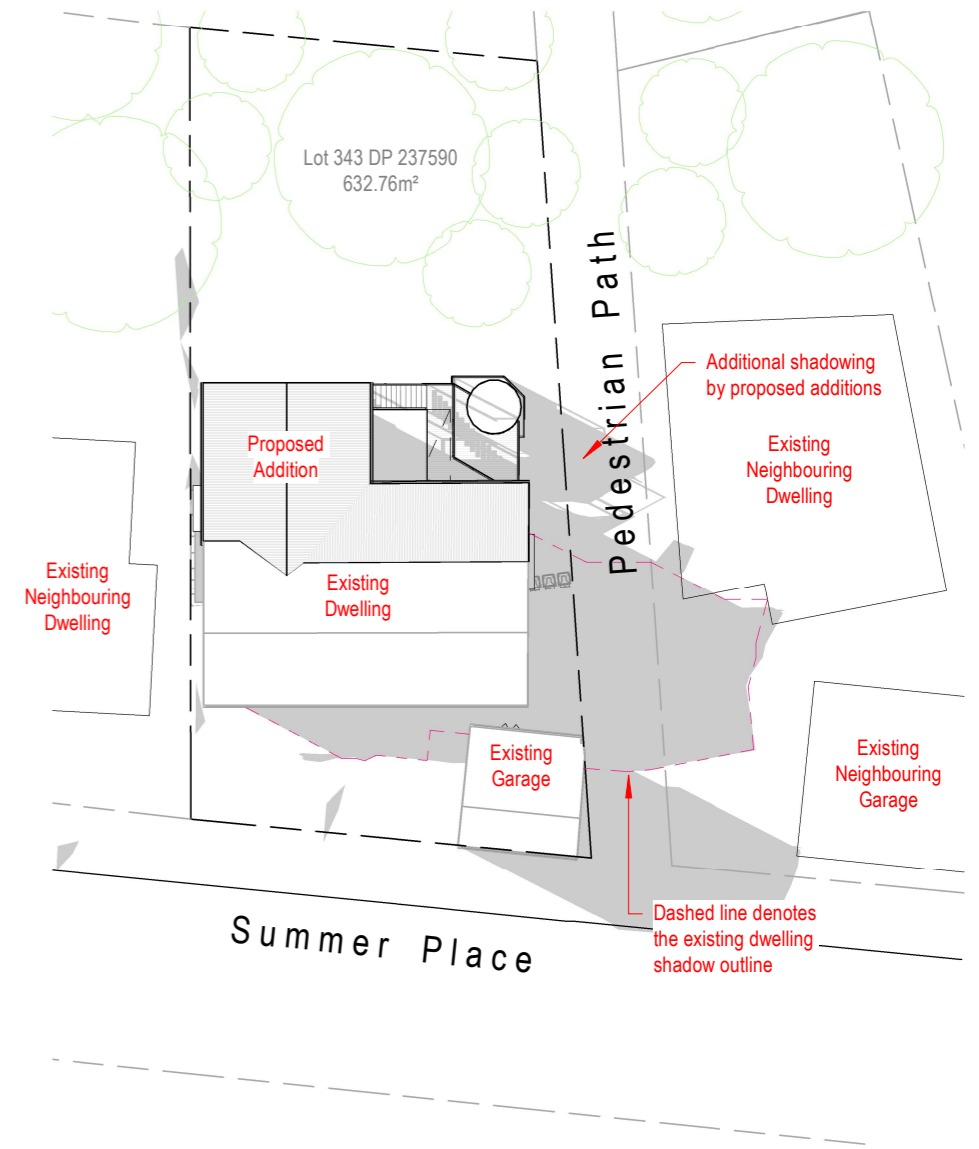
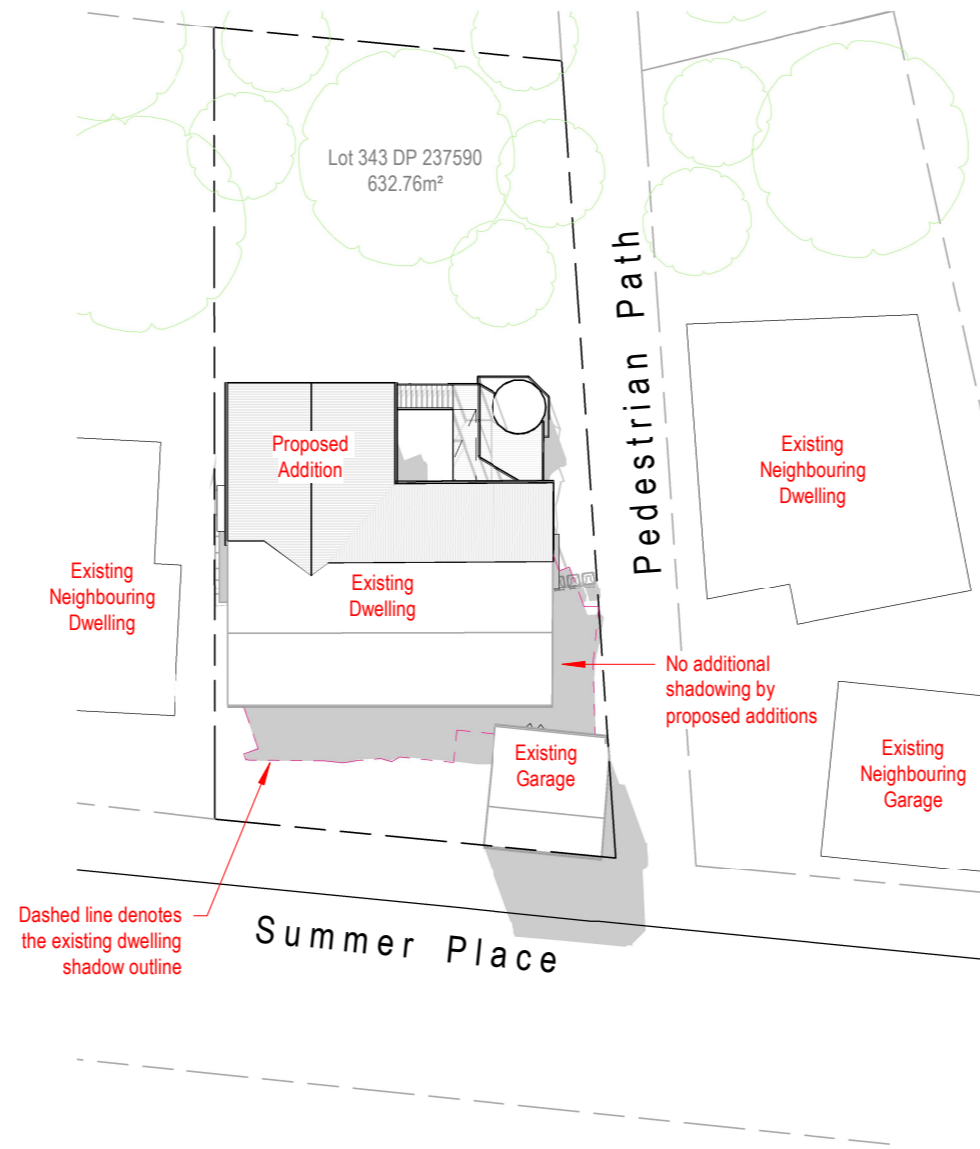
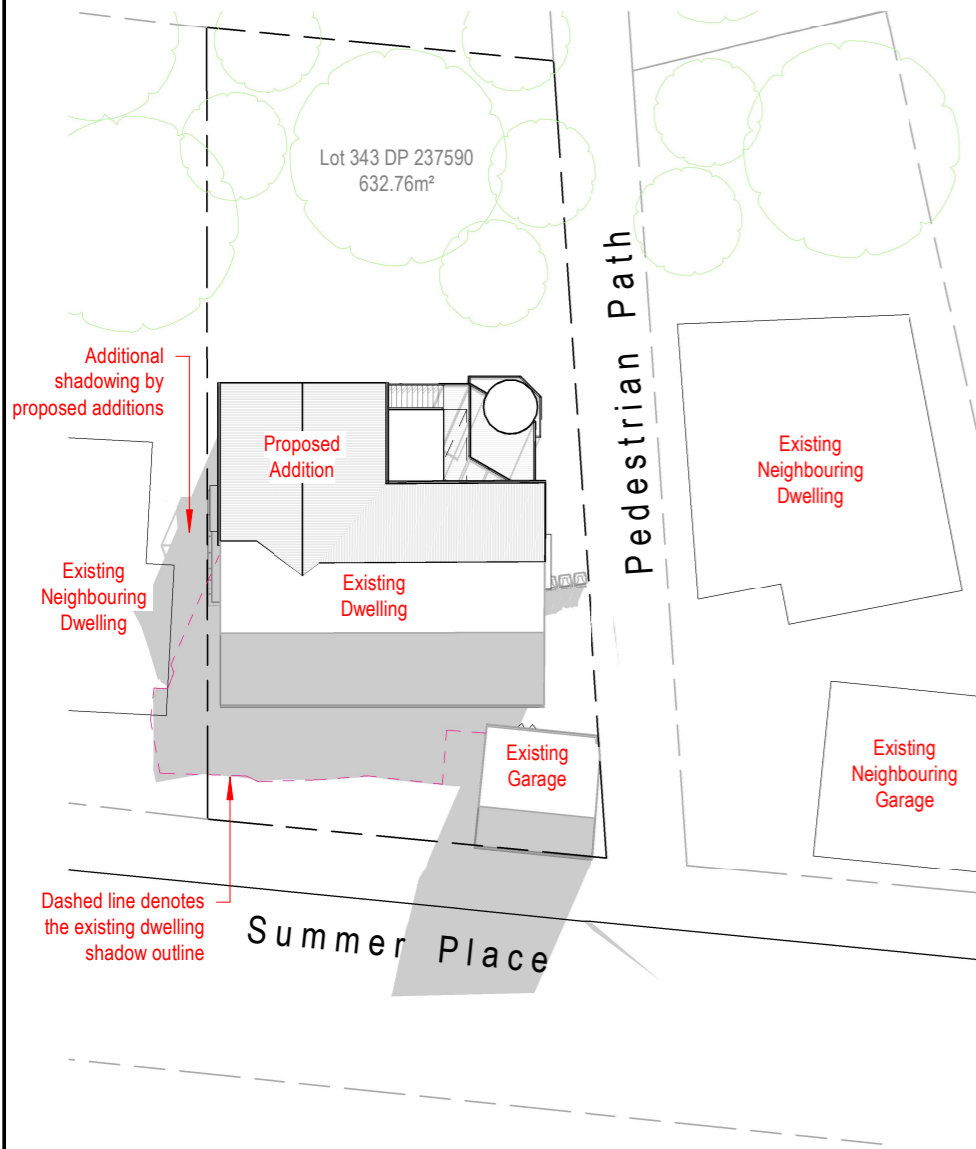
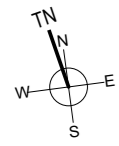
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20 Summer Place
Merewether Heights NSW 2291

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Date	Description	Rev	
26/10/21	Issued for DA	E	Drawing No: 1020-1202
31/08/21	Stage 1 & 2 Setup	D	
08/06/21	Issued for review	C	Sheet: Ar16
03/06/21	Minor tweaking	B	Scale: As indicated @ A3
19/05/21	Additional alterations	A	

Stage 1 Construction



Winter Shadow Plan - Stage 1 - 9am

1 : 350

Winter Shadow Plan - Stage 1 - 12pm

1 : 350

Winter Shadow Plan - Stage 1 - 3pm

1 : 350



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Date	Description	Rev
26/10/21	Issued for DA	B
31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

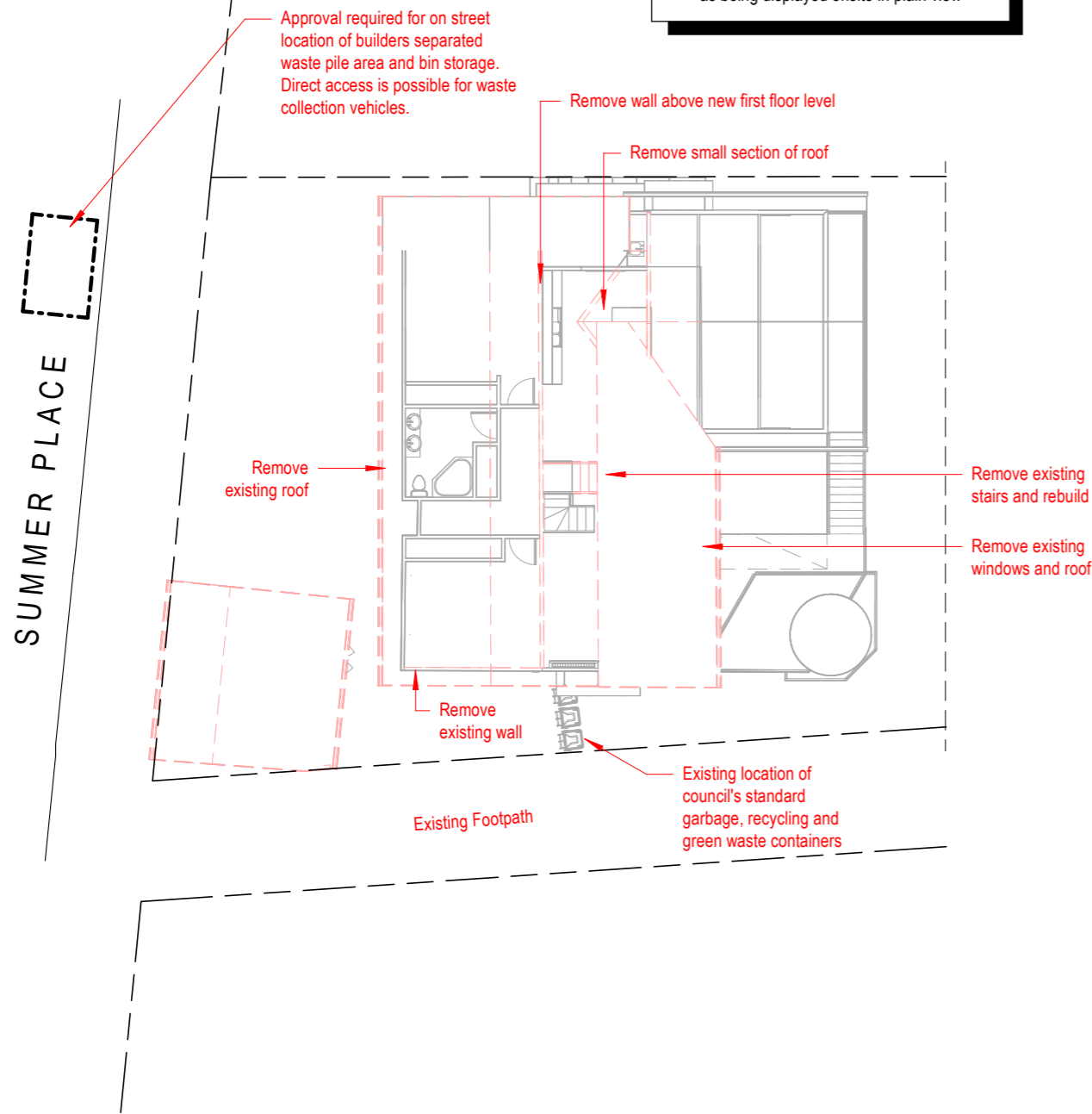
Sheet: Ar17

Scale: 1 : 350 @ A3



Stage 2 Construction

This plans must be provided to any relevant person involved in the demolition and/or construction, including project managers, builders, contractors and sub-contractors as well as being displayed onsite in plain view



Waste Management Plan - Stage 2

1 : 200

General Notes

1. The main outcome from this plan is to enable maximum diversion of demolition and construction waste to be reused, recycled or composted to reduce building waste going to landfill.
2. Ensure that waste management is planned across all demolition and construction stages so that reusable resources and waste can be appropriately and effectively stored and removed safely from site without adverse impacts on local amenity.
3. **Large skip bins are not to be used on site for mixed materials** unless they are being sent to a specialised construction waste sorting depot or similar.

Demolition Notes

1. To avoid creating demolition waste, wherever practically possible use the existing structure/materials as they are, where they are. If that is not possible re-use them onsite before committing to recycling.
2. All demolished materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Construction Notes

1. To avoid creating additional construction waste, ensure not to over order materials and carefully separate off-cuts to facilitate re-use onsite before setting aside for resale or efficient recycling.
2. All waste/unwanted construction materials **must be separated** into material piles and kept uncontaminated and treated as per the 'Site Waste Minimisation and Management Table' below.

