



**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**PV 14/06/2022 – 29 Bruce Street Cooks Hill - DA2021/00281 -  
Dwelling house**

**PAGE 3**      **ITEM-1**      **Attachment A:**      Amended Plans

**PAGE 22**      **ITEM-1**      **Attachment B:**      Processing Chronology

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**PV 14/06/2022 – 29 Bruce Street Cooks Hill - DA2021/00281 -  
Dwelling house**

**ITEM-1            Attachment A:        Amended Plans**

**DISTRIBUTED UNDER SEPARATE COVER**



# PROJECT

## 29 Bruce St\_New Terrace

LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
LOT/DP

Guy Bunder and Madeline Fitzgibbon

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ISSUE	DESCRIPTION	BY	CHK	DATE
01	DA			23/02/2021
02	REVISED FOR RFI RESPONSE			30/08/2021
03	REVISED FOR RFI RESPONSE			28/03/2022
04	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St\_New Terrace  
CLIENT  
Guy Bunder and Madeline  
Fitzgibbon

DRAWING  
COVER PAGE  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW  
2300  
DRAWING NO. DD000  
ISSUE NO. 04  
SCALE @A3

# BASIX COMMITMENTS

## BASIX® Certificate

Building Sustainability Index [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

### Single Dwelling

Certificate number: 1176669S\_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at [www.basix.nsw.gov.au](http://www.basix.nsw.gov.au)

This certificate is a revision of certificate number 1176669S lodged with the consent authority or certifier on 01 April 2021 with application DA2021/00281.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environmental Planning and Assessment Regulation 2000

Secretary  
Date of issue: Monday, 30 August 2021  
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	29 Bruce Street _02	
Street address	29 Bruce Street Cooks Hill 2300	
Local Government Area	Newcastle City Council	
Plan type and plan number	deposited 799895	
Lot no.	2	
Section no.	-	
Project type	attached dwelling house	
No. of bedrooms	3	
Project score		
Water	✓ 41	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 68	Target 50

Certificate Prepared by	
Name / Company Name:	SDA
ABN (if applicable):	87909725472

### Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Fixtures</b>			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	
<b>Alternative water</b>			
<b>Rainwater tank</b>			
The applicant must install a rainwater tank of at least 4000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 62 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> <li>at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)</li> </ul>		✓	✓

## Description of project

Project address		Assessor details and thermal loads	
Project name	29 Bruce Street _02	Assessor number	n/a
Street address	29 Bruce Street Cooks Hill 2300	Certificate number	n/a
Local Government Area	Newcastle City Council	Climate zone	n/a
Plan type and plan number	Deposited Plan 799895	Area adjusted cooling load (MJ/m².year)	n/a
Lot no.	2	Area adjusted heating load (MJ/m².year)	n/a
Section no.	-	Ceiling fan in at least one bedroom	n/a
<b>Project type</b>		Ceiling fan in at least one living room or other conditioned area	n/a
Project type	attached dwelling house	<b>Project score</b>	
No. of bedrooms	3	Water	✓ 41 Target 40
<b>Site details</b>		Thermal Comfort	✓ Pass Target Pass
Site area (m²)	89	Energy	✓ 68 Target 50
Roof area (m²)	62		
Conditioned floor area (m2)	109.18		
Unconditioned floor area (m2)	5.24		
Total area of garden and lawn (m2)	8		

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>General features</b>			
The dwelling must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
<b>Floor, walls and ceiling/roof</b>			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
<b>Construction</b>		<b>Additional insulation required (R-Value)</b>	<b>Other specifications</b>
floor - concrete slab on ground, 42 square metres	nil		
floor - above habitable rooms or mezzanine, 52 square metres, framed	nil		
floor - suspended floor above garage, framed	nil		
external wall - concrete panel/plasterboard (concrete: 120 mm)	2.11 (or 2.40 including construction)		
external wall - framed (weatherboard, fibre cement, metal clad)	2.00 (or 2.40 including construction)		
internal wall shared with garage - other/undecided	nil		
ceiling and roof - flat ceiling / flat roof, framed	ceiling: 3.5 (up), roof: foil backed blanket (55 mm)	framed; medium (solar absorptance 0.475-0.70)	
<b>Note</b> • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.			
<b>Note</b> • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			

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PROJECT  
29 Bruce St\_New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
BASIX COMMITMENTS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO.  
DD001  
ISSUE NO.  
04  
SCALE  
1:2@A3



Thermal Comfort Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Windows, glazed doors and skylights</b>						
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.				✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.				✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:				✓	✓	✓
<ul style="list-style-type: none"> <li>For the following glass and frame types, the certifier check can be performed by visual inspection.                             <ul style="list-style-type: none"> <li>Aluminium single clear</li> <li>Aluminium double (air) clear</li> <li>Timber/uPVC/fibreglass single clear</li> <li>Timber/uPVC/fibreglass double (air) clear</li> </ul> </li> <li>Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.</li> </ul>				✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).				✓	✓	✓
Skylight no.	Maximum area (square metres)	Type	Shading device			
S01	0.90	aluminium, moulded plastic single clear	no shading			
S02	0.90	aluminium, moulded plastic single clear	no shading			
Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing	
<b>South-East facing</b>						
W02	1200	1800	aluminium, single, clear	none	>4 m high, 2-5 m away	
W01	1200	1000	aluminium, single, clear	none	>4 m high, 2-5 m away	

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
W03	1200	1000	aluminium, single, clear	none	>4 m high, 2-5 m away
D04	2400	1800	aluminium, single, clear	none	>4 m high, 2-5 m away
D01	2700	2700	aluminium, single, clear	none	>4 m high, 2-5 m away
<b>North-West facing</b>					
W04	900	2900	aluminium, single, clear	none	not overshadowed
D02	2400	1000	aluminium, single, clear	solid overhang 5800 mm, 2400 mm above head of window or glazed door	not overshadowed
D03	2400	1800	aluminium, single, clear	verandah 1200 mm, 2700 mm above base of window or glazed door	>4 m high, 2-5 m away

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<b>Hot water</b>						
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 4 stars.				✓	✓	✓
<b>Cooling system</b>						
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans + 1-phase airconditioning; Energy rating: 8 star (average zone)					✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans + 1-phase airconditioning; Energy rating: 8 star (average zone)					✓	✓
The cooling system must provide for day/night zoning between living areas and bedrooms.					✓	✓
<b>Heating system</b>						
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning; Energy rating: 6 star (average zone)					✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning; Energy rating: 6 star (average zone)					✓	✓
The heating system must provide for day/night zoning between living areas and bedrooms.					✓	✓
<b>Ventilation</b>						
The applicant must install the following exhaust systems in the development:						
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off					✓	✓
Kitchen: individual fan, not ducted; Operation control: manual switch on/off					✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off					✓	✓
<b>Artificial lighting</b>						
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:						
<ul style="list-style-type: none"> <li>at least 3 of the bedrooms / study; dedicated</li> </ul>					✓	✓

Energy Commitments				Show on DA plans	Show on CC/CDC plans & specs	Certifier check
<ul style="list-style-type: none"> <li>at least 3 of the living / dining rooms; dedicated</li> </ul>					✓	✓
<ul style="list-style-type: none"> <li>the kitchen; dedicated</li> </ul>					✓	✓
<ul style="list-style-type: none"> <li>all bathrooms/toilets; dedicated</li> </ul>					✓	✓
<ul style="list-style-type: none"> <li>the laundry; dedicated</li> </ul>					✓	✓
<ul style="list-style-type: none"> <li>all hallways; dedicated</li> </ul>					✓	✓
<b>Natural lighting</b>						
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.				✓	✓	✓
<b>Alternative energy</b>						
The applicant must install a photovoltaic system with the capacity to generate at least 1 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.				✓	✓	✓
<b>Other</b>						
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.					✓	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.					✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.