Ongoing Waste Management Notes

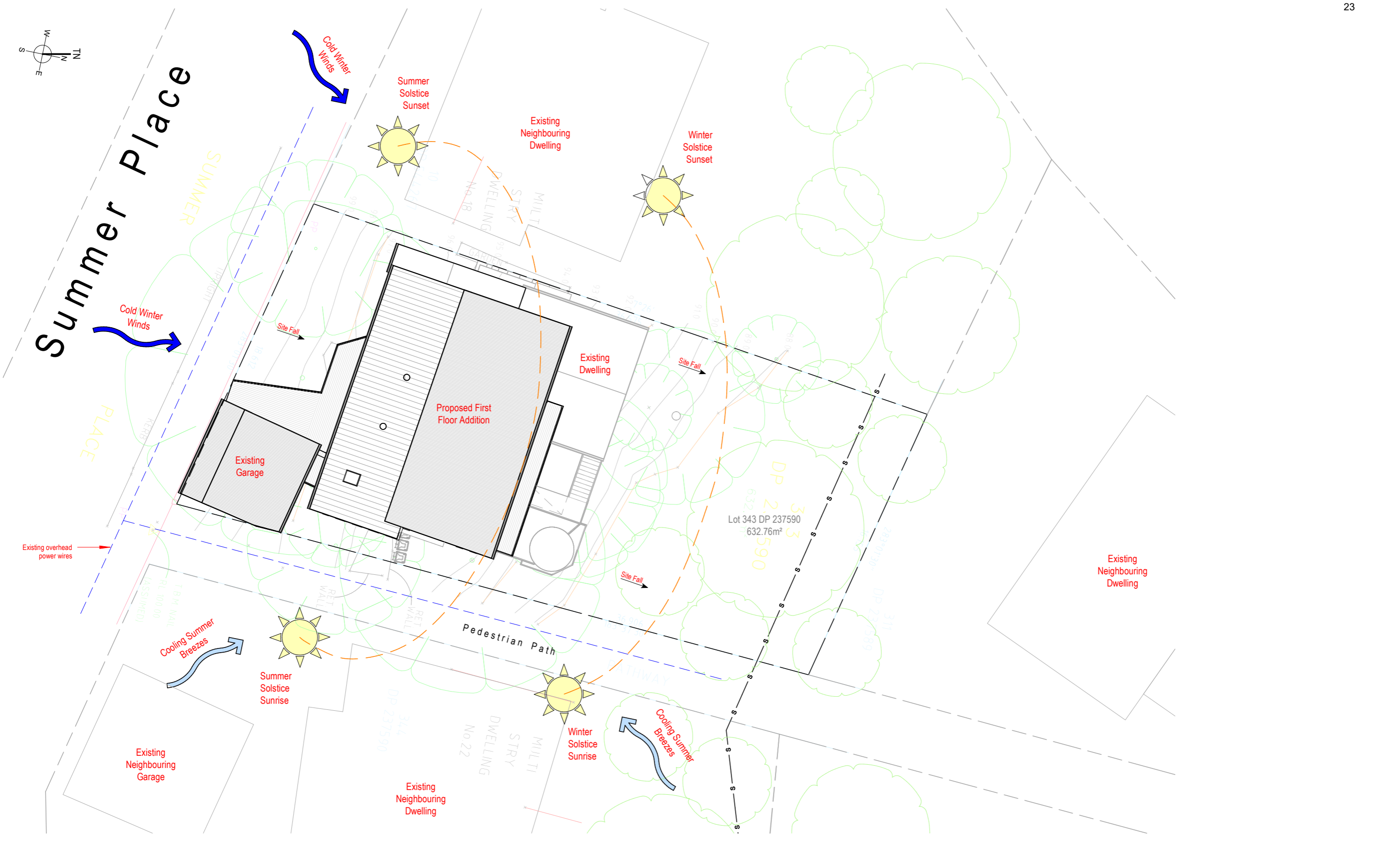
1. A waste cupboard/area in the kitchen will gather daily household waste and consist of 3 separate bins separating garbage (landfill), recyclable materials and compostable materials.
2. Council's standard garbage, recycling and green waste containers are to be located behind the building line or behind suitable screening that will not impact on adjoining premises and have unobstructed access to Council's usual Collection Point.
3. The use of onsite composting and worm farms is highly recommended to produce soil and fertiliser for gardens.
4. Council's standard waste pickup is as follows:
Garbage (landfill) fortnightly, recycling fortnightly and green waste weekly

Site Waste Minimisation and Management Table			
Type of Material	Reuse and Recycling On-site	Reuse and Recycling Off-site	Disposal
Excavation Material	Fill, gardens, topsoil	Clean fill site	Unsuitable remainder to Waste Management Facility
Green Waste	Mulched for gardens, landscaping	Mulched for collection for reuse	Unsuitable remainder to Waste Management Facility
Bricks	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Concrete	Re-use where possible, crushed for gravel or fill	Concrush	Unsuitable remainder to Waste Management Facility
Timber	Reuse where possible eg formwork, packing	Timber recycler	Unsuitable remainder to Waste Management Facility
Plasterboard	Nil	Nil	Waste Management Facility
Metals	Reuse where possible	Metal recycler	Unsuitable remainder to Waste Management Facility
Other - Miscellaneous	Reuse or recycle if possible	Reuse or recycle if possible	Unsuitable remainder to Waste Management Facility

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Date	Description	Rev	
26/10/21	Issued for DA	B	Drawing No: 1020-1202
31/08/21	Stage 1 & 2 Setup	A	
			Sheet: Ar101
			Scale: As indicated @ A3



Site Analysis Plan Stage 2

1 : 200

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Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar102

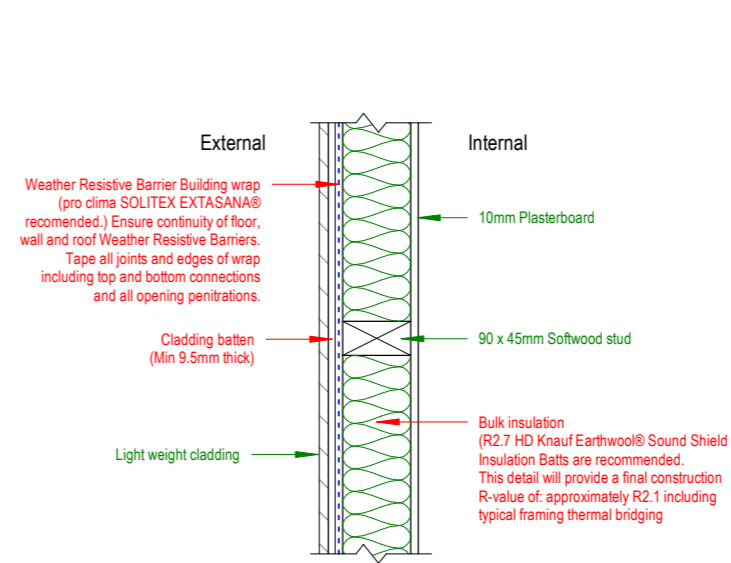
Scale: 1 : 200 @ A3

Basix, Sustainability and Construction Details

Blencowe Design	email: info@blencowdesign.com.au	ph: 0423081511
Important Note for Development Applicants:		
The following specification details the requirements necessary to achieve the thermal performance values as indicated on the BASIX Certification. Once the development is approved by Council, these specifications will become a condition of consent and must be included in the built works. If you do not want to include these requirements, or need further information, please contact Blencowes Design		
BASIX Certificate Number A431124		
These are the Specifications upon which the Certified Assessment is based. If they vary from drawings or other written specifications, these Specifications shall take precedence. If only one specification option is detailed for a building element, that specification must apply to all instances of that element for the whole project. If alternate specifications are detailed, the location and extent of the alternate specification must be detailed below and / or clearly indicated on referenced documentation.		
External Wall Construction	Insulation	Colour (Solar Absorptance) Detail
Stud Framed	R1.3 (or 1.7 including construction)	Any
Internal Wall Construction	Insulation	Detail
Plasterboard on studs	none	
Ceiling Construction	Insulation	Detail
Plasterboard	R2.5	
Roof Construction	Insulation	Colour (Solar Absorptance) Detail
Metal	Foil/Sarking	Medium (solar absorptance 0.475 - 0.70)
Windows	Glass and frame type	U SHGC Detail
LLW08-09	Single low-e Aluminium	4.48 0.46 Eave > 900mm
LLW10	Single low-e Aluminium	4.48 0.46 Eave > 750mm
LLW11	Single/Air/Single Aluminium	4.48 0.46 Eave > 900mm
GFW02-03	Single low-e Aluminium	4.48 0.46 Eave > 900mm
GFW04-05	Single low-e Aluminium	4.48 0.46 None
GFW06	Single low-e Aluminium	4.48 0.46 Eave > 450mm
GFW07	Single low-e Aluminium	4.48 0.46 Projection/Height >0.43
GFW08	Single low-e Aluminium	4.48 0.46 None
GFW01	Single low-e Aluminium	4.48 0.46 Eave > 900mm
FFW01	Single low-e Aluminium	4.48 0.46 Eave > 900mm
FFW02-04	Single low-e Aluminium	4.48 0.46 Eave > 450mm
FFW05-06	Single low-e Aluminium	4.48 0.46 Projection/Height >0.43
FFW07-09	Single low-e Aluminium	4.48 0.46 Eave > 900mm
FFW13-17	Single low-e Aluminium	4.48 0.46 Eave > 450mm
FFD01-03	Single low-e Aluminium	4.48 0.46 Eave > 900mm
S1-S2	Double Timber	4.3 0.50 Eave > 900mm
Plumbing		
The owner/builder must install the following hot water system: Solar (electric-boosted)		
The owner/builder must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		
The owner/builder must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		
The owner/builder must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		
Lighting		
The owner/builder must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		

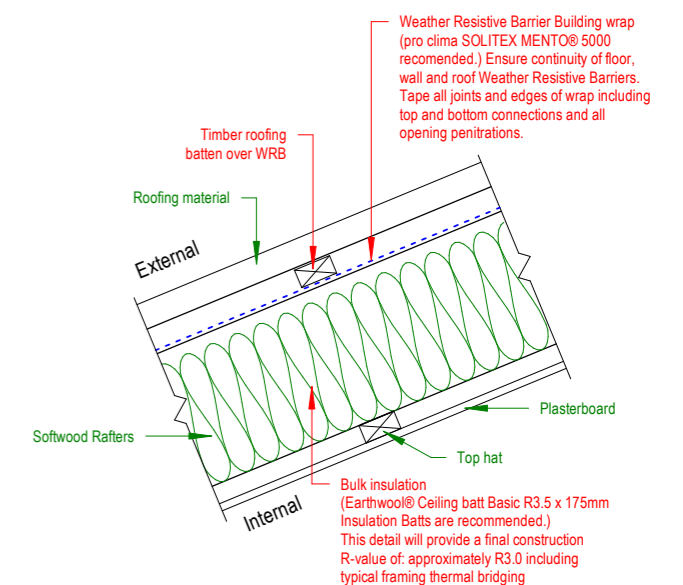
Detailed Project Specifications

Mark	Description	Details	Additional details
Floors			
SED	Suspended external deck	Timber bearers & joists	Hardie deck (Dark earth)
SEWD	Suspended external waterproofed deck	Timber bearers & joists	Hardie deck (Dark earth) over CFC waterproofed to AS 4654.1
SIF(D)	Suspended internal floor (Deep)	Timber bearers & joists	Coverings to owners requirements
SITF	Suspended internal floor	Timber bearers & joists	Coverings to owners requirements
WAF	Internal bearer & joist (wet area floor)	Compressed fibre cement sheeting	Tile finish
Roofs			
SMF	Skillion metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	Tie -down & bracing details to Engineering details and AS1684
SOMR	Standard orb skillion metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	Tie -down & bracing details to Engineering details and AS1684
SSMR	Standing seam skillion metal roof	Colourbond roof, fascia & gutter, fixed to the manufacturers specifications & the schedule of specifications	Tie -down & bracing details to Engineering details and AS1684
Stairs			
IES	Internal Enclosed stairs	Timber risers & runs	Construction to meet NCC Part 3.9.1
Walls			
ISW	Internal stud wall	Internal 10mm plasterboard	
MWB	Metal weatherboard clad timber stud	Internal 10mm plasterboard	External batten fixed 200mm high metal weatherboards (Dark earth)
VSSC(D)	Vertical seam metal clad timber stud	Internal 10mm plasterboard	External batten fixed 300mm vertical standing seam metal cladding (Dark)
VSSC(L)	Vertical seam metal clad timber stud	Internal 10mm plasterboard	External batten fixed 300mm vertical standing seam metal cladding (Light)
Railing			
VPS	Aluminium privacy screen	Visual Privacy Screen	Constructed to meet NCC Part 3.9.2
EAH	External aluminium handrail	Powdercoated finish	Min 1000mm high to NCC Part 3.9.2
ITH	Internal timber handrail	Painted finish	Min 1000mm high to NCC Part 3.9.2



Typical Light Weight Clad Insulation Detail

Scale 1:10



Typical Skillion Roof Insulation Detail

Scale 1:10

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Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

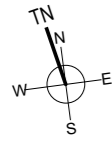
Sheet: Ar103

Scale: As indicated @ A3

Stage 2 Construction

Tag Mark Key

Mark	Description
Floors	
SED	Suspended external deck
SEWD	Suspended external waterproofed deck
SIF(D)	Suspended internal floor (Deep)
SITF	Suspended internal floor
WAF	Internal bearer & joist (wet area floor)
Roofs	
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SOMR	Standard orb skillion metal roof
SSMR	Standing seam skillion metal roof
Stairs	
IES	Internal Enclosed stairs
Walls	
ISW	Internal stud wall
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VSSC(D)	Vertical seam metal clad timber stud
VSSC(L)	Vertical seam metal clad timber stud
Railing	
VPS	Aluminium privacy screen
EAH	External aluminium handrail
ITH	Internal timber handrail



Living Ground Floor - Stage 2

1 : 100

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Revision Schedule

Date	Description	Rev
26/10/21	Issued for DA	B
31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.

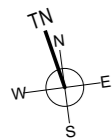
Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar104

Scale: 1 : 100 @ A3

Stage 2 Construction

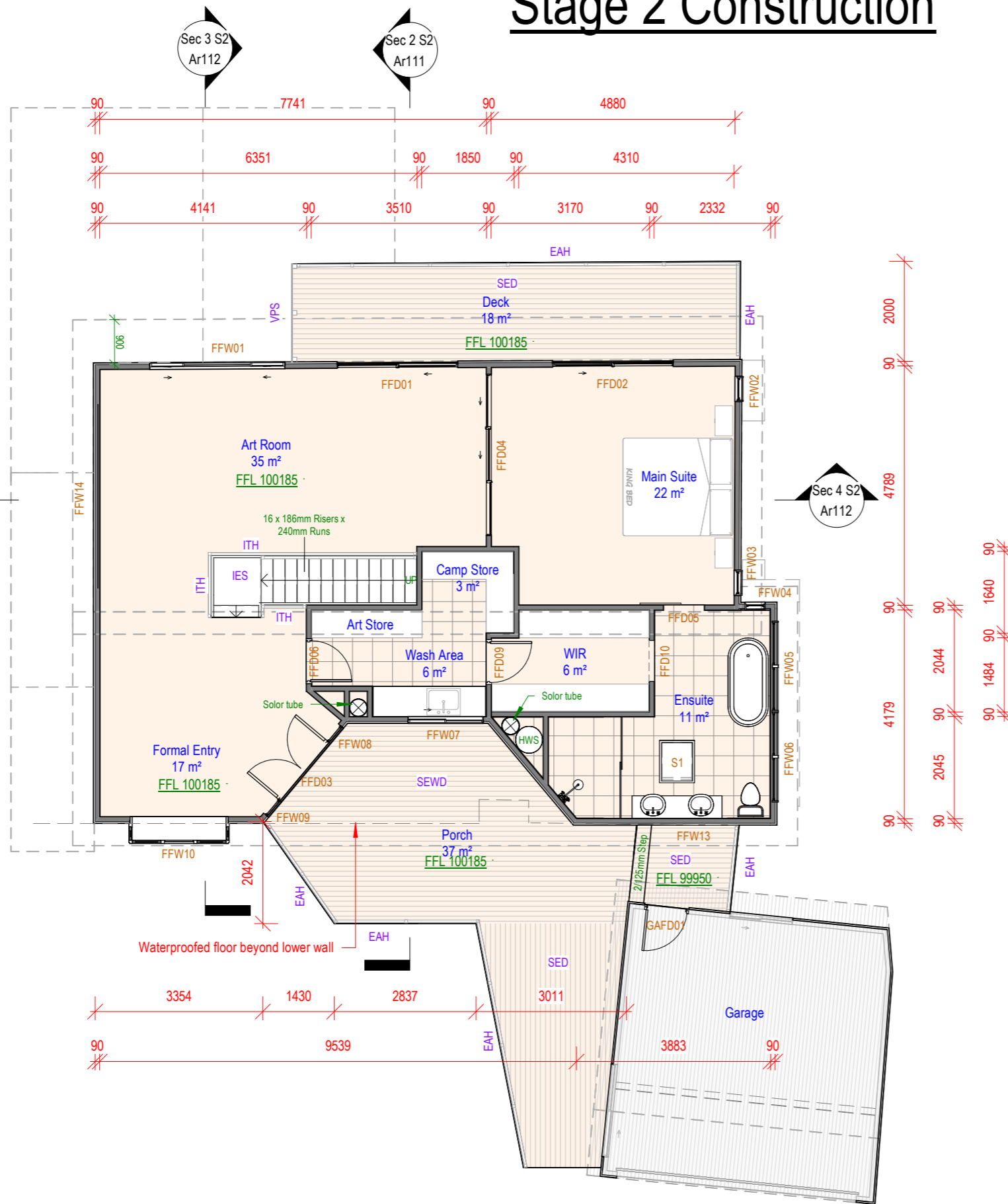


Tag Mark Key

Mark	Description
Floors	
26	
SED	Suspended external deck
SEWD	Suspended external waterproofed deck
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First Floor