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LEGEND  
 (e) EXISTING



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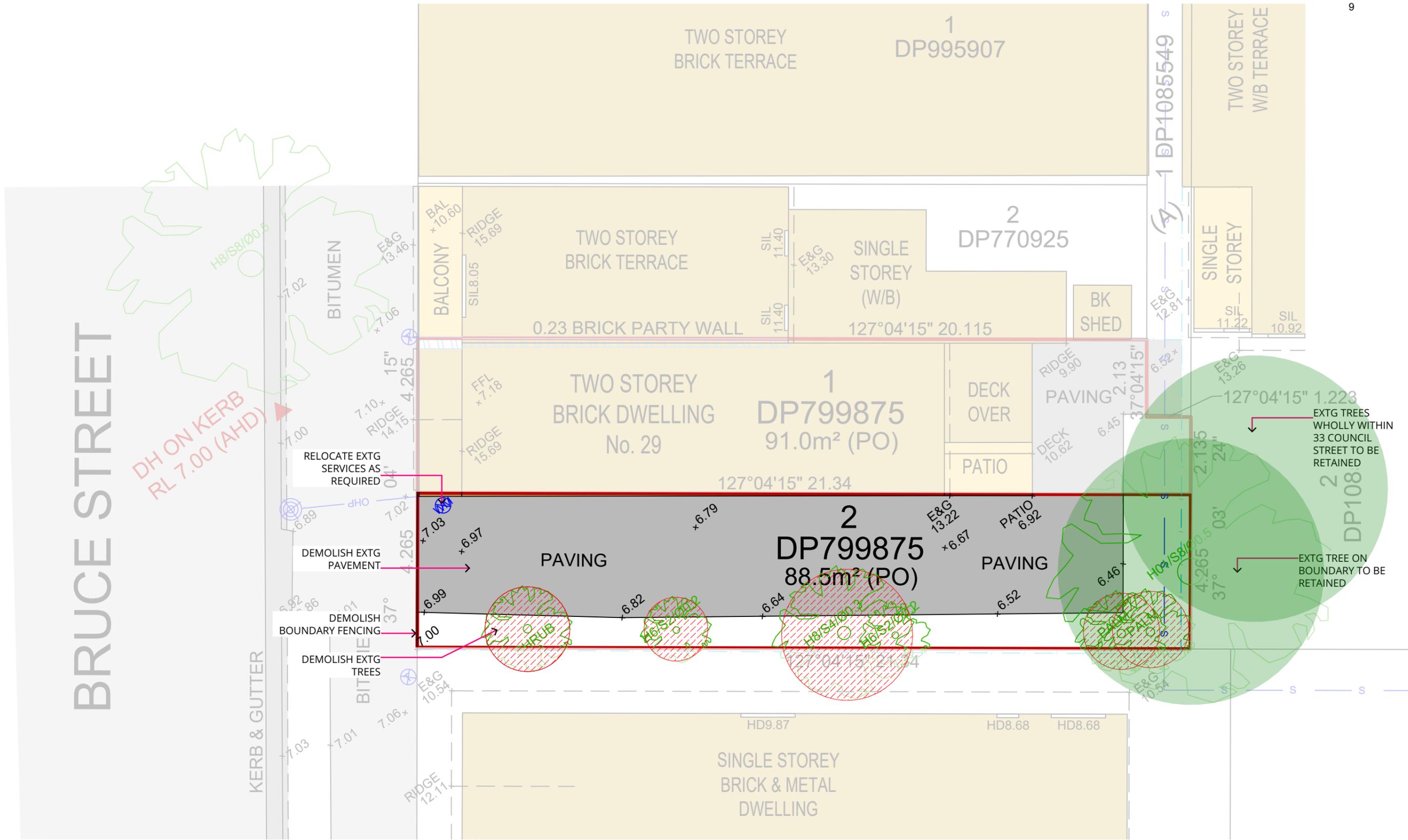
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06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 SITE ANALYSIS PLAN  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooles Hill NSW 2300  
 DRAWING NO. DD100  
 ISSUE NO. 06  
 SCALE 1:200@A3





BRUCE STREET

DH ON KERB  
RL 7.00 (AHD)

KERB & GUTTER

- RELOCATE EXTG SERVICES AS REQUIRED
- DEMOLISH EXTG PAVEMENT
- DEMOLISH BOUNDARY FENCING
- DEMOLISH EXTG TREES

EXTG TREES WHOLLY WITHIN 33 COUNCIL STREET TO BE RETAINED

EXTG TREE ON BOUNDARY TO BE RETAINED



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PROJECT  
29 Bruce St\_New Terrace

CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
EXISTING | DEMOLITION  
SITE PLAN

PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300

DRAWING NO.  
DD101

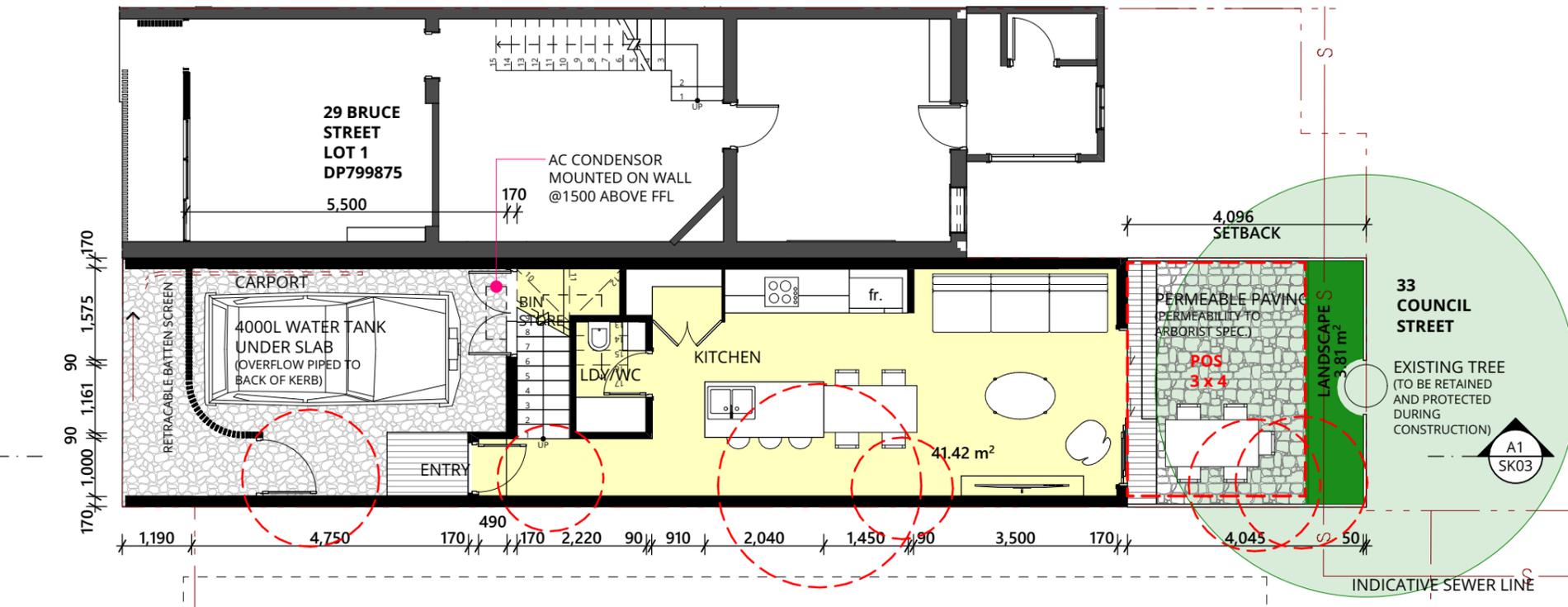
ISSUE NO.  
06

SCALE  
1:100@A3



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BRUCE STREET



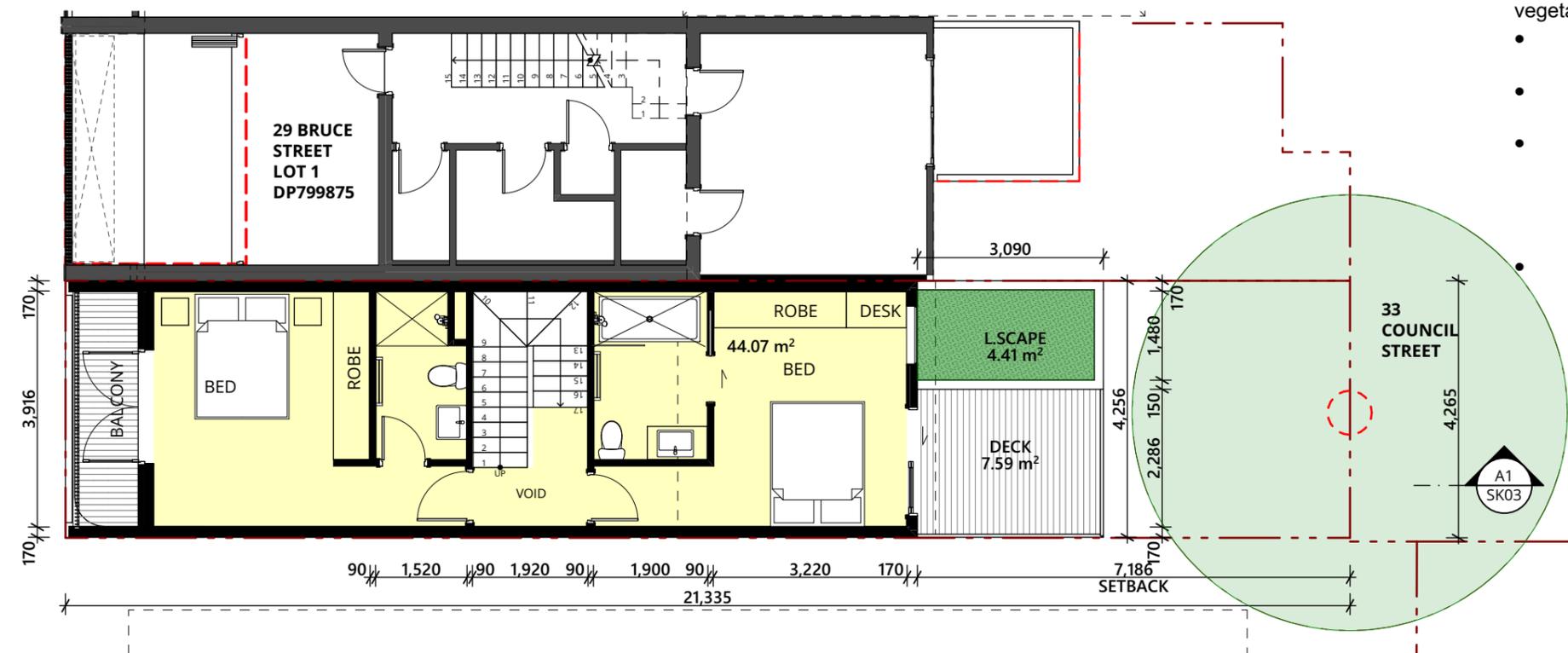
GROUND FLOOR PLAN  
SCALE 1:100

DIVIDING FENCE HEIGHT IS NOT TO EXCEED 1.8M.