1 : 100



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Revision Schedule

Date	Description	Rev
29/03/22	Client changes	I
26/10/21	Issued for DA	H
31/08/21	Stage 1 & 2 Setup	G
08/06/21	Issued for review	F
03/06/21	Minor tweaking	E

Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar105

Scale: 1 : 100 @ A3

Stage 2 Construction

Window Schedule - Stage 2								
	Mark	Height	Width	Type	Assembly	Sill Height	Comments	From Room: Name
Living Ground Floor	LLW08	2400	900	Louver	L	800		Lounge
Living Ground Floor	LLW09	2400	1300	Fixed	F	800		Lounge
Living Ground Floor	LLW10	2400	1300	Fixed	F	800		Lounge
Living Ground Floor	LLW11	2400	900	Louver	L	800		Lounge
Ground Floor	GFW02	1200	2410	ASW	SFS	940		Bed 1
Ground Floor	GFW03	641	1570	ALW	LL	1539		Bath
Ground Floor	GFW04	1200	1650	ASW	SF	940		Bed 2
Ground Floor	GFW05	1200	1650	ASW	SF	940		Bed 2
Ground Floor	GFW06	2000	400	Louver	L	400		Bed 1
Ground Floor	GFW07	400	3000	Fixed	F	2000		Bed 1
Ground Floor	GFW08	2000	400	Louver	L	400		Bed 1
Living FCL	GFW01	600	820	Fixed Arched	F	601		Entry
First Floor	FFW01	1200	2650	ASW	SFS	1200		Art Room
First Floor	FFW02	1479	500	ALW	L	921		Main Suite
First Floor	FFW03	1479	500	ALW	L	921		Main Suite
First Floor	FFW04	2000	400	Louver	L	510		Ensuite
First Floor	FFW05	641	1810	ALW	LL	1869		Ensuite
First Floor	FFW06	641	1810	ALW	LL	1869		Ensuite
First Floor	FFW07	860	1450	ASW	SF	1290		Wash Area
First Floor	FFW08	2400	400	Fixed	F	0		Formal Entry
First Floor	FFW09	2400	400	Fixed	F	0		Formal Entry
First Floor	FFW10	1510	1960	Window seat		640	Custom window	Formal Entry
First Floor	FFW13	502	2410	Louver	LLL	2008		Ensuite
First Floor	FFW14	150	3800	Fixed	F	2700		Art Room
First Floor	FFW15	362	2170	Louver	LLL	3750		Art Room
First Floor	FFW16	362	2170	Louver	LLL	3750		Art Room
First Floor	FFW17	362	2170	Louver	LLL	3750		Main Suite
Garage FCL	GR01	350	1800	Fixed	F	585		Garage
Garage FCL	GR02	350	1800	Fixed	F	585		Garage
First Floor FCL	S1	750	600	Skylight				

Door Schedule - Stage 2								
Level	Mark	Area	Height	Width	Placement	Assembly	Comments	From Room: Name
Ground Floor	GFD01	1.67 m ²	2040	820	External	Swing		Entry
Garage Floor	GAFD01	1.67 m ²	2040	820	External	Solid core		Porch
First Floor	FFD01	5.78 m ²	2400	2410	External	Sliding glass		Art Room
First Floor	FFD02	5.78 m ²	2400	2410	External	Sliding glass		Main Suite
First Floor	FFD03	3.66 m ²	2400	1525	External	Double swing	Feature front door	Porch
First Floor	FFD04	6.78 m ²	2100	3228	ASD	SSF		Art Room
First Floor	FFD05	3.59 m ²	2040	1760	Internal	Single wall hung		Main Suite
First Floor	FFD06	1.67 m ²	2040	820	Internal	Swing		Formal Entry
First Floor	FFD09	1.67 m ²	2040	820	Internal	Swing		Wash Area
First Floor	FFD10	1.75 m ²	2134	820	Internal	Square set opening		WIR



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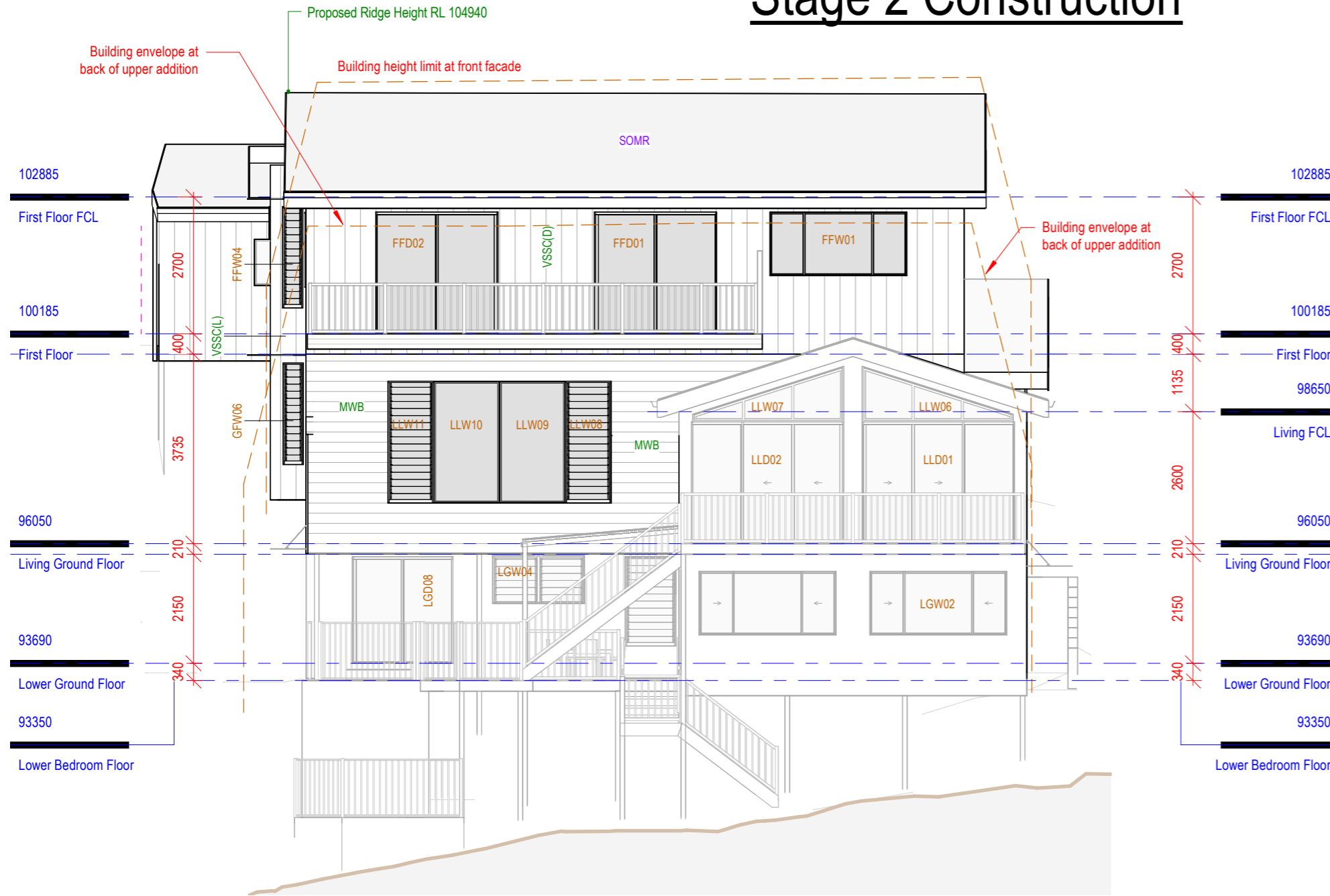
Client: Rachel & John Vazey

Address: Lot 343 DP 237590
20 Summer Place
Merewether Heights NSW 2291

Revision Schedule		
Date	Description	Rev
26/10/21	Issued for DA	B
31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.
Refer to Ar01 for additional notes
Drawing No: 1020-1202
Sheet: Ar106
Scale: @ A3




Stage 2 Construction



Tag Mark Key	
Mark	Description
Floors	
SED	Suspended external deck
SEWD	Suspended external waterproofed deck
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Railing	
VPS	Aluminium privacy screen
EAH	External aluminium handrail
ITH	Internal timber handrail

North Elevation - Stage 2

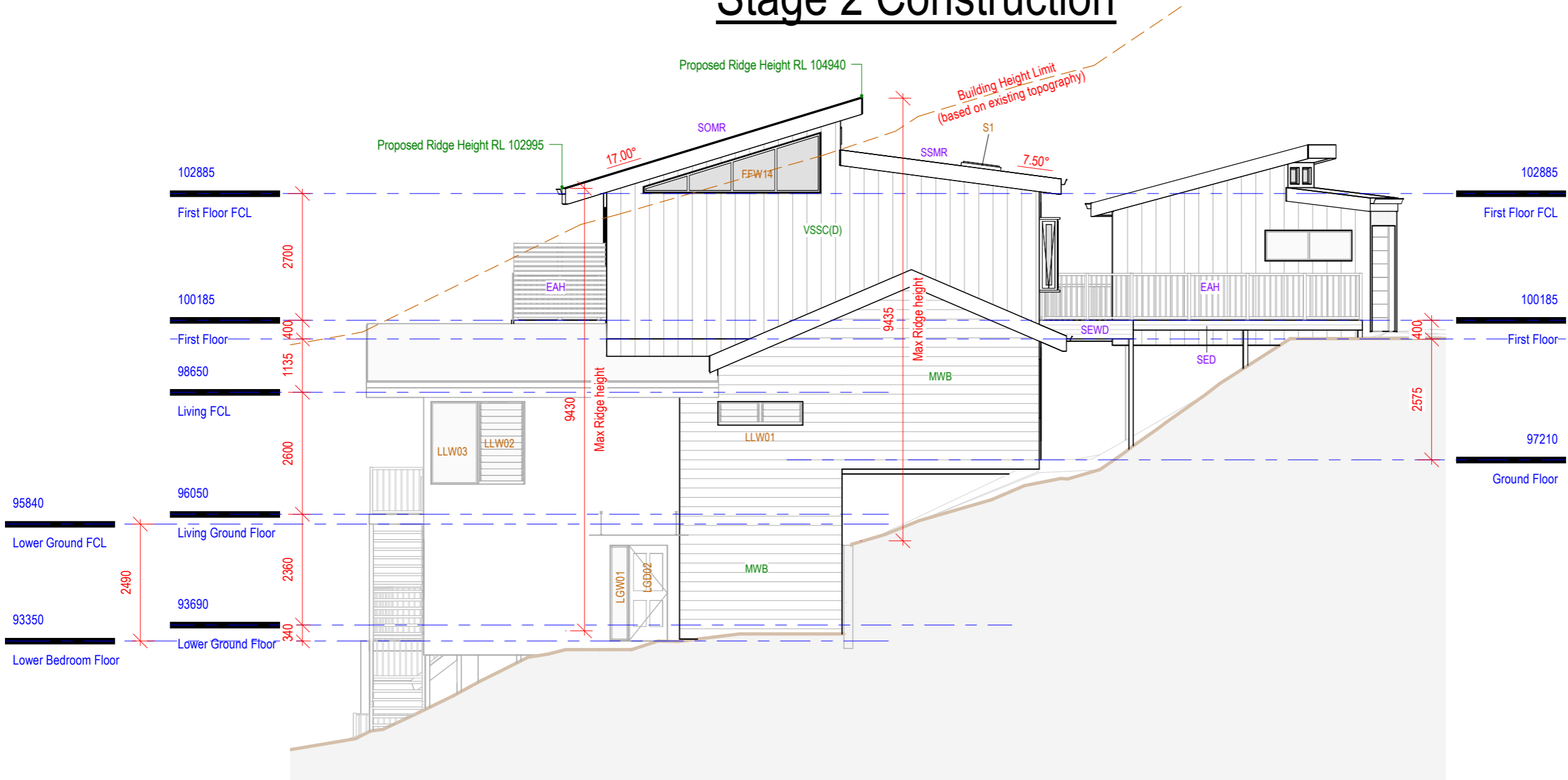
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			<table border="1"> <thead> <tr> <th>Date</th> <th>Description</th> <th>Rev</th> </tr> </thead> <tbody> <tr> <td>21/10/22</td> <td>Clause 4.6 Re-Issued</td> <td>F</td> </tr> <tr> <td>17/10/22</td> <td>Additional building height info</td> <td>E</td> </tr> <tr> <td>05/08/22</td> <td>Council amendments</td> <td>D</td> </tr> <tr> <td>20/01/22</td> <td>First floor FCL lowered</td> <td>C</td> </tr> <tr> <td>26/10/21</td> <td>Issued for DA</td> <td>B</td> </tr> </tbody> </table>	Date	Description		Rev	21/10/22	Clause 4.6 Re-Issued	F	17/10/22	Additional building height info	E	05/08/22	Council amendments	D	20/01/22	First floor FCL lowered
Date	Description	Rev																
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17/10/22	Additional building height info	E																
05/08/22	Council amendments	D																
20/01/22	First floor FCL lowered	C																
26/10/21	Issued for DA	B																

Stage 2 Construction

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Railing	
VPS	Aluminium privacy screen
EAH	External aluminium handrail
ITH	Internal timber handrail



West Elevation - Stage 2

1 : 100



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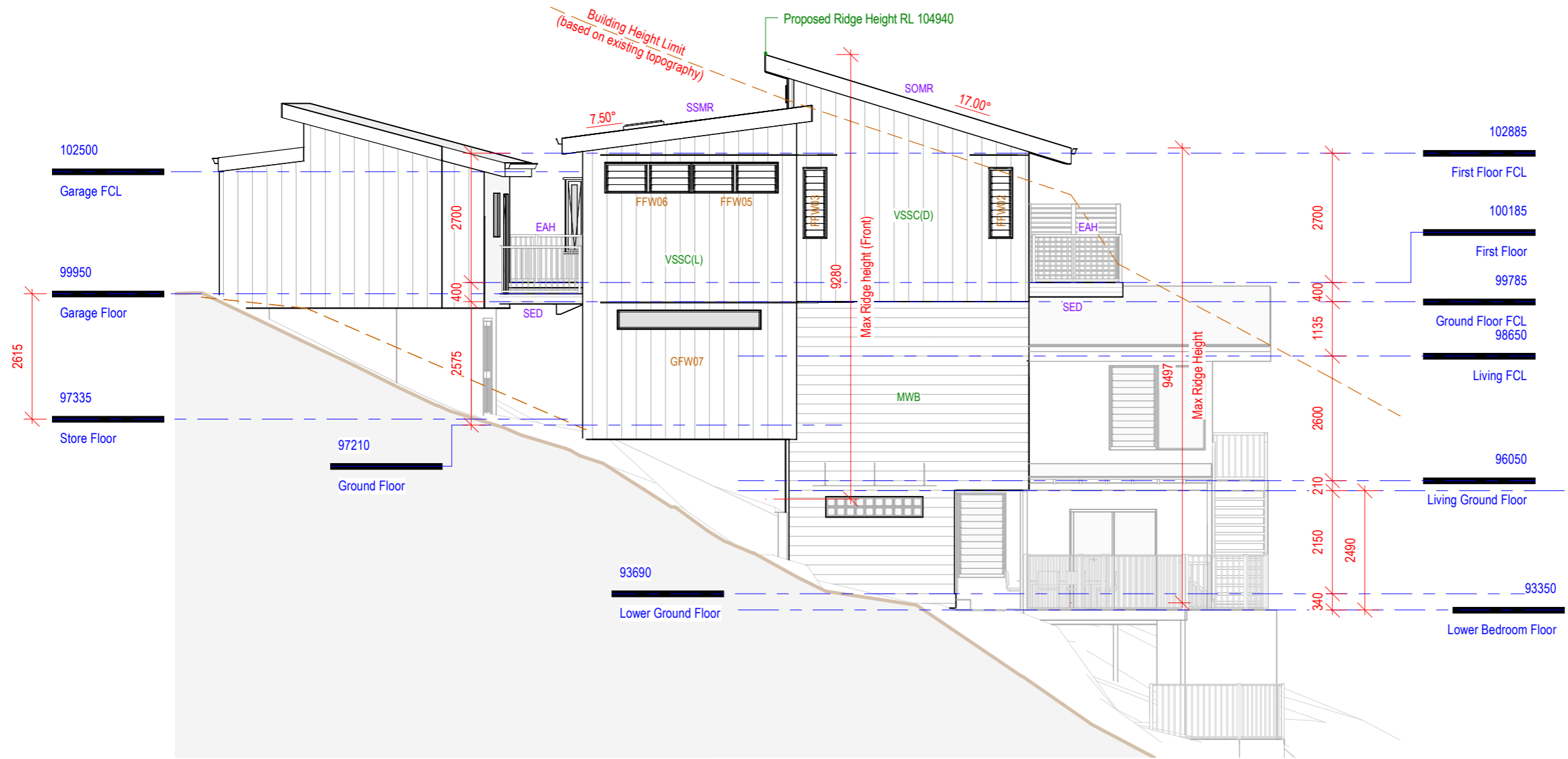