NOTE: Boundary wall to be designed to ensure minimal impact to immediate neighbours at 31 Bruce St during constructions. Measures to ensure the neighbouring vegetation is minimally impacted include:

- The wall will be concrete/masonry to avoid the need for maintenance,
- Designed for ease of installation to ensure no scaffolding is required to finish this wall.
- The design includes a strip footing that will finish 10mm inside the boundary to 29 Bruce St. Formwork for this footing will be wholly within the subject site during construction having minimal to no impact on existing vegetation.
- All works on this boundary wall will be completed off an EWP - Elevated Work Platform or from a small ladder that will not damage any vegetation.

BRUCE STREET



FIRST FLOOR PLAN  
SCALE 1:100

1.



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07	NOTES ADDED			27/04/2022
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PROJECT  
29 Bruce St\_New Terrace  
 CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
GROUND + FIRST FLOOR PLAN  
 PROJECT NO.  
2020-202

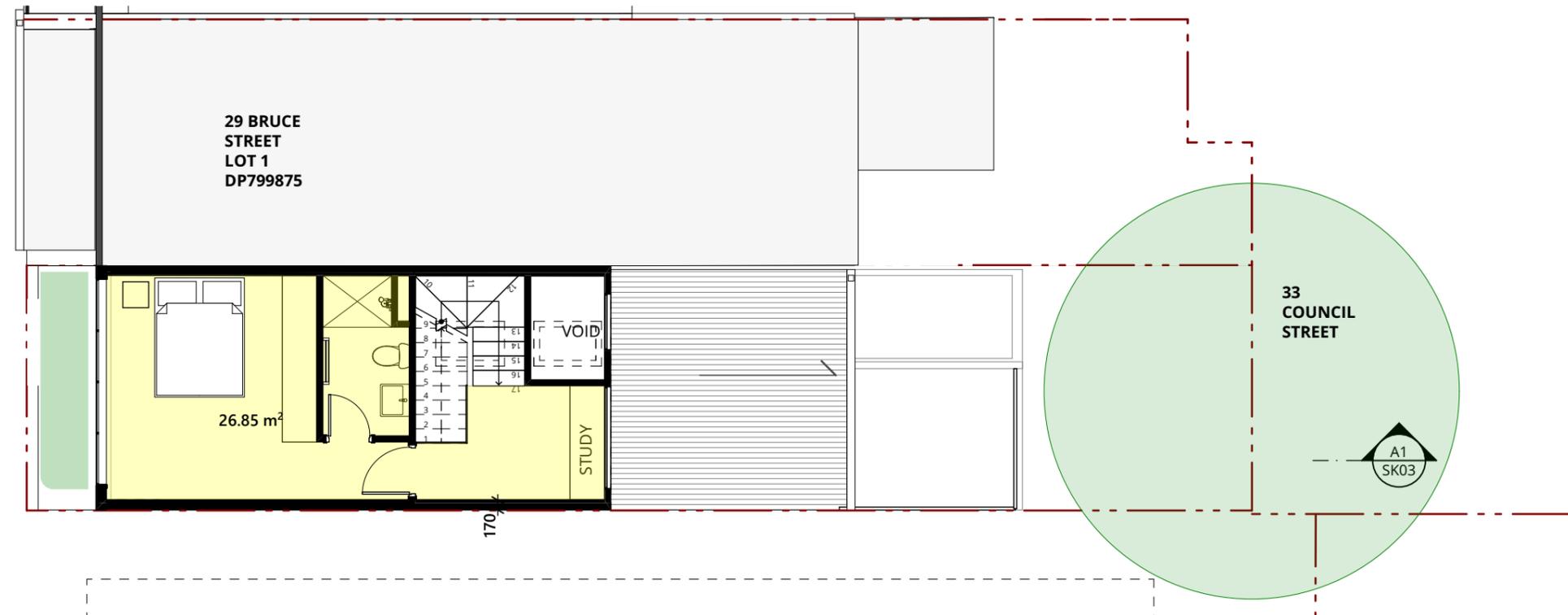
LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
DD200  
 ISSUE NO.  
08  
 SCALE  
1:100@A3



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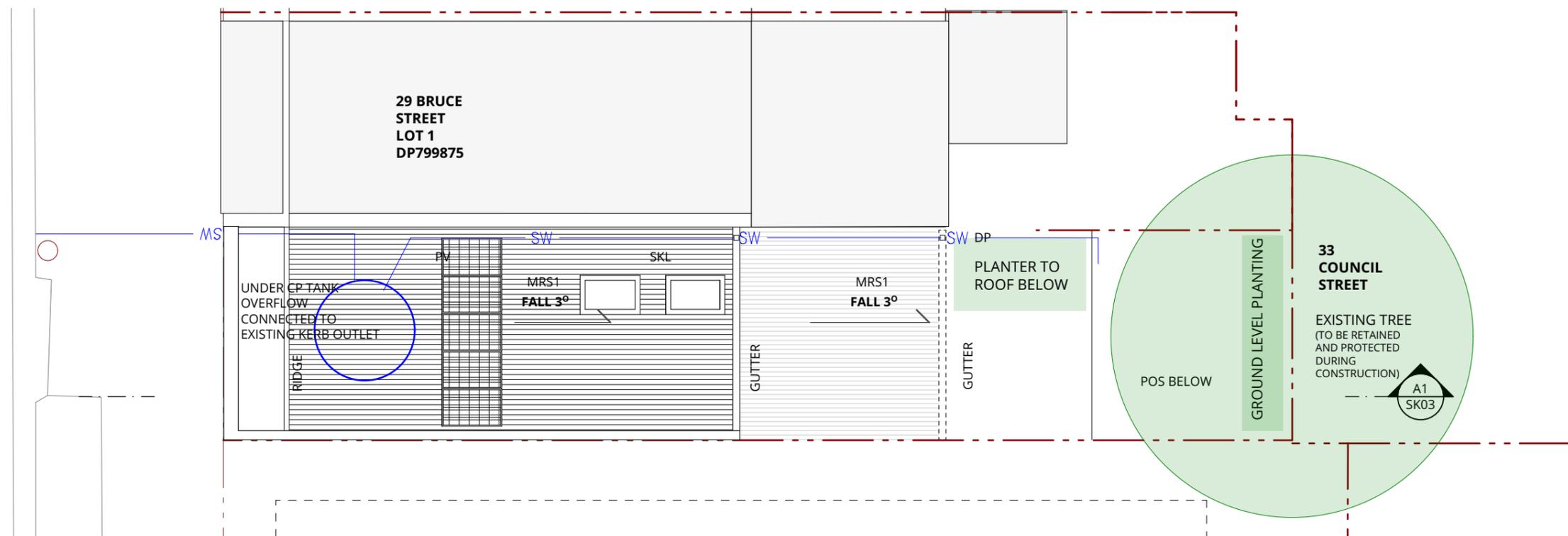
LEGEND  
 (e) EXISTING

BRUCE STREET



2. ATTIC FLOOR PLAN  
 SCALE 1:100

BRUCE STREET



3. ROOF + STORMWATER PLAN  
 SCALE 1:100



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DRAWING  
 ATTIC FLOOR + ROOF PLAN  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO. DD201  
 ISSUE NO. 07  
 SCALE 1:100@A3



CORNER BLOCK WITH INCONSISTENT FENESTRATION AND MATERIALITY

CONSIDERED MASSING AND IDENTIFIABLE 'STREET WALL' OF IMMEDIATE CONTEXT

CONSISTENT LOT WIDTHS

CURRENT 'EDGE' TO TERRACE BLOCK - UNORIGINAL OPENINGS AND PLUMBING WORKS

SUBJECT LOT IS 12 CURRENTLY VACANT WITH VEHICLE CROSSING



INCONSISTENT FENESTRATION TREATMENT TO IMMEDIATE CONTEXT

UNORIGINAL TERRACE FACADE ADJACENT

SUBJECT LOT IS CURRENTLY VACANT WITH VEHICLE CROSSING

CHANGE IN LOT WIDTHS AND HOUSE TYPOLOGY WESTWARD

EXISTING STREETScape



CONTEMPORARY INFILL APPROACH.  
 DELIBERATE ALIGNMENTS WITHIN THE FRONT FACADE TO TERRACES ADJACENT  
 DEEP REVEAL TO ADD DEPTH TO FACADE  
 RETRACTABLE CONTEMPORARY SCREEN TO DISGUISE CARPARKING



MORE TRADITIONAL FORM, WHILST MAINTAINING CONTEMPORARY APPROACH.  
 DELIBERATE ALIGNMENTS WITHIN THE FRONT FACADE TO TERRACES ADJACENT  
 DEEP REVEAL TO ADD DEPTH TO FACADE  
 RETRACTABLE CONTEMPORARY SCREEN TO DISGUISE CARPARKING



PREVIOUSLY PROPOSED STREETScape

REVISED PROPOSED STREETScape

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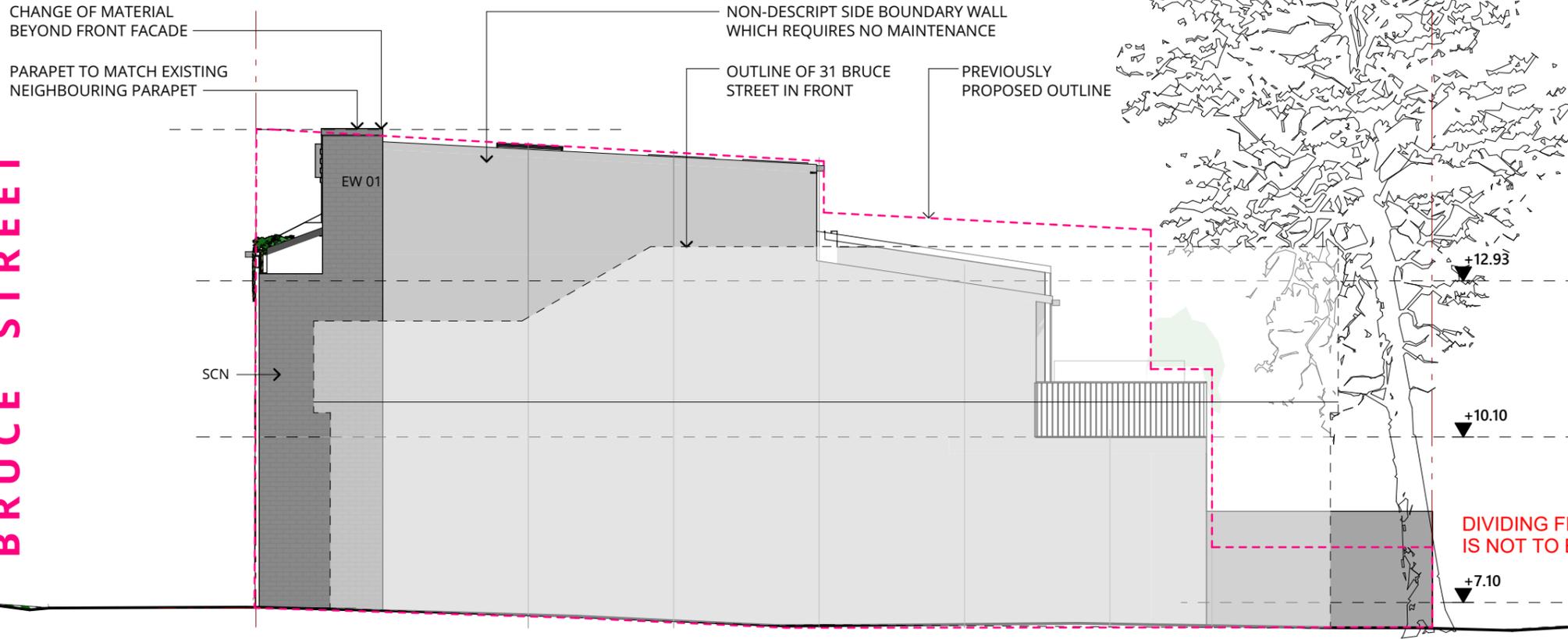
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DRAWING  
 STREETScape  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
 DD300  
 ISSUE NO.  
 07  
 SCALE  
 1:2.44,  
 1:8.39@A3



BRUCE STREET



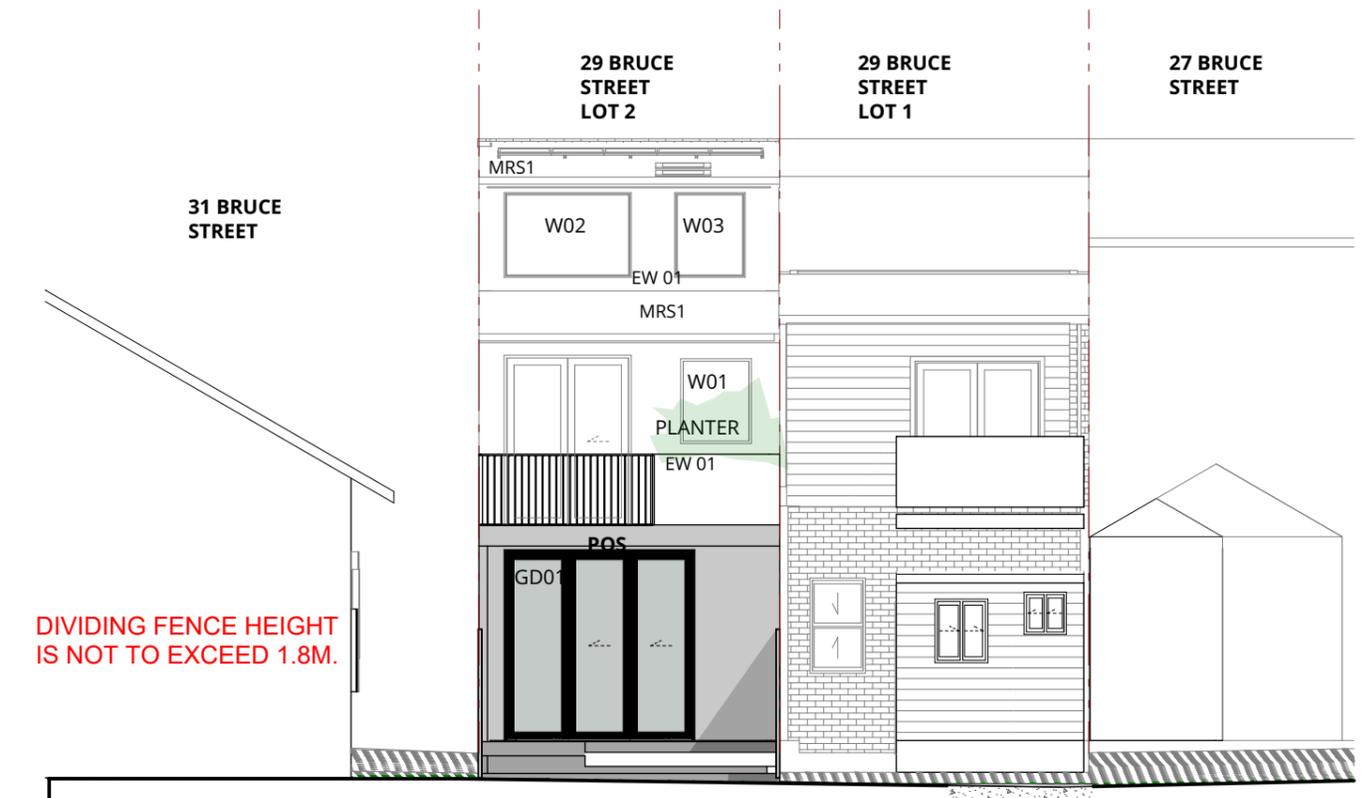
**SOUTH ELEVATION**  
SCALE 1:100

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**LEGEND**  
CON1 CONCRETE - TYPE 1  
MRS1 METAL ROOF SHEETING - TYPE 1  
SCN SCREEN



**WEST ELEVATION**  
SCALE 1:100



**EAST ELEVATION**  
SCALE 1:100

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ISSUE	DESCRIPTION	BY	CHK	DATE
04	REVISED FOR RFI RESPONSE			10/08/2021
05	REVISED FOR RFI RESPONSE			30/08/2021
06	REVISED FOR RFI RESPONSE			28/03/2022
07	NOTES ADDED			27/04/2022
08	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St\_New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
ELEVATIONS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO.  
DD301  
ISSUE NO.  
08  
SCALE  
1:100@A3