Client: Rachel & John Vazey

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Merewether Heights NSW 2291

Revision Schedule			Do not scale off drawings, contact the office if additional dimensions required.
Date	Description	Rev	
21/10/22	Clause 4.6 Re-Issued	F	Refer to Ar01 for additional notes
17/10/22	Additional building height info	E	
05/08/22	Council amendments	D	Drawing No: 1020-1202
20/01/22	First floor FCL lowered	C	Sheet: Ar108
26/10/21	Issued for DA	B	Scale: 1 : 100 @ A3

Stage 2 Construction



Tag Mark Key

Mark	Description
Floors	
SED	Suspended external deck
SEWD	Suspended external waterproofed deck
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Railing	
VPS	Aluminium privacy screen
EAH	External aluminium handrail
ITH	Internal timber handrail

East Elevation - Stage 2

1 : 100



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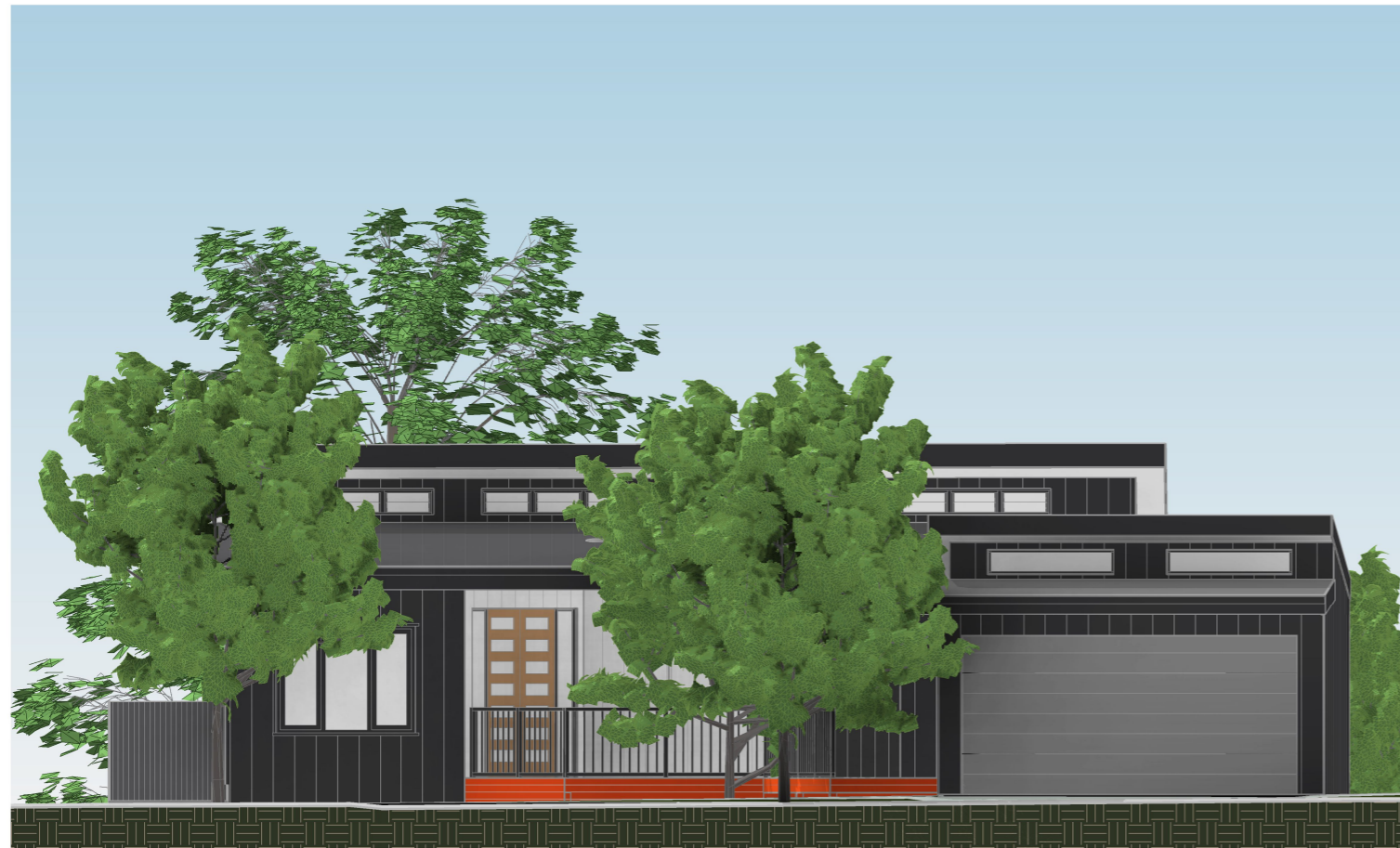


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Revision Schedule			Do not scale off drawings, contact the office if additional dimensions required. Refer to Ar01 for additional notes
Date	Description	Rev	
21/10/22	Clause 4.6 Re-Issued	F	Drawing No: 1020-1202
17/10/22	Additional building height info	E	
05/08/22	Council amendments	D	Sheet: Ar109
20/01/22	First floor FCL lowered	C	Scale: 1 : 100 @ A3
26/10/21	Issued for DA	B	

Stage 2 Construction



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Floors	
SED	Suspended external deck
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Railing	
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EAH	External aluminium handrail
ITH	Internal timber handrail

Summer Place Street Elevation - Stage 2

1 : 100



South Elevation - Stage 2

1 : 100



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Revision Schedule

Date	Description	Rev
21/10/22	Clause 4.6 Re-Issued	E
05/08/22	Council amendments	D
20/01/22	First floor FCL lowered	C
26/10/21	Issued for DA	B
31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.

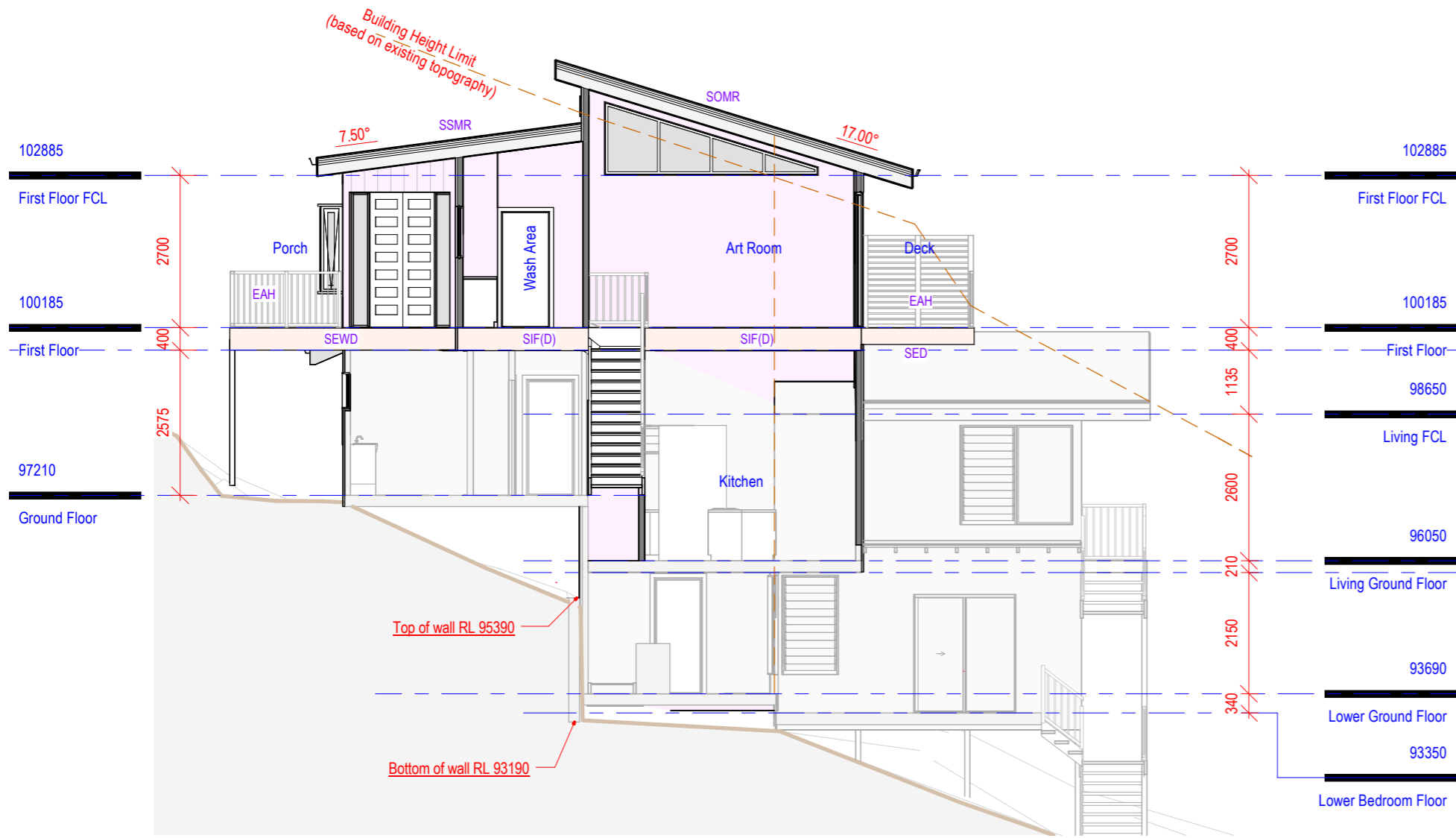
Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar110

Scale: 1 : 100 @ A3

Stage 2 Construction



Tag Mark Key	
Mark	Description
Floors	
SED	Suspended external deck
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Sec 2 - Stage 2

1 : 100


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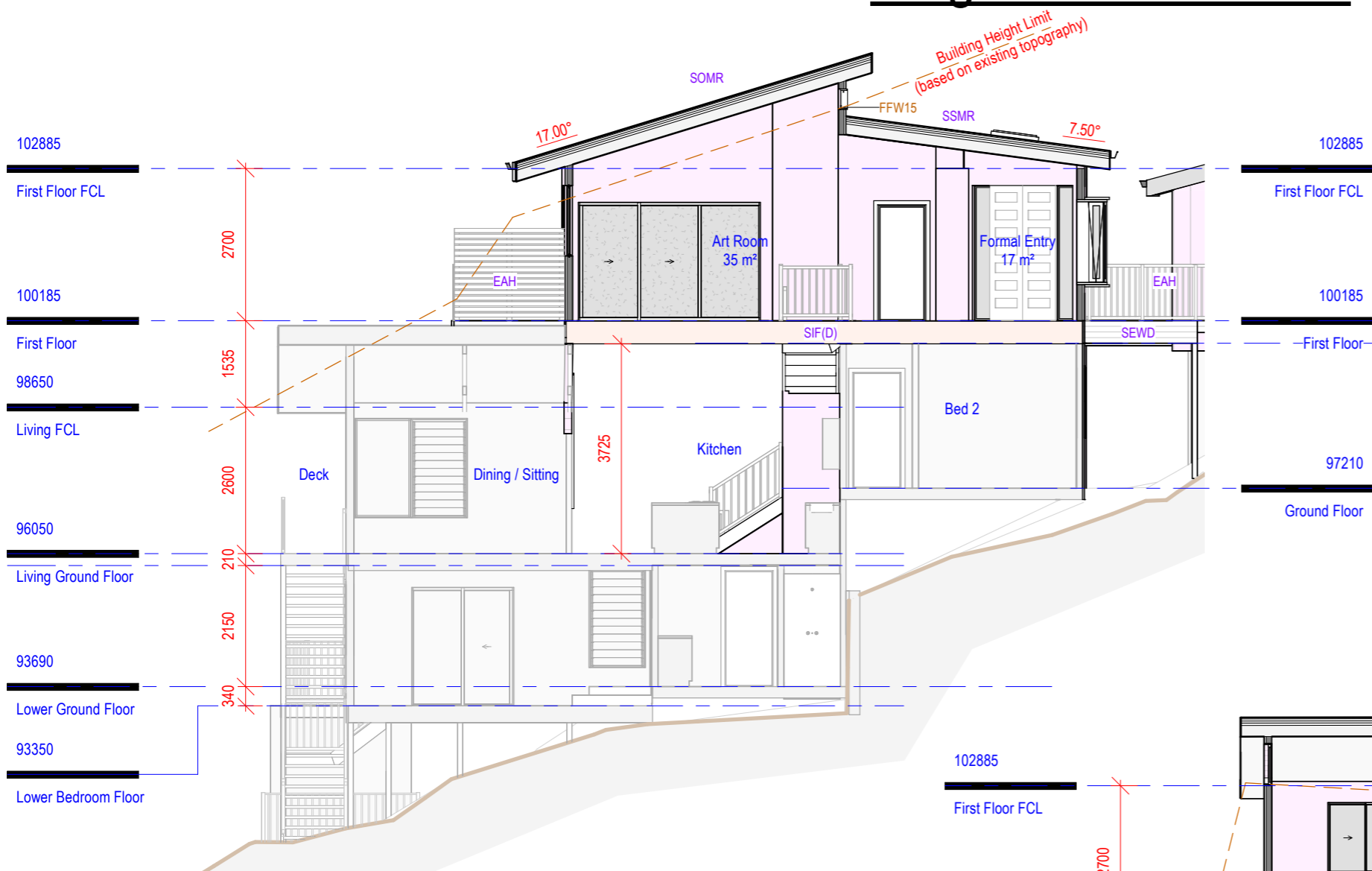
Client: Rachel & John Vazey
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Revision Schedule			Do not scale off drawings, contact the office if additional dimensions required.
Date	Description	Rev	
27/10/22	RL Removed at NC request	F	Refer to Ar01 for additional notes
21/10/22	Clause 4.6 Re-Issued	E	
17/10/22	Additional building height info	D	Drawing No: 1020-1202
20/01/22	First floor FCL lowered	C	Sheet: Ar111
26/10/21	Issued for DA	B	Scale: 1 : 100 @ A3