11 BRUCE STREET



30 BRUCE STREET



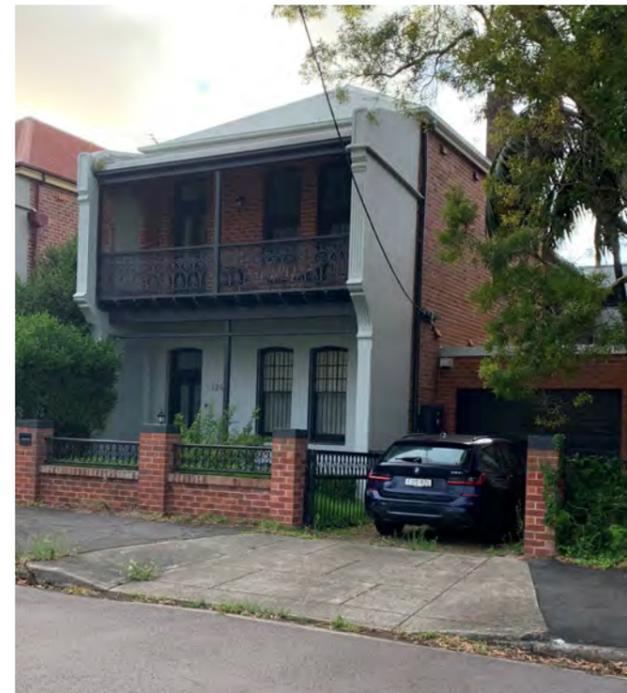
68 BRUCE STREET



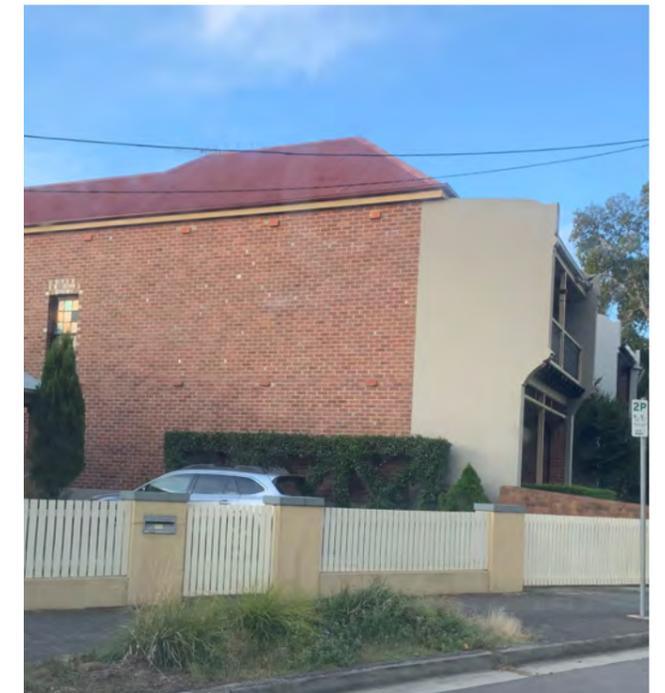
113 BRUCE STREET



115 BRUCE STREET



124 BRUCE STREET



126 BRUCE STREET

**COMMON THEMES ALONG BRUCE STREET**

**- ORNATE STREET FACADES**

consisting of open metalwork balustrades, ornate render, detailed concrete or metal mouldings/filegree

**- NON-DESCRIPT SIDE BOUNDARY WALLS**

Either face brick, painted render, or painted brickwork behind the detailed front facade

**- CHANGE OF MATERIAL BEHIND FRONT FACADE**

contrast between front facade finish to non-descript side boundary wall finish

**- CONSISTENT VERANDAH, BALUSTRADE, AND VERANDAH ROOF DATUMS**

Proportions and datum heights consistent through the streetscape

**- VARIED COLOUR SCHEMES AND HOUSE TYPES**

Bruce Street consists of homes of varied styles, colour/material palettes, and ages

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01	REVISED FOR RFI RESPONSE			11/02/2022
02	REVISED FOR RFI RESPONSE			15/02/2022
03	REVISED FOR RFI RESPONSE			28/03/2022
04	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 STREETScape ANALYSIS  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO.  
 DD302  
 ISSUE NO.  
 04  
 SCALE  
 @A3



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- DETAILED BRICKWORK PARAPET
- DATUMS OF NEIGHBOURING TERRACES REFLECTED IN NEW BUILD
- NON-DESCRIPT SIDE BOUNDARY WALL
- CHANGE OF MATERIAL BEYOND FRONT FACADE
- DETAILED METALWORK ON FRONT FACADE AND BALUSTRADE

REVISED PROPOSED PERSPECTIVE - OPTION 1



REVISED PROPOSED PERSPECTIVE - OPTION 2



REVISED PROPOSED PERSPECTIVE - OPTION 3



REVISED PROPOSED PERSPECTIVE - OPTION 4

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03	REVISED FOR RFI RESPONSE			11/02/2022
04	REVISED FOR RFI RESPONSE			15/02/2022
05	REVISED FOR RFI RESPONSE			28/03/2022
06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St\_New Terrace  
 CLIENT  
 Guy Bunder and Madeline Fitzgibbon

DRAWING  
 REVISED STREETSCAPE  
 OPTIONS CONSIDERED  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW  
 2300  
 DRAWING NO.  
 DD303  
 ISSUE NO.  
 06  
 SCALE  
 @A3



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**DATUMS OF NEIGHBOURING TERRACES REFLECTED IN NEW BUILD**

**DETAILED BRICKWORK PARAPET**

**NON-DESCRIPT SIDE BOUNDARY WALL**

**CHANGE OF MATERIAL BEYOND FRONT FACADE**

**DETAILED METALWORK ON FRONT FACADE AND BALUSTRADE**

**PROPOSED OPTION PERSPECTIVE - OPTION 1**



**BLACK BRICKWORK**



**BLACK POWDERCOATED BATTENED BALUSTRADE AND CARPARK SCREEN**



**BLACK POWDERCOATED GLAZING FRAMES**



**BLACK PAINTED STEELWORK**



**NON-DESCRIPT OFF-FORM PRECAST CONCRETE PANELS**

**MATERIAL SCHEDULE PROPOSED**

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04	FINAL FOR APPROVAL			2/05/2022
05	FINAL FOR APPROVAL			20/05/2022

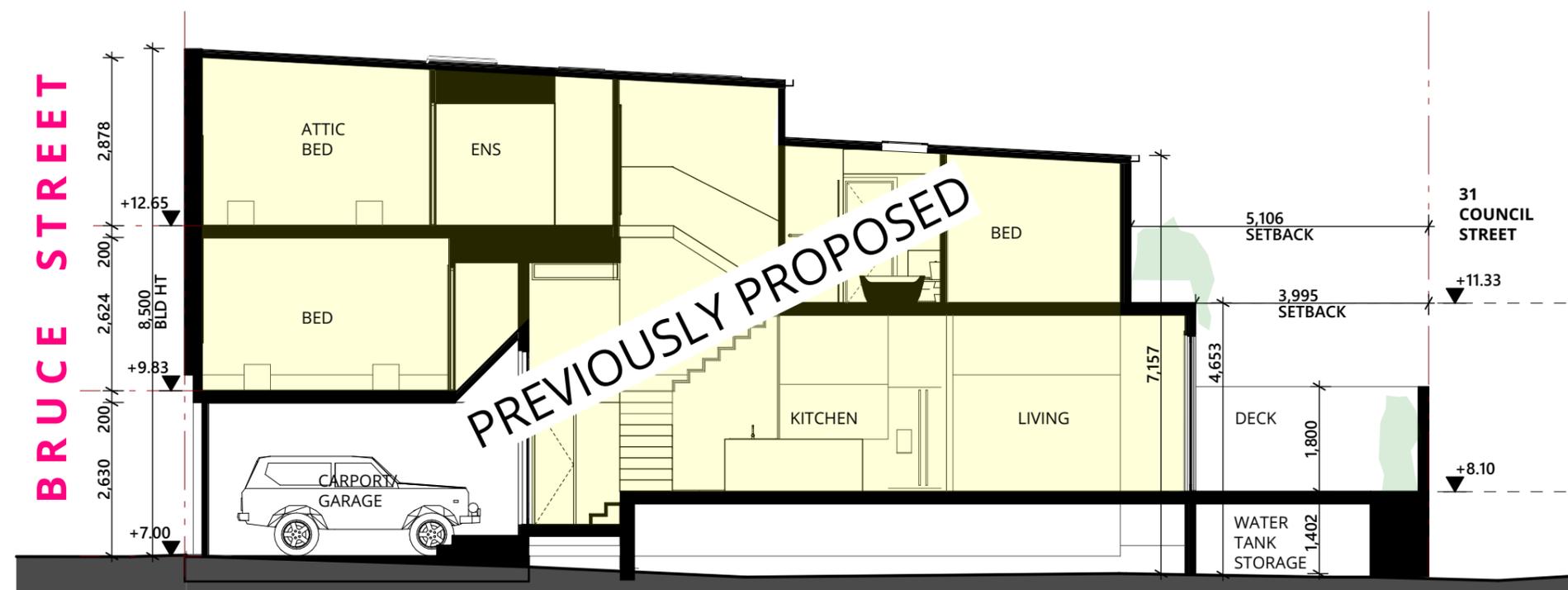
**PROJECT**  
 29 Bruce St\_New Terrace  
**CLIENT**  
 Guy Bunder and Madeline Fitzgibbon

**DRAWING**  
 REVISED STREETScape-Proposed Option  
**PROJECT NO.**  
 2020-202

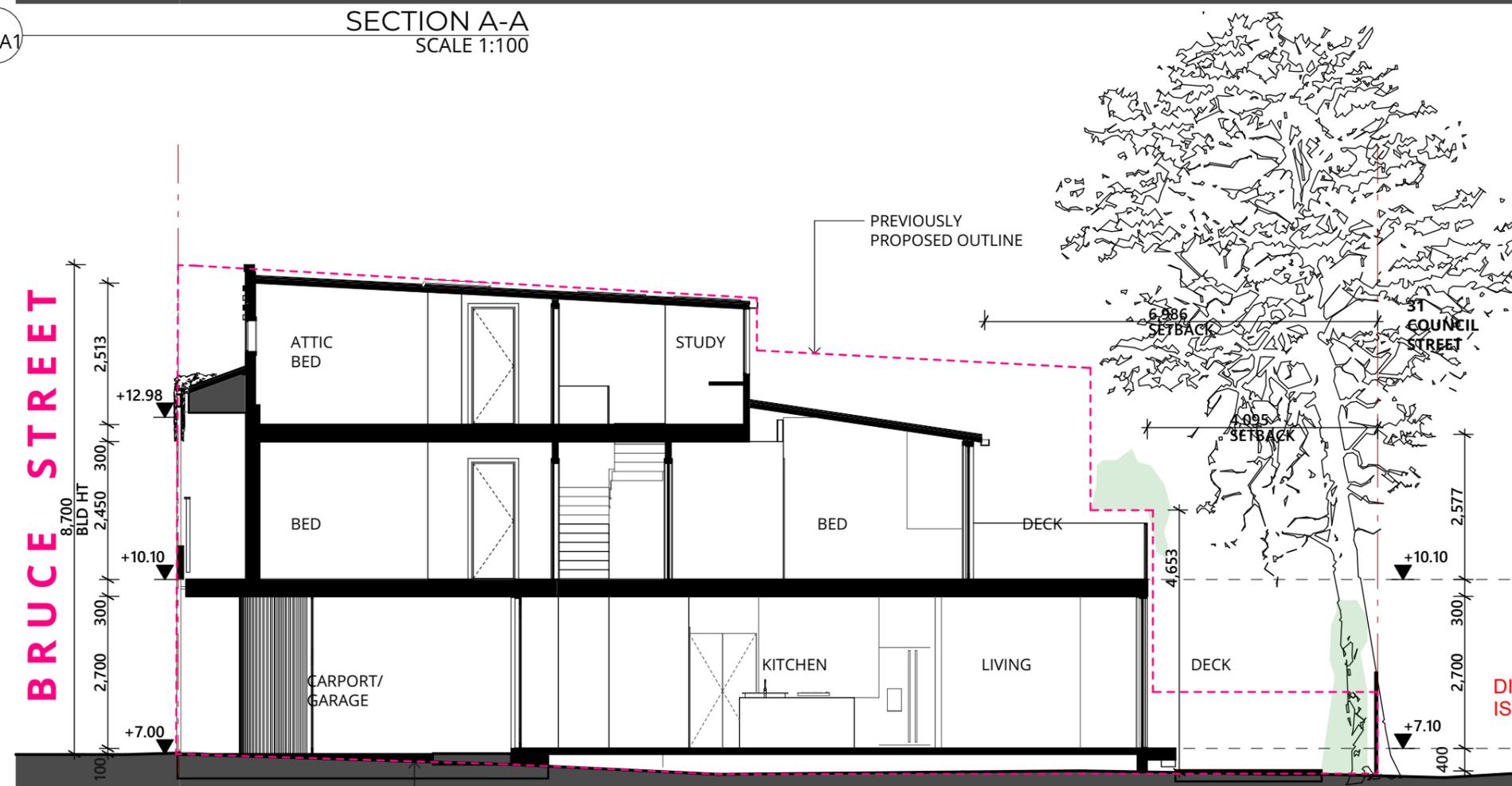
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**ISSUE NO.** 05  
**SCALE** 1:4.17@A3



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SECTION A-A  
SCALE 1:100



SECTION A-A  
SCALE 1:100

A1

A1

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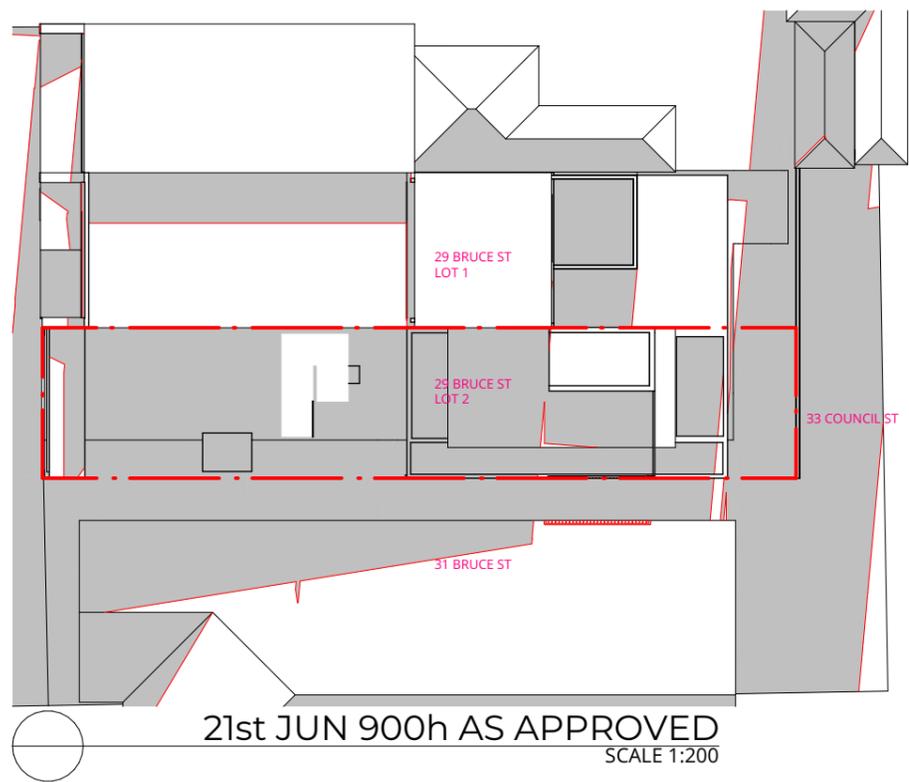
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06	REVISED FOR RFI RESPONSE			10/08/2021
07	REVISED FOR RFI RESPONSE			10/08/2021
08	REVISED FOR RFI RESPONSE			30/08/2021
09	REVISED FOR RFI RESPONSE			28/03/2022
10	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St, New Terrace  
 CLIENT  
Guy Bunder and Madeline Fitzgibbon