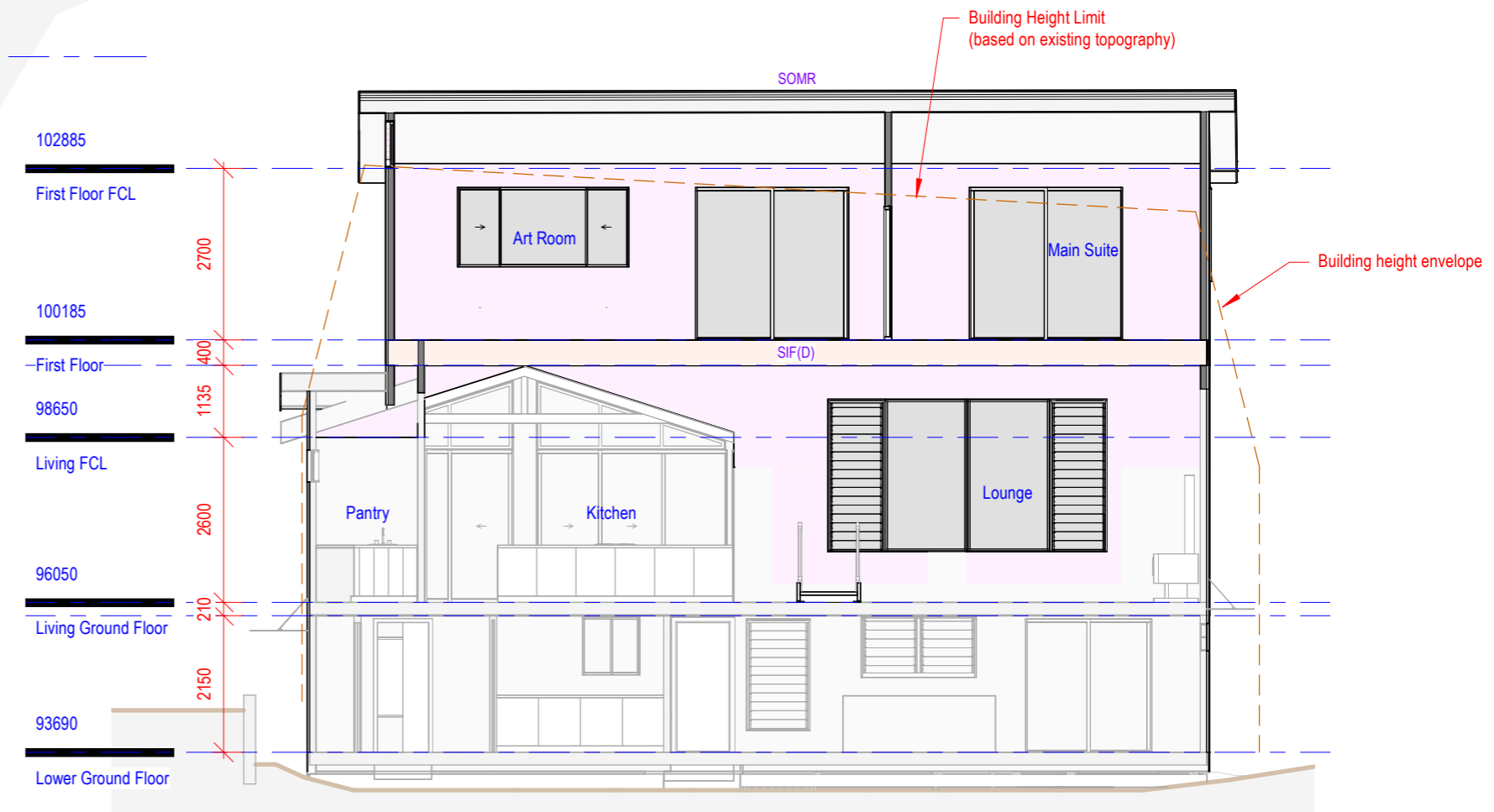
Stage 2 Construction

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Sec 3 - Stage 2
1 : 100



Sec 4 - Stage 2
1 : 100



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21/10/22	Clause 4.6 Re-Issued	E	Drawing No: 1020-1202
17/10/22	Additional building height info	D	
20/01/22	First floor FCL lowered	C	Sheet: Ar112
26/10/21	Issued for DA	B	Scale: 1 : 100 @ A3
31/08/21	Stage 1 & 2 Setup	A	

Stage 2 Construction



View from kitchen - Stage 2



View from lounge - Stage 2



View of kitchen from living - Stage 2



View of kitchen from sitting - Stage 2



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Date	Description	Rev
26/10/21	Issued for DA	B
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Do not scale off drawings, contact the office if additional dimensions required.
 Refer to Ar01 for additional notes
 Drawing No: 1020-1202
 Sheet: Ar113
 Scale: @ A3

Stage 2 Construction



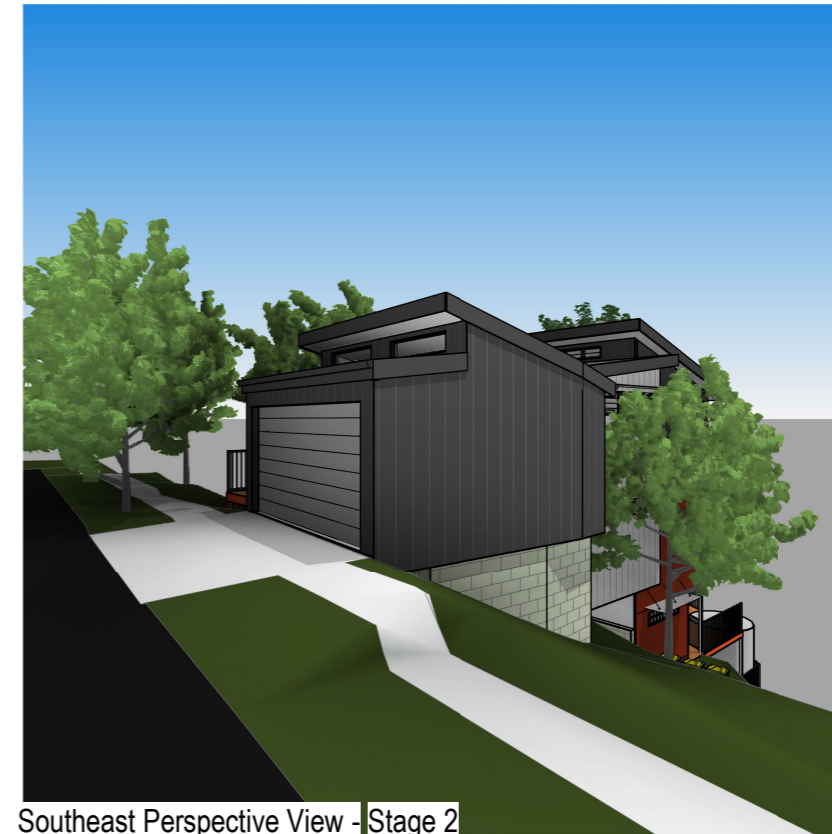
Northeast Perspective View - Stage 2



Northwest Perspective View - Stage 2



Southwest Perspective View - Stage 2



Southeast Perspective View - Stage 2



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Date	Description	Rev	
26/10/21	Issued for DA	B	Drawing No: 1020-1202
31/08/21	Stage 1 & 2 Setup	A	
			Sheet: Ar114
			Scale: @ A3

Stage 2 Construction

General Notes

- This plan shows the control objectives, philosophy and key control works for the site. The contractor shall provide supplementary works that reflect the adopted construction program and practices to ensure that erosion and sediment movement are managed in accordance with the objectives of this plan.
- Erosion and sediment hazard areas include stockpiles, exposed ground, embankments, cuttings concentrated flow paths and waterways.
- This plan is to be used as a guide only. The suitability of erosion and sediment control measures to be evaluated on site and where required, are to be modified under the supervision of a suitably qualified engineer and Council.

Pre-Construction Phase Notes

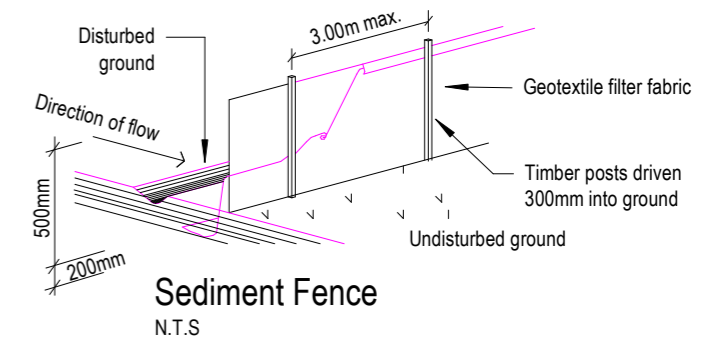
- Site works are not to start until the erosion and sediment control measures are installed and functional.
- Temporary sediment traps to be installed during construction (where applicable)
- Waste bins are to be provided for building waste or waste enclosure min. 1800 x 1800 x 1200mm high constructed using star pickets and 1200mm high weed control mat. Arrangement to be made for regular collection and disposal or recycling of construction waste.
- Entry and departure of vehicles is to be confined to the nominated existing vehicle access or stabilised site access. Sediment or barrier fencing will be used to restrict all vehicular movements to that access point. Stabilisation will be achieved by either:
 - constructing a sealed (eg concrete or asphalt) driveway to the street
 - constructing a stabilised site access according to Council's engineering standards.

Construction Phase Notes

- Topsoil is to be stripped from building site and stockpiled for later use in landscaping the site.
- The footpath and driveway, other than stabilised site access, is not to be disturbed, including stockpiling of materials. Where essential works (eg drainage) are required, the footpath is to be rehabilitated (turfed) as soon as possible.
- Where appropriate, an aggregate bag shall be placed in the gutter below the site access. The bag shall be made from green sediment fence material, or similar. The bag must be at least 450mm long, 200mm diameter, filled with less than 20mm blue metal or crushed rock. If the bag breaks or deteriorates, the bag shall be replaced immediately and the material cleaned out from any gutter, kerb, road surface or stormwater system it has entered. The use of hessian bags, and sand filled bags is not acceptable.
- All sedimentation controls are to be checked daily (at a min. weekly) and after all rain events. All structures to be cleaned on reaching 50% storage capacity to ensure they are maintained and in full functional condition. Excess materials and water from cleaning tools and equipment should not be washed down stormwater drains.

Post-Construction Phase Notes:

- Topsoil is to be re-spread and all disturbed areas rehabilitated (turfed) within 20 working days of completion of works. Where necessary, spray and seed disturbed areas.
- Roof downpipes to be connected to street kerb or other stormwater disposal system as nominated in the plans on completion of roof and guttering as soon as possible.



Site Area Schedule - Stage 2			
Name	Area	Coverage	Overall
Existing Dwelling Footprint	155.5 m ²	Impermeable	25%
Existing Garage	29.3 m ²	Impermeable	5%
	184.8 m ²		29%
Remaining Site	446.4 m ²	Permeable	71%
	446.4 m ²		71%

All downpipes are to be directed into the existing stormwater disposal system. ensure the system connects directly to the registered easement in the adjacent access corridor. Location of downpipes by plumber to relevant standard

Proposed location sedimentation trapping fence

Site Plan Stage 2

1 : 200



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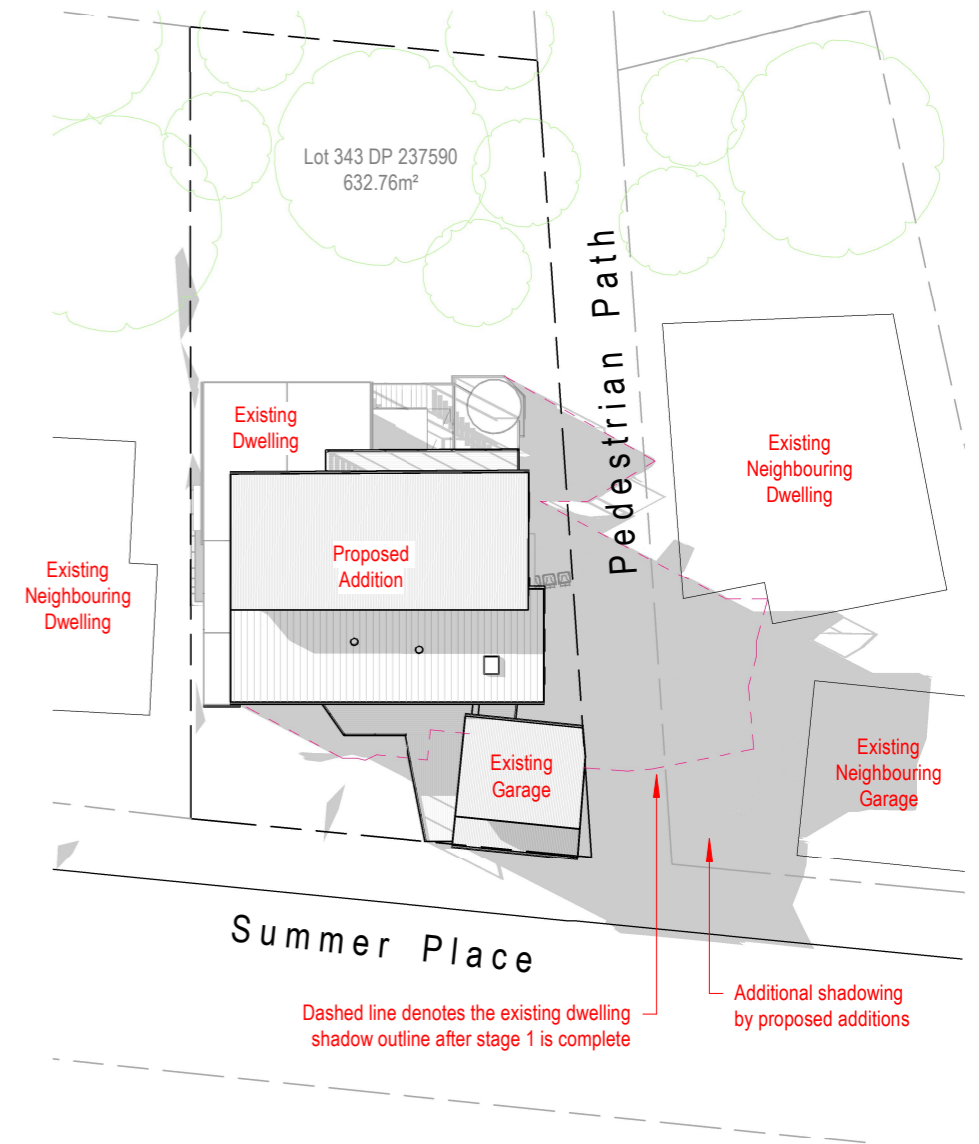
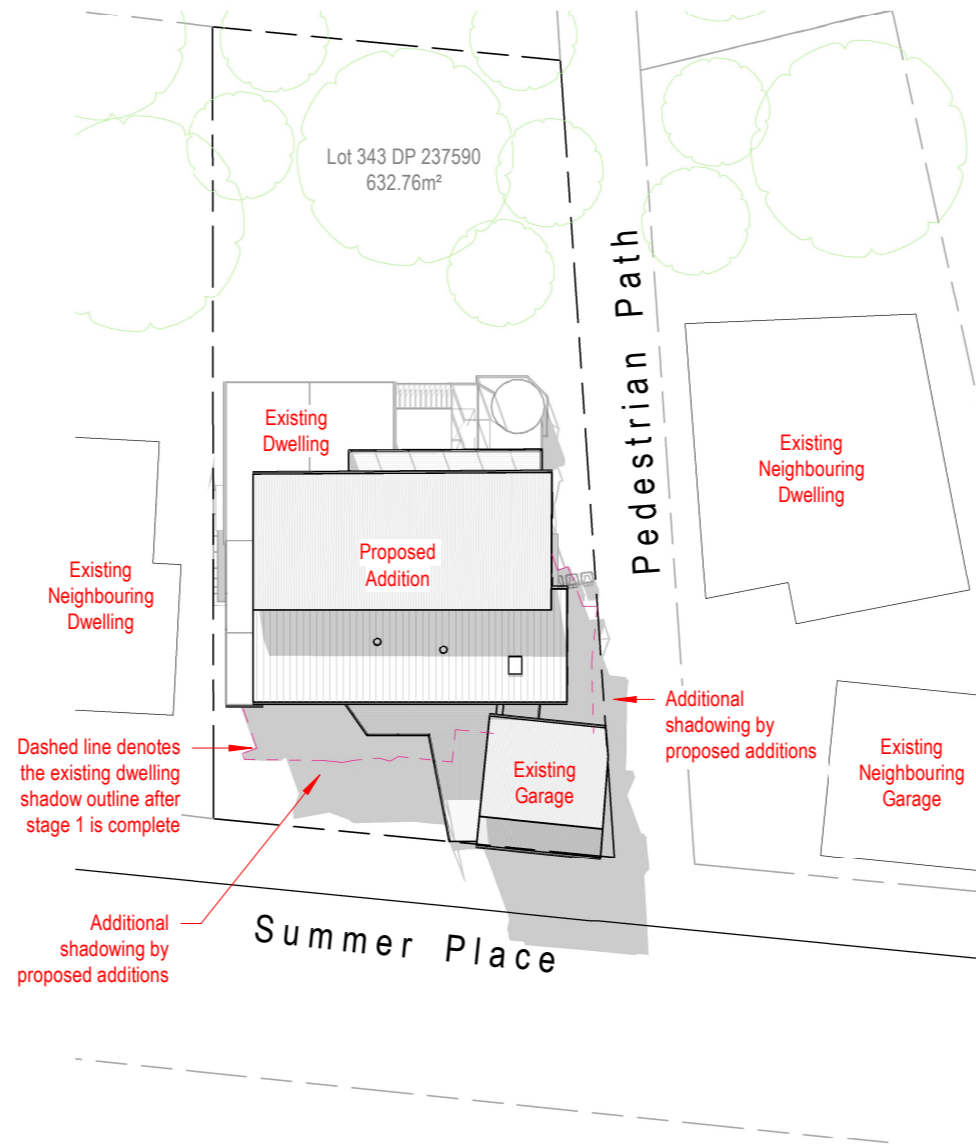
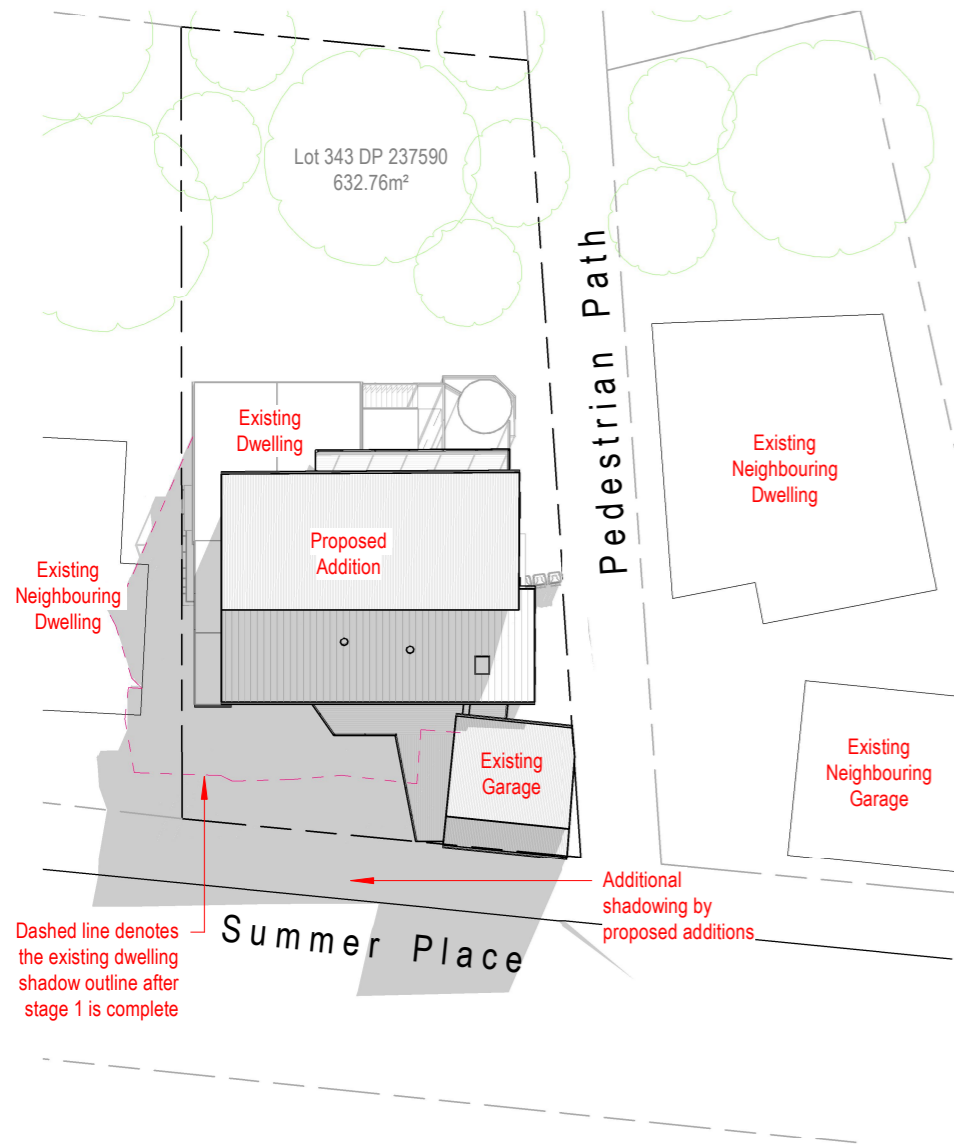
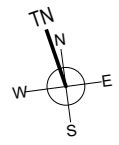