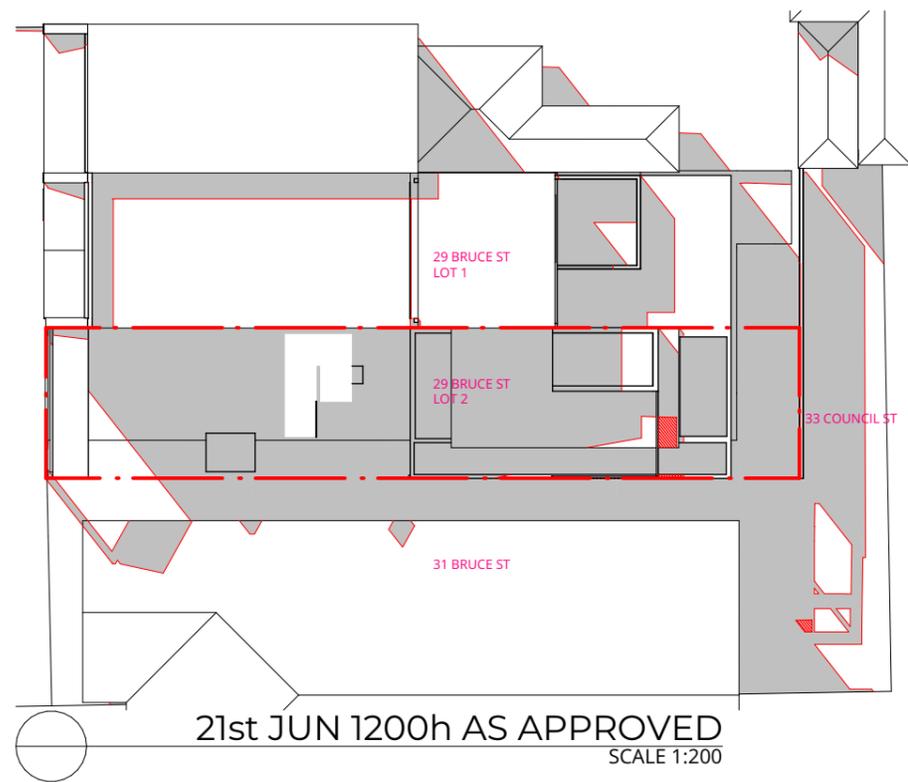
DRAWING  
SECTION  
 PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
 DRAWING NO. DD400  
 ISSUE NO. 10  
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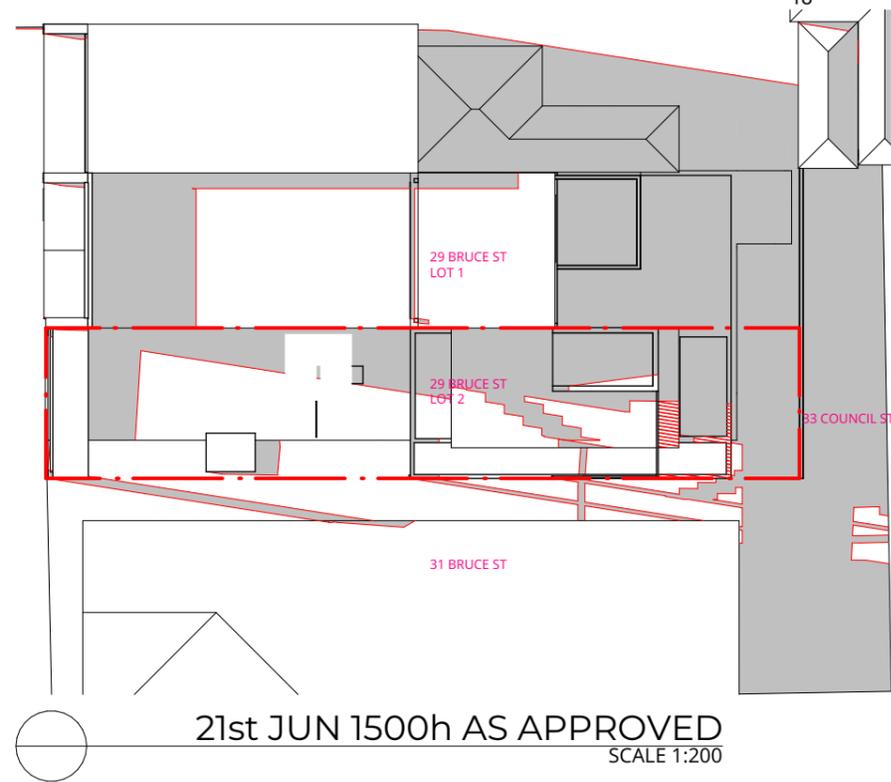




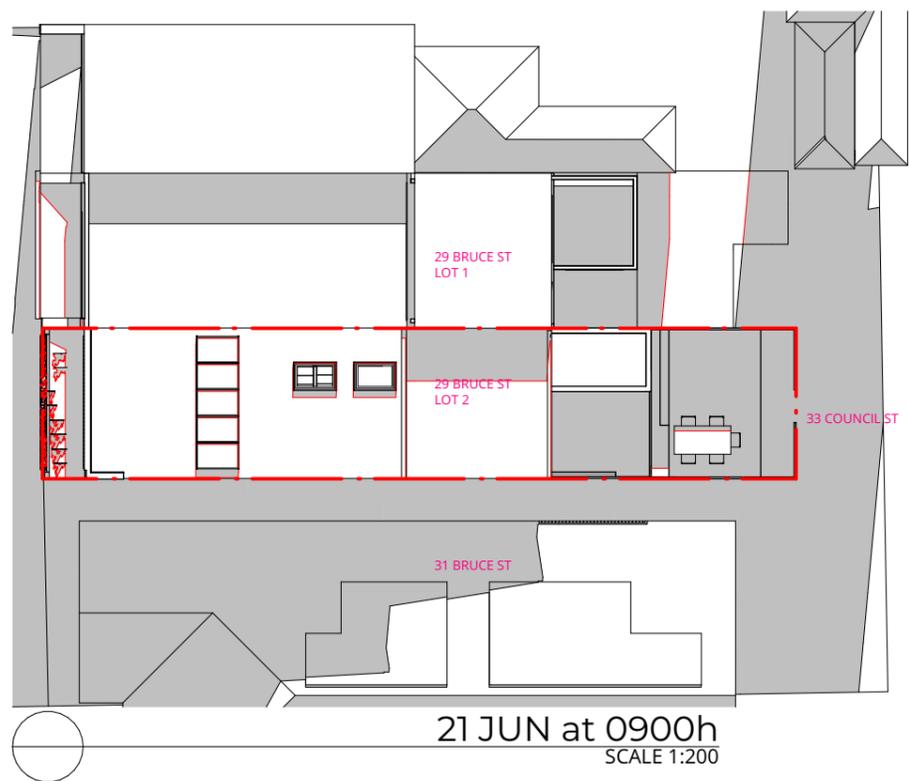
21st JUN 900h AS APPROVED  
SCALE 1:200



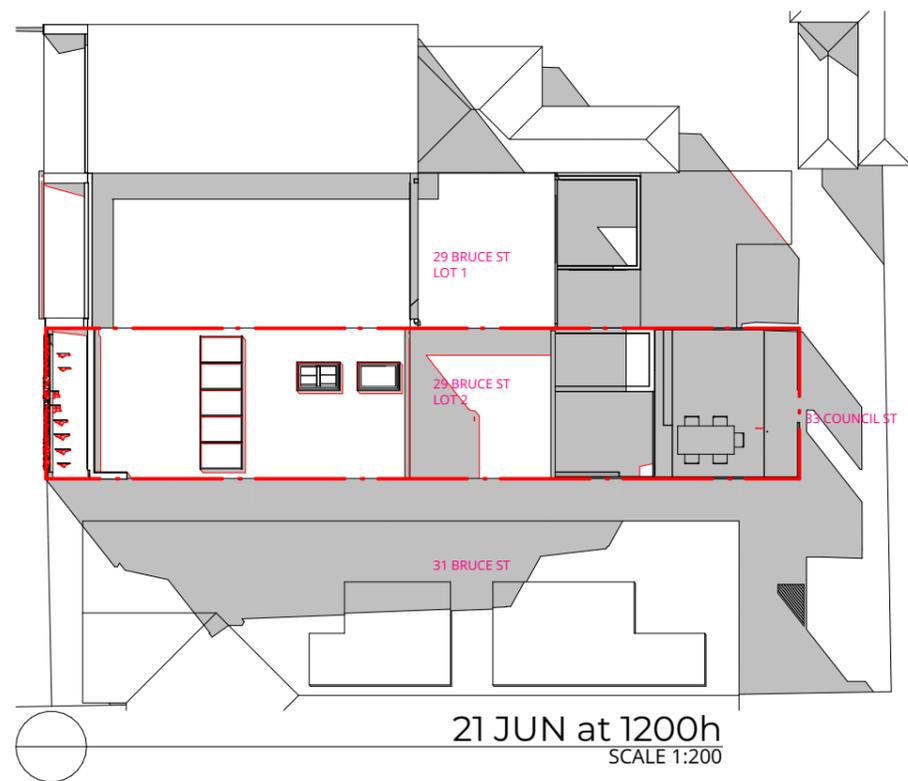
21st JUN 1200h AS APPROVED  
SCALE 1:200