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Merewether Heights NSW 2291

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Date	Description	Rev	
26/10/21	Issued for DA	B	Drawing No: 1020-1202
31/08/21	Stage 1 & 2 Setup	A	
			Sheet: Ar115
			Scale: As indicated @ A3

Stage 2 Construction



Winter Shadow Plan - Stage 2 - 9am

1 : 350

Winter Shadow Plan - Stage 2 - 12pm

1 : 350

Winter Shadow Plan - Stage 2 - 3pm

1 : 350



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Merewether Heights NSW 2291

Revision Schedule		
Date	Description	Rev
26/10/21	Issued for DA	B
31/08/21	Stage 1 & 2 Setup	A

Do not scale off drawings, contact the office if additional dimensions required.

Refer to Ar01 for additional notes

Drawing No: 1020-1202

Sheet: Ar116

Scale: 1 : 350 @ A3



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 06/12/22 – 20 SUMMER PLACE MEREWETHER HEIGHTS –
DA2022/01648 AND DWELLING HOUSE - ALTERATIONS,
ADDITIONS AND ANCILLARY DEVELOPMENT (POOL AND
RETAINING WALLS) INCLUDING DEMOLITION**

ITEM-22 **Attachment B:** Draft Schedule of Conditions

DISTRIBUTED UNDER SEPARATE COVER



Application No:	DA2021/01648
Land:	Lot 343 DP 237590
Property Address:	20 Summer Place Merewether Heights NSW 2291
Proposed Development:	Dwelling house - alterations, additions and ancillary development (pool and retaining walls) including demolition

SCHEDULE 1

Approved Documentation

- The development is to be implemented in accordance with the plans and supporting documents set out in the following table except where modified by any conditions of this consent.

Plan No / Supporting Document (Job No. 1020-1202)	Reference / Version	Prepared by	Dated
Cover Sheet	Ar01 (Rev G)	Blencowe Design	21 October 2022
Stage 1 – Site Waste Minimisation and Management Plan	Ar02 (Rev C)	Blencowe Design	26 October 2021
Site Analysis Plan – Stage 1	Ar03 (Rev C)	Blencowe Design	26 October 2021
Stage 1 – Lower Ground Floor Plan	Ar05 (Rev I)	Blencowe Design	29 March 2022
Stage 1 - Living Ground Floor	Ar06 (Rev I)	Blencowe Design	29 March 2022
Stage 1 – Elevations (North)	Ar08 (Rev I)	Blencowe Design	5 August 2022
Stage 1 – Elevations (West)	Ar09 (Rev H)	Blencowe Design	5 August 2022
Stage 1 – Elevations (East)	Ar10 (Rev I)	Blencowe Design	5 August 2022
Stage 1 – Elevations (South)	Ar11 (Rev G)	Blencowe Design	26 October 2021
Stage 1 - Sections	Ar12 (Rev H)	Blencowe Design	29 March 2022
Stage 1 – 3D Views	Ar15 (Rev B)	Blencowe Design	26 October 2021
Stage 1 – Site Plan	Ar16 (Rev E)	Blencowe Design	26 October 2021
Stage 2 – Site Waste Minimisation and Management Plan	Ar101 (Rev B)	Blencowe Design	26 October 2021
Site Analysis Plan - Stage 2	Ar102 (Rev B)	Blencowe Design	26 October 2021
Stage 2 – Living Ground Floor Plan	Ar104 (Rev B)	Blencowe Design	26 October 2021
Stage 2 – First Floor Plan	Ar105 (Rev I)	Blencowe Design	29 March 2022
Stage 2 – Elevations (North)	Ar107 (Rev F)	Blencowe Design	21 October 2022
Stage 2 – Elevations (West)	Ar108 (Rev F)	Blencowe Design	21 October 2022
Stage 2 – Elevations (East)	Ar109 (Rev F)	Blencowe Design	21 October 2022

Stage 2 – Elevations (South)	Ar110 (Rev E)	Blencowe Design	21 October 2022
Stage 2 - Sections	Ar111 (Rev F)	Blencowe Design	27 October 2022
Stage 2 - Sections	Ar112 (Rev E)	Blencowe Design	21 October 2022
Sage 2 – 3D Views	Ar114 (Rev B)	Blencowe Design	26 October 2021
Stage 2 – Site Plan	Ar115 (Rev B)	Blencowe Design	26 October 2021
Bushfire Report	20 Summer Place, Merewether Heights	Newcastle Bushfire Consulting	6 October 2021
Arborist Report	20 Summer Place, Merewether Heights	Hunter Horticultural Services	28 March 2022

In the event of any inconsistency between conditions of this development consent and the plans/supporting documents referred to above, the conditions of this development consent prevail.

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF A CONSTRUCTION CERTIFICATE

2. In accordance with the City of Newcastle Section 7.12 Development Contributions Plan (the Plan), a monetary contribution of \$6,735.00 shall be paid to the City of Newcastle for the purposes of the provision, extension or augmentation of transport and social infrastructure.
 - (a) If the contribution is not paid within the financial quarter that this consent is granted, the contribution payable will be adjusted in accordance with the provisions of the Plan and the amount payable will be calculated on the basis of the contribution rates applicable at the time of payment.
 - (b) Subject to prevailing Ministerial Directions, the monetary contribution shall be paid to the City of Newcastle
 - (i) prior to the issue of the Subdivision Certificate where the development is for subdivision; or
 - (ii) prior to the issue of the first Construction Certificate where the development is for building work.
 - (iii) prior to issue of the Subdivision Certificate or first Construction Certificate, whichever occurs first, where the development involves both subdivision and building work; or
 - (iv) prior to the works commencing where the development does not require a Construction Certificate or Subdivision Certificate.
3. The swimming pool/spa water recirculation and filtration system installation is to comply with *Australian Standard 1926.3:2010 – Swimming pool safety – Water recirculation systems*. Full details are to be included in the documentation for a Construction Certificate application.
4. The construction or erection of swimming pool safety fences and gates and all associated work is to be carried out in accordance with the *Swimming Pools Act 1992* and Regulations. Full details are to be included in the documentation for a Construction Certificate application.
5. Water, electricity and gas installations are to comply with the NSW Rural Fire Service document *Planning for Bushfire Protection 2019*. Details are to be included in documentation for a Construction Certificate application.

CONDITIONS TO BE SATISFIED PRIOR TO THE COMMENCEMENT OF WORK AND DURING THE CONSTRUCTION PHASE

6. Certification is to be prepared by a Registered Surveyor and submitted to the Principal Certifier at the stages of construction indicated:
 - a) On completion of ground floor construction, confirming that the floor levels are in accordance with the approved levels.
 - b) On completion of each subsequent floor level, confirming that the floor levels are in accordance with the approved levels.
 - c) When the roof has been completed, confirming that the building does not exceed the approved levels.
7. The development shall be carried out in accordance with the recommendations of the approved Bushfire Report (Newcastle Bushfire Consulting, 6/10/2021) and relevant requirements of the NSW Rural Fire Service document, '*Planning for Bush Fire Protection 2019*'.
8. Pool plant and equipment is to be sited or enclosed in a sound absorbing enclosure to prevent any offensive noise (as defined under the *Protection of the Environment Operations Act 1997*) impacts to adjoining neighbours.
9. The swimming pool surrounds and/or paving is to be constructed in a manner so as to ensure water from the pool overflow does not discharge onto neighbouring properties. All backwash/pool waste water is to be piped/drained to the sewer of Hunter Water Corporation in accordance with the requirements of Hunter Water Corporation.
10. Toilet facilities are to be available or provided at the work site before works begin and be maintained until the works are completed, at a ratio of one toilet plus one additional toilet for every 20 persons employed at the site.

Each toilet is to:

 - a) Be a standard flushing toilet connected to a public sewer, or
 - b) Have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
 - c) Be a temporary chemical closet approved under the *Local Government Act 1993*.
11. A Hazardous Substances Management Plan is to be prepared by a competent person for the building(s) or parts of the building(s) proposed to be demolished in accordance with *Australian Standard 2601:2001 - The Demolition of Structures*. A copy of the Hazardous Substances Management Plan is to be provided to the Council and to the demolisher prior to commencement of work.
12. Demolition works are to be undertaken in accordance with *Australian Standard 2601:2001 - The Demolition of Structures* and the following requirements:
 - a) Demolition works are to be conducted in accordance with the submitted Hazardous Substances Management Plan and a copy of the Hazardous Substances Management Plan is to be kept on site for the duration of the proposed development;
 - b) The removal, handling and disposal of any asbestos material is to be undertaken only by an asbestos removal contractor who holds the required class of Asbestos Licence, issued by SafeWork NSW;

- c) A copy of all waste disposal receipts are to be kept on site for the duration of the proposed development and made available to authorised Council's officers upon request;
 - d) Seven working days' notice in writing is to be given to the Council and the owners/occupiers of neighbouring premises prior to the commencement of any demolition work. Such written notice is to include the date demolition will commence and details of the name, address, contact telephone number(s) and licence details (type of licences held and licence numbers) of any asbestos removal contractor and demolition contractor. Notification to owners/occupiers of neighbouring premises is also to include City of Newcastle's contact telephone number (4974 2000) and the SafeWork NSW telephone number (4921 2900); and
 - e) On sites where asbestos materials are to be removed, a standard commercially manufactured sign containing the words 'DANGER ASBESTOS REMOVAL IN PROGRESS' measuring not less than 400mm x 300mm is to be erected in a prominent position during asbestos removal works.
13. The demolisher is to ensure that all services (ie water, telecommunications, gas, electricity, sewerage etc), are disconnected in accordance with the relevant authority's requirements prior to demolition.
14. Any waste containers used in association with the proposed demolition are to be located on the site where possible.
- Note: Where this is not feasible, an application is to be made for the approval to position the container on the adjacent public road in accordance with the Council's adopted Building Waste Container Policy.
15. The demolisher is to ensure that all demolition material is kept clear of the public footway and carriageway as well as adjoining premises.
16. The development shall be carried out in accordance with the recommendations of the approved Arborist Report (Hunter Horticultural Services, 28/03/2022) and relevant requirements of the NSW Rural Fire Service document, '*Planning for Bush Fire Protection 2019*'.
17. A rigid and durable sign is to be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, before the commencement of the work:
- a) showing the name, address and telephone number of the Principal Certifier for building work and subdivision work, and
 - b) showing the name, address and telephone number of the Principal Contractor, if any, for any building work and a telephone number on which the Principal Contractor may be contacted at any time for business purposes , and
 - c) stating that unauthorised entry to the work site is prohibited, and
 - d) being erected in a prominent position that can be read easily by anyone in any public road or other public place adjacent to the site.

Any such sign is to be maintained while the building work, subdivision work or demolition work is being carried out, and must be removed when the work has been completed.

Note: This does not apply in relation to building work, subdivision work or demolition work carried out inside an existing building, if the work does not affect the external walls of the building, or Crown building work certified to comply with the Building Code of

Australia under the Act, Part 6.

18. All excavations and backfilling are to be executed safely and excavations are to be properly guarded and protected to prevent them from being dangerous to life and property.
19. All building materials, plant and equipment is to be placed on the site of the development, to ensure that pedestrian and vehicular access in public places is not restricted and to prevent damage to the road reserve. The storage of building materials on Council reserves, including the road reserve, is not permitted.
20. Any alteration to natural surface levels on the site is to be undertaken in such a manner as to ensure that there is no increase in surface water runoff to adjoining properties or that runoff is impounded on adjoining properties, as a result of the development.
21. Construction/demolition work that generates noise that is audible at residential premises is to be restricted to the following times:
 - Monday to Friday, 7:00 am to 6:00 pm and
 - Saturday, 8:00 am to 1:00 pm.

No noise from construction/demolition work is to be generated on Sundays or public holidays.

22. Council's '*Prevent Pollution*' sign is to be erected and maintained in a conspicuous location on or adjacent to the property boundary, so it is clearly visible to the public, or at other locations on the site as otherwise directed by Council, for the duration of demolition and construction work.

The sign can be obtained by presenting your development application receipt at City of Newcastle's Customer Enquiry Centre, Wallsend Library or the Master Builders Association Newcastle.

23. Erosion and sediment control measures are to be implemented prior to the commencement of works and maintained during the period of demolition and/or construction in accordance with the requirements of *Managing Urban Stormwater: Soils and Construction 4th Edition - Vol. 1 (the 'Blue Book')* published by Landcom, 2004. Controls are not to be removed until the site is stable with all bare areas supporting an established vegetative cover.
24. Where the proposed development involves the destruction or disturbance of any survey monuments, those monuments affected are to be relocated, at no cost to the City of Newcastle, by a Surveyor registered under the *Surveying and Spatial Information Act 2002*.
25. All public trees that are required to be retained are to be protected in accordance with the City of Newcastle *Urban Forest Technical Manual, Part B Public Trees*.

The tree protection fencing is to remain in place and be maintained until all works have been completed, with no waste materials, washouts, equipment or machinery to be stored within the fenced area.
26. Building work must be carried out in accordance with the requirements of the Building Code of Australia.
27. In the case of residential building work for which the Home Building Act 1989 requires there to be a contract of insurance in force in accordance with Part 6 of that Act, that such a contract of insurance is in force before any building work authorised to be carried out by the consent commences.

28. If the soil conditions require it, retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil are to be provided. A separate application is to be lodged and consent obtained from the City of Newcastle for all works within the road reserve, pursuant to Section 138 of the *Roads Act 1993*, prior to the commencement of works.
29. All stormwater runoff from the proposed development is to be managed in accordance with the requirements of Element 7.06 '*Stormwater*' of Newcastle Development Control Plan 2012, the associated Technical Manual and AS/ANZ 3500.3 Plumbing and drainage – Part 3 Stormwater drainage. Stormwater is to be conveyed to the existing property stormwater drains by way of a sealed pipe system. The existing drains are to be checked for adequacy and cleared of any obstructions.
30. The following waste management measures are to be implemented during construction:
- a) waste container of at least one cubic metre capacity shall be provided, maintained and regularly serviced from the commencement of operations until the completion of the building for the reception and storage of waste generated by the construction of the building and associated waste
 - b) the waste container is to be, at minimum, constructed with a 'star' picket (corners) and weed control mat (sides), or equivalent. The matting is to be securely tied to the pickets
 - c) appropriate provision is to be made to prevent wind blown rubbish leaving the site and
 - d) footpaths, road reserves and public reserves are to be maintained clear of rubbish, building materials and all other items.

Note: Fines may be issued for pollution/littering offences under the *Protection of the Environment Operations Act 1997* (NSW)

CONDITIONS TO BE SATISFIED PRIOR TO THE ISSUE OF AN OCCUPATION CERTIFICATE, A SUBDIVISION CERTIFICATE OR A STRATA CERTIFICATE

31. All public footways, footpaving, kerbs, gutters and road pavement damaged during the works are to be immediately repaired following the damage, to a condition that provides for safe use by pedestrians and vehicles. Full restoration of the damage is to be carried out to City of Newcastle's satisfaction prior to the completion of demolition work or prior to the issue of any Occupation Certificate in respect of development involving building work.
32. All commitments listed in the relevant BASIX certificate for the development are to be satisfactorily completed prior to the issue of an Occupation Certificate.

Should there be any changes to the specifications of the dwelling that have implications for compliance with the approved certificate, except where restricted or excluded by any other condition of consent, an amended BASIX Certificate can be relied upon as having complied with this condition. A copy of any amended BASIX Certificate is to be provided to the Newcastle City Council with Occupation Certificate documentation.

33. All works within the road reserve required by this consent are to be completed prior to the issue of an Occupation Certificate.

CONDITIONS TO BE SATISFIED DURING THE OPERATION AND USE THE DEVELOPMENT

34. The property is to be maintained in accordance with the following:
- a) At the commencement of building works and in perpetuity the entire property is to be managed as an 'inner protection area' as outlined within Section 3.2.4 and Appendix 4 respectively of the NSW Rural Fire Service documents *Planning for Bushfire Protection 2019* and *Standards for Asset Protection Zones*; and
 - b) Landscaping of the site is to comply with the principles of Appendix 4 of the NSW Rural Fire Service document *Planning for Bush Fire Protection 2019*.

ADVISORY MATTERS

- It is recommended that, prior to commencement of work, the free national community service 'Dial before you Dig' be contacted on 1100 or by fax on 1200 652 077 regarding the location of underground services in order to prevent injury, personal liability and even death. Inquiries should provide the property details and the nearest cross street/road.
- Any necessary alterations to public utility installations are to be at the developer/demolisher's expense and to the requirements of the City of Newcastle and any other relevant authorities. City of Newcastle and other service authorities should be contacted for specific requirements prior to the commencement of any works.
- It is an offence under the provisions of the *Protection of the Environment Operations Act 1997* to act in a manner causing, or likely to cause, harm to the environment. Anyone allowing material to enter a waterway or leaving material where it can be washed off-site may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Failure to comply with the conditions of consent constitutes a breach of the *Environmental Planning and Assessment Act 1979*, which may be subject to a penalty infringement notice (ie 'on-the-spot fine') or prosecution.
- Retaining walls not clearly noted on the approved plans or outside of the parameters of 'exempt development', as specified in *State Environmental Planning Policy (Exempt and Complying Development Codes) 2008*, are to be subject to a separate development application. An application in this regard is to be approved prior to any works relating to such a retaining wall taking place.
- Prior to commencing any building works, the following provisions of Division 6.2 of the *Environmental Planning and Assessment Act 1979* are to be complied with:
 - a) A Construction Certificate is to be obtained; and
 - b) A Principal Certifier is to be appointed for the building works and Newcastle City Council is to be notified of the appointment; and
 - c) Newcastle City Council is to be given at least two days notice of the date intended for commencement of building works.
- Prior to the occupation or use of a new building, or occupation or use of an altered portion of, or an extension to an existing building, an Occupation Certificate is to be obtained from the Principal Certifier appointed for the proposed development. An application for an Occupation Certificate must contain the information set out in Section 37 of the *Environmental Planning and Assessment (Development Certification and Fire Safety) Regulation 2021* (NSW).

END OF CONDITIONS

SCHEDULE 2

REASONS FOR THE DETERMINATION & CONSIDERATION OF COMMUNITY VIEWS

The determination decision was reached for the following reasons:

- The proposed development, subject to the recommended conditions, is consistent with the objectives of the applicable environmental planning instruments, being; *Newcastle Local Environmental Plan 2012* (NLEP) and applicable State Environmental Planning Policies.
- The proposed development is, subject to the recommended conditions, consistent with the objectives of the Newcastle Development Control Plan 2012 (NDCP).
- The proposed development is considered to be of an appropriate scale and form for the site and the character of the locality.
- The proposed development has appropriate management and mitigation of impacts through conditions of consent.
- The proposed development, subject to the recommended conditions, will not result in unacceptable adverse impacts upon the natural or built environments.
- The proposed development is a suitable and planned use of the site and its approval is within the public interest.
- The Clause 4.6 variation to the Height of Buildings development standard is well founded and acceptable in the circumstances of this case.

REASONS WHY THE CONDITIONS HAVE BEEN IMPOSED

The following conditions are applied to:

- Confirm and clarify the terms of Council's determination;
- Identify modifications and additional requirements that will result in improved compliance, development and environmental outcomes;
- Prevent, minimise, and/or offset adverse environmental impacts including economic and social impacts;
- Set standards and measures for acceptable environmental performance; and
- Provide for the ongoing management of the development.



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 06/12/22 – 20 SUMMER PLACE MEREWETHER HEIGHTS –
DA2022/01648 AND DWELLING HOUSE - ALTERATIONS,
ADDITIONS AND ANCILLARY DEVELOPMENT (POOL AND
RETAINING WALLS) INCLUDING DEMOLITION**

ITEM-22 **Attachment C:** Processing Chronology

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PROCESSING CHRONOLOGY

DA2021/01648 – 20 Summer Place, Merewether Heights

9 December 2021	-	Application lodged
13 December 2021 to 20 January 2022	-	Application notified in accordance with CN's Community Participation Plan (CPP)
13 December 2021	-	Request for additional information issued
13 April 2022	-	Additional information received from applicant
2 August 2022	-	Request for additional information issued
18 August 2022	-	Additional information received from applicant
29 August 2022	-	Request for additional information issued
27 October 2022		Final amended plans and Clause 4.6 justification received from applicant



ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER

**DAC 06/12/22 – 20 SUMMER PLACE MEREWETHER HEIGHTS –
DA2022/01648 AND DWELLING HOUSE - ALTERATIONS,
ADDITIONS AND ANCILLARY DEVELOPMENT (POOL AND
RETAINING WALLS) INCLUDING DEMOLITION**

ITEM-22 **Attachment C:** Clause 4.6 variation statement

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Clause 4.6 Variation: HOB

Address:

20 Summer Place
Merewether Heights NSW 2291

25 October 2022

1 Introduction

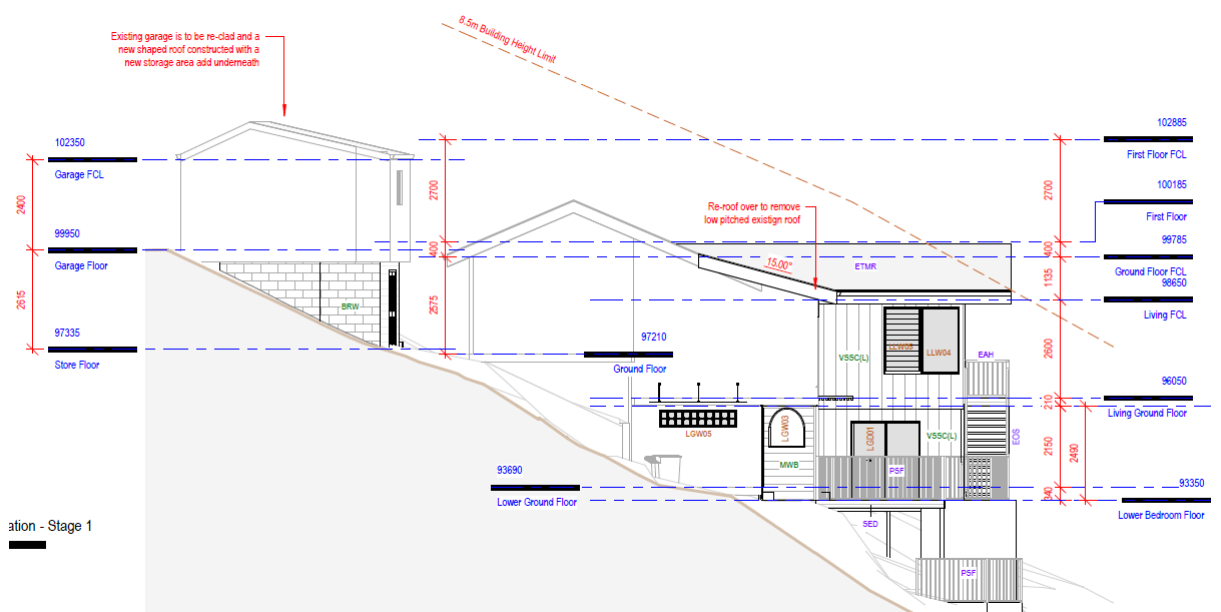
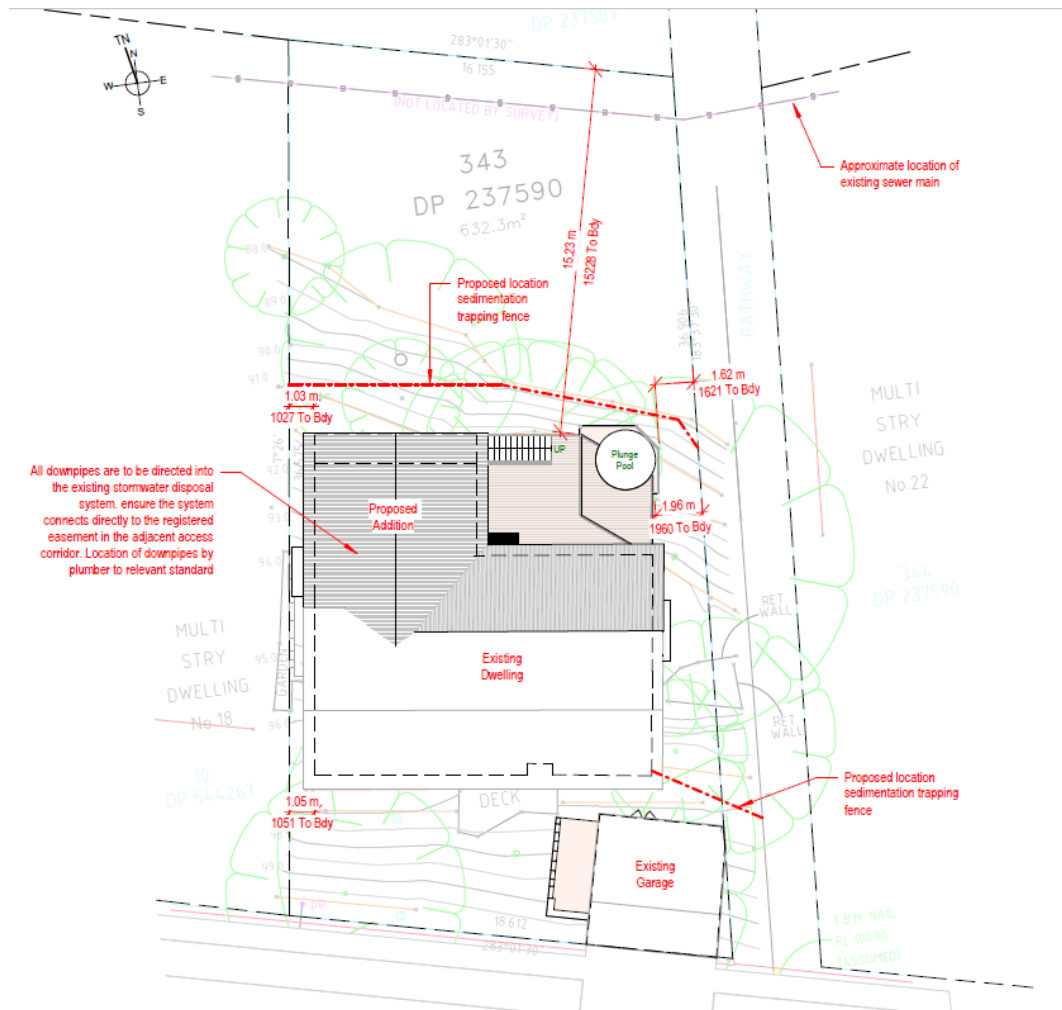
This Clause 4.6 variation has been prepared by SWS Lawyers on behalf of Rachel & John Vazey in relation to a Development Application (DA2021/01648) to carry out alterations and additions to an existing dwelling at 20 Summer Place, Merewether Heights.

The Property is located to the north of the Merewether Heights Primary School and the land falls to Takari Place. A pedestrian accessway adjoins the property boundary to the east. The alignment of the subject property is almost due North-South.



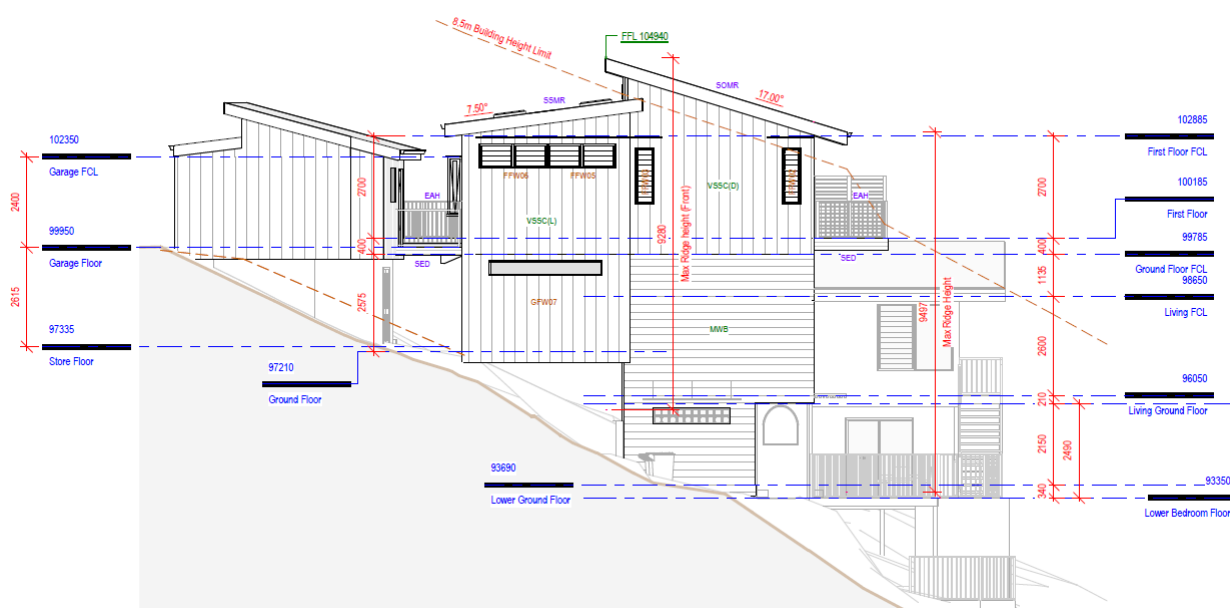
The proposed development is to be undertaken in two stages:

Stage 1: Extension to Ground Floor & Lower Ground Floor



ation - Stage 1

Stage 2: Addition of First Floor (see detail East Elevation below)



The proposed development is more fully described in the *Statement of Environmental Effects*, prepared by *Blencowe Design* and submitted with the development application.

The drop in level from Summer Place to the rear of the proposed development is approx. 10 metres (rise/run – 44%).

This Clause 4.6 variation relates to the Height of Building control in the *Newcastle Local Environmental Plan 2012 (NLEP)*, specifically, Clause 4.3 – Height of Buildings (**HOB**).