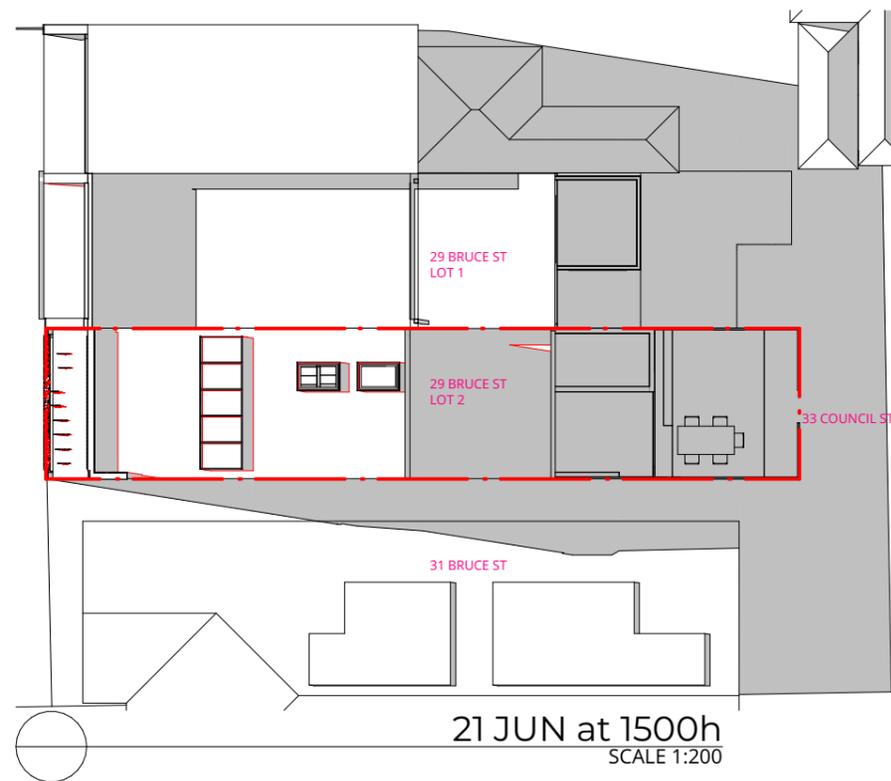
21st JUN 1500h AS APPROVED  
SCALE 1:200



21 JUN at 0900h  
SCALE 1:200



21 JUN at 1200h  
SCALE 1:200



21 JUN at 1500h  
SCALE 1:200



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05	REVISED FOR RFI RESPONSE			28/03/2022
06	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St\_New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

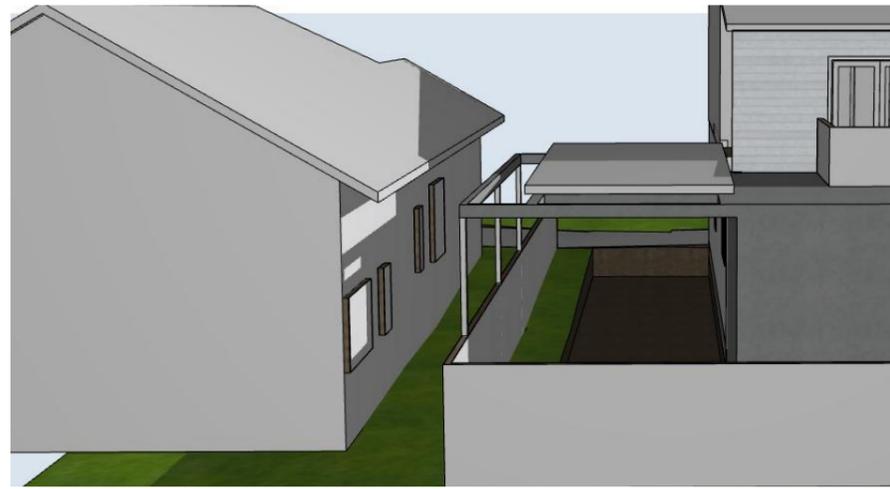
DRAWING  
SHADOW DIAGRAMS  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO. DD500  
ISSUE NO. 06  
SCALE 1:200@A3

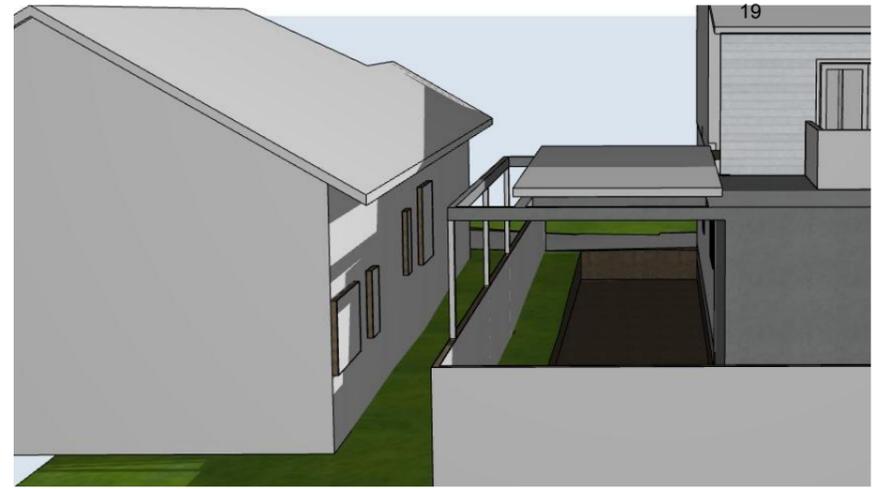




APPROVED JUNE 21ST 9AM  
SCALE 1:2



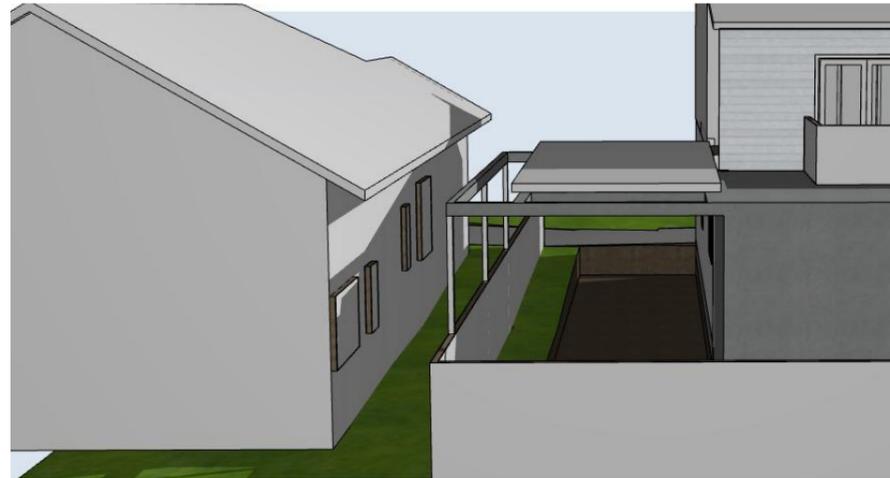
APPROVED JUNE 21ST 9:30AM  
SCALE 1:2



APPROVED JUNE 21ST 10AM  
SCALE 1:2



APPROVED JUNE 21ST 10:30AM  
SCALE 1:2



APPROVED JUNE 21ST 11AM  
SCALE 1:2



APPROVED JUNE 21ST 11:30AM  
SCALE 1:2



APPROVED JUNE 21ST 12PM  
SCALE 1:2



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03	REVISED FOR RFI RESPONSE			10/08/2021
04	REVISED FOR RFI RESPONSE			28/03/2022
05	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
SHADOW DIAGRAMS APPROVED  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW 2300  
DRAWING NO. DD501  
ISSUE NO. 05  
SCALE 1:2@A3





Overshadowing- 9am  
SCALE 1:200



Overshadowing- 9:30am  
SCALE 1:200



Overshadowing- 10am  
SCALE 1:200



Overshadowing- 10:30am  
SCALE 1:200



Overshadowing- 11am  
SCALE 1:200



Overshadowing- 11:30am  
SCALE 1:200



Overshadowing- 12pm  
SCALE 1:200



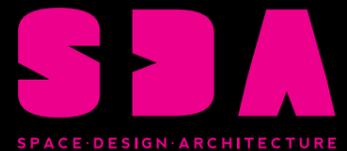
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04	REVISED FOR RFI RESPONSE			28/03/2022
05	FINAL FOR APPROVAL			2/05/2022

PROJECT  
29 Bruce St, New Terrace  
CLIENT  
Guy Bunder and Madeline Fitzgibbon

DRAWING  
SHADOW DIAGRAMS  
PROPOSED  
PROJECT NO.  
2020-202

LOCATION  
LOT 2\_29 Bruce Street Cooks Hill NSW  
2300  
DRAWING NO. DD502  
ISSUE NO. 05  
SCALE 1:200@A3





Overshadowing (SOLAR)- 9am



Overshadowing (SOLAR)- 10am



Overshadowing (SOLAR)- 11am



Overshadowing (SOLAR)- 12pm



Overshadowing (SOLAR)- 1pm



Overshadowing (SOLAR)- 2pm



Overshadowing (SOLAR)- 3pm



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01	FINAL FOR APPROVAL			2/05/2022

PROJECT  
 29 Bruce St New Terrace  
 CLIENT  
 Guy Bunder and Madeline  
 Fitzgibbon

DRAWING  
 SHADOW DIAGRAMS-  
 SOLAR PANELS  
 PROJECT NO.  
 2020-202

LOCATION  
 LOT 2\_29 Bruce Street Cooks Hill NSW  
 2300  
 DRAWING NO. DD503  
 ISSUE NO. 01  
 SCALE 1:277.78  
 @A3





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**ATTACHMENTS DISTRIBUTED UNDER SEPARATE COVER