2 Clause 4.6 Exceptions to Development Standards

Clause 4.6 of the NLEP 2012 enables an exception to the height standard upon consideration of a written request from the applicant justifying the contravention in the terms stated below.

Clause 4.6 requires that a consent authority be satisfied of three matters before granting consent to a development that contravenes a development standard:

- (a) That the applicant has adequately demonstrated that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case;
- (b) That the applicant has adequately demonstrated that there are sufficient environmental planning grounds to justify contravening the development standard; and
- (c) That the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out.

The consent authority's satisfaction as to those matters must be informed by the objectives, which are:

- (a) to provide flexibility in the application of the relevant control; and
- (b) to achieve better planning outcomes for and from development.

The Land and Environment Court has established questions to be addressed in variations to developments standards lodged under *State Environmental Planning Policy 1 – Development Standards (SEPP 1)* through the judgment of Justice Lloyd, in *Winten Property Group Ltd v North Sydney Council* [2001] 130 LGERA 79 at 89. The test was later rephrased by Chief Justice Preston, in the decision of *Wehbe v Pittwater Council* [2007] NSW LEC 827 (**Wehbe**). An additional principle was established in the decision by Commissioner Pearson in *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 1009 (**Four2Five**) which was upheld by Pain J on appeal.

A further judgement by Preston in *Initial Action Pty Ltd v Woollahra Municipal Council* [2018] NSWLEC 118 (**Initial Action**) clarified the correct approach to Clause 4.6 variation requests, including that:

“The requirement in cl 4.6(3)(b) is that there are sufficient environmental planning grounds to justify contravening the development standard, not that the development that contravenes the development standard have a better environmental planning outcome than a development that complies with the development standard.” [88]

How these tests and considerations are applied to the assessment of variations under Clause 4.6 of the LEP and other standard LEP instruments has been confirmed in the judgement of Justice Preston in *Initial Action* and in *Al Maha Pty Ltd v Huajun Investments Pty Ltd* (2018) NSWCA 245 (**Al Maha**).

Accordingly, this Clause 4.6 variation request is set out using the relevant principles established by the Court. Clause 4.6 of NLEP 2012 reads as follows:

Clause 4.6 Exceptions to development standards

(1) *The objectives of this clause are as follows:*

- (a) *to provide an appropriate degree of flexibility in applying certain development standards to particular development,*
- (b) *to achieve better outcomes for and from development by allowing flexibility in particular circumstances.*

(2) *Development consent may, subject to this clause, be granted for development even though the development would contravene a development standard imposed by this or any other environmental planning instrument. However, this clause does not apply to a development standard that is expressly excluded from the operation of this clause.*

(3) *Development consent must not be granted for development that contravenes a development standard unless the consent authority has considered a written request from the applicant that seeks to justify the contravention of the development standard by demonstrating:*

- (a) *that compliance with the development standard is unreasonable or unnecessary in the circumstances of the case, and*

- (b) *that there are sufficient environmental planning grounds to justify contravening the development standard.*
- (4) *Development consent must not be granted for development that contravenes a development standard unless:*
- (a) *the consent authority is satisfied that:*
- (i) *the applicant's written request has adequately addressed the matters required to be demonstrated by subclause (3), and*
- (ii) *the proposed development will be in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out, and*
- (b) *the concurrence of the Secretary has been obtained.*
- (5) *In deciding whether to grant concurrence, the Secretary must consider:*
- (a) *whether contravention of the development standard raises any matter of significance for State or regional environmental planning, and*
- (b) *the public benefit of maintaining the development standard, and*
- (c) *any other matters required to be taken into consideration by the Secretary before granting concurrence.*
- (6) (8)

3 The Development Standard to be varied

The development standard to be varied is Clause 4.3 Height of Buildings in NLEP 2012. As identified on the NLEP 2012 HOB Map, the site has a maximum height of buildings of 8.5m.

4 Extent of Variation to the Development Standard

The assessment of the height variation has to be assessed against the whole of the proposed development i.e. assessed against the final built form under Stage 2.

The proposed development exceeds the maximum height control at points across the 8.5 metre building envelope. The roofline of the proposed First Floor and a small section of the Ground Floor extension project is outside of the building envelope. The upper most part of the ridgeline is at RL104970.

The gable roofline that projects to the rear of the property on the proposed ground floor extension has a minor exceedance of 0.465m (a 5.5% exceedance on the height control) and limited to a very small section of the apex of the overall roofline.

The roofline above the proposed First Floor exceeds the height control envelope as follows:

- East elevation – max. exceedance 9.497m (11.7% above the maximum 8.5m building height)

- West elevation – max. exceedance 9.435m (11% above)

The significant exceedance of the development standard height control relates to the proposed roof for the First-Floor extension. There are very minor, almost imperceptible exceedances of the First Floor privacy screen and the deck handrail.

5 Objectives of the Standard

The objectives of the Clause 4.3 Height of Building in NLEP 2012 are as follows:

- to ensure the scale of development makes a positive contribution towards the desired built form, consistent with the established centres hierarchy,
- to allow reasonable daylight access to all developments and the public domain.

6 Objectives of the zone

The objectives of the R2 Low Density Residential zone are as follows:

- To provide for the housing needs of the community within a low-density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.
- To accommodate a diversity of housing forms that respects the amenity, heritage and character of surrounding development and the quality of the environment.

7 Assessment

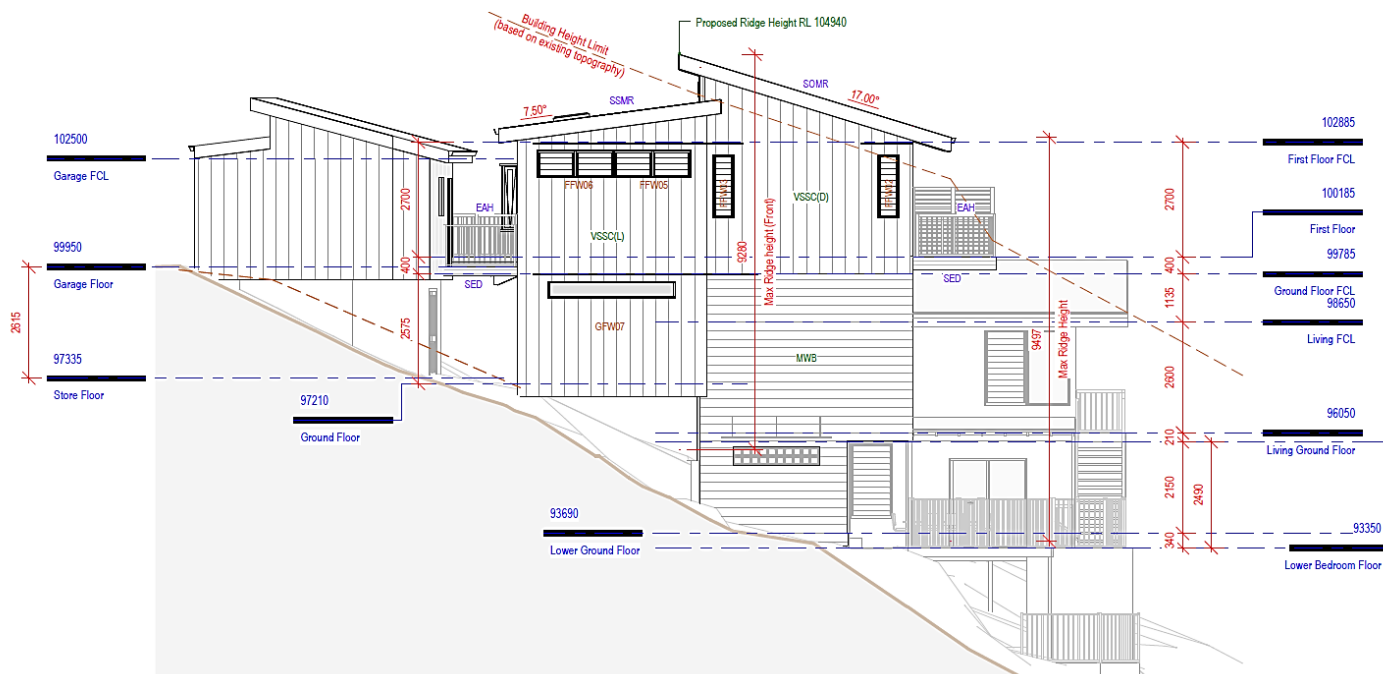
7.1 Clause 4.6(3)(a) - Is Compliance with the development standard unreasonable or unnecessary in the circumstances of this proposal?

Compliance with the height standard is unreasonable and unnecessary given the following circumstances of this proposal:

- The proposed heights are a natural response to the existing (steep) topography of the site, which provides a fall of approximately 10 metres across the development footprint. The topography has informed the location of height across the entire site.
- The proposal from the streetscape presents as a single storey dwelling.



- (c) The Merewether Height Public Primary School is located on the opposite side of Summer Place and there is no issue of view loss raised by the proposed development.
- (d) The proposal follows the natural (steep) topography,



- (e) Height controls applied to development on sites with relatively moderate slopes are fairly straight forward. A rigid application of height control on steep slopes is more fraught. The design is a pragmatic and holistic response to the natural topography of the site.
- (f) The small existing excavation on site should be ignored with respect to the “existing ground level” baseline as it creates an anomaly that is not easily read in the context of the whole design. The height control for the proposed development should be read in relation to the overall topography - see *Bettar v Council of the City of Sydney* (2014) NSWLEC 1070 (**Bettar**). In *Bettar*, Commissioner O’Neill found that:
- (i) “As one of the purposes of the development standard is to relate the proposal to its context, it follows that the determination of the existing ground level should bear some relationship to the overall topography that includes the site” [37].
 - (ii) Council’s expert proffered the preferred method of determining existing ground level, as the “level of the footpath at the boundary bears a relationship to the context and overall topography that includes the site and remains relevant once the existing building is demolished” [41]. The *Bettar* Case approach to defining the existing ground level has been relied on in a number of subsequent cases, where existing excavation or a localised anomaly would lead to absurd height-plane distortions.

- (g) An overly rigid application of the height control on this steep topography could have resulted in an overly stratified and stepped building form that would not result in a reasonable internal amenity outcome for the occupants.
- (h) The design provides for street-level access to dwelling which will assist disabled access for visitors and occupants well into the future.
- (i) Ostensibly the height exceedance is limited to the north-facing section of the proposed First Floor with all of the rest of the proposed built form being contained within the height envelope.
- (j) The rear of the subject site has an established garden and provides a natural screening of the existing dwelling. That garden will be maintained as an important element of the whole amenity of the current use of the property.
- (k) Although there is a public pedestrian access located at the eastern boundary of the property, the perception of the height exceedance from that pedestrian access or from Summer Place would be almost imperceptible.
- (l) The First-Floor addition on the Western Elevation is also stepped to give the building better articulation and mitigate the appearance of bulk and scale massing to the adjoining property at 18 Summer Place.
- (m) The First-Floor roof design also includes louvered windows to provide for cross-ventilation to reduce the need for air-conditioning.
- (n) The combination of the steep topography and the existing and mature landscaping combine to prevent any real wide-field appreciation of the proposed built form from the public domain or from adjoining and nearby development.
- (o) Additionally, the scale of the proposed development be difficult to read from the public domain (public pedestrian path) because of the well-established landscaping.
- (p) The bulk and scale will not be of the same stark magnitude as the existing development at 22 Summer Place (which presents as a 4-storey building).

Below is a photograph (taken 19/10/2022) of 22 Summer Place, the public pedestrian (stepped pathway in the centre) and the landscaped subject property to the right.



- (q) There remains a rear setback of 15+ metres to the lower adjoining dwelling at 10 Takari Place (which is also orientated to the north in any event).

The established garden at the provides adequate screening between the two properties (see photo below – taken 19/10/2022).



- (r) The contravention of the height standard does not raise any matter of State or regional planning significance.
- (s) There is no public benefit in maintaining a rigid application the development standard in the circumstances in the context of this proposal. It would be both unreasonable and unnecessary.

7.2 **Clause 4.6(3)(b) - Are there sufficient environmental planning grounds to justify contravening the development standard?**

As discussed above, Pain J held in *Four2Five vs Ashfield Council* [2015] NSWLEC 90 that to satisfy clause 4.6(3)(b), a Clause 4.6 variation must do more than demonstrate that the development meets the objectives of the development standard and the zone – it must also demonstrate that there are other environmental planning grounds that justify contravening the development standard, preferably being grounds that are specific to the site.

Pain J also held that in order for a clause 4.6 variation to be accepted, seeking to justify the contravention is insufficient - the consent authority must be satisfied that clause 4.6(3)(a) and (b) have been properly addressed. On appeal, Leeming JA in *Four2Five vs Ashfield Council* [2015] NSWCA 248 acknowledged Pain J's approach, but did not necessarily endorse it, instead re-stating Pain J and saying: "...matters of consistency with objectives of development standards remain relevant, but not exclusively so."

Further findings by Preston CJ in *Initial Action Pty Ltd v Woollahra Municipal Council* [2018] NSWLEC 118 also found that:

"The requirement in cl 4.6(3)(b) is that there are sufficient environmental planning grounds to justify contravening the development standard, not that the development that contravenes the development standard have a better environmental planning outcome than a development that complies with the development standard." [88]

There are sufficient environmental planning grounds to justify contravening the development standard as the proposed development allows design improvements to the existing development in the following ways:

- (a) the design is stepped and is a reasonable response to the very steep topography while still retaining reasonable internal building amenity;
- (b) there is no compromise of the public interest as the proposed design is difficult to read from any public, adjoining or nearby vantage points;
- (c) the design represents an excellent design outcome for the area and is consistent with, and complements, nearby existing development;
- (d) the design proposes a renovation of a fairly bland 80/90s dwelling and elevates the design outcomes for the whole property; and
- (e) the north-south orientation of the site, means that there is no appreciable solar impact on the adjoining property to the west.

7.3 Clause 4.6(4)(a)(ii) - Is the proposed development in the public interest because it is consistent with the objectives of the particular standard and the objectives for development within the zone in which the development is proposed to be carried out?

In the court case *Four2Five Pty Ltd v Ashfield Council* [2015] NSWLEC 90, Commissioner Pearson stipulates that the consent authority is to be satisfied the proposed development will be in the public interest because it is consistent with:

- (a) the objectives of the particular standard, and
- (b) the objectives for development within the zone in which the development is proposed to be carried out.

In *Randwick City Council v Micaul Holdings Pty Ltd* [2016] NSWLEC 7, the Chief Judge observed in his judgement at [39] that 4.6(4) of the Standard Instrument does not require the consent authority to be satisfied directly that compliance with each development standard is unreasonable or unnecessary in the circumstances of the case, but only indirectly be satisfied that the applicant's written request has adequately addressed those matters.

The objectives of the development standard and the zone are addressed below under the relevant headings.

(a) the objectives of the particular standard

The particular development standard is Clause 4.3 Height of Buildings of NLEP 2012 and the relevant objectives are addressed below:

- (i) *To ensure the scale of development makes a positive contribution towards the desired built form, consistent with the established centres hierarchy,*

The overall improvement and updating of the existing dwelling is consistent with *Newcastle Local Housing Strategy (2021)* and complements existing development and similar renovations in the locality.

- (ii) *to allow reasonable daylight access to all developments and the public domain.*

The Shadow Diagrams submitted for the Stage 2 proposal evidence very little (if any) adverse overshadowing impacts on 18 and 22 Summer Place. There is no impact on the Public School to the south of the subject property.

(b) the objectives for development within the zone in which the development is proposed to be carried out.

The site falls within the R2 Low Density Residential zone, and the relevant objectives are addressed below.

- (i) *To provide for the housing needs of the community within a low density residential environment.*

It remains a single dwelling family home.

- (ii) *To enable other land uses that provide facilities or services to meet the day to day needs of residents.*

Not relevant to this proposal.

- (iii) *To accommodate a diversity of housing forms that respects the amenity, heritage and character of surrounding development and the quality of the environment.*

The proposed design respects the steep topography and the existing tree scape and is an appropriate (complementary) proposal for adjoining and nearby development of the same type in the locality.

8 Any matters of significance for State or Regional Environmental Planning

The contravention of the height standard does not raise any matter of State or Regional planning significance.

9 Conclusion to variation to height standard

This written request is for an exception to the height standard under clause 4.6 of HLEP 2012. It justifies the contravention to the height standard in the terms required under clause 4.6 of the LEP and, in particular, demonstrates that the proposal provides a significantly better planning outcome with no significant adverse environmental impacts. Therefore, in the circumstances of the case:

- (a) Compliance with the height standard is unreasonable and unnecessary given the significant site constraints;
- (b) There are sufficient environmental planning grounds for the contravention;
- (c) It is in the public interest in being consistent with the objectives of the height standard and zone; and
- (d) There are no matters of State or Regional planning significance and no public benefits in maintaining the height standard in this case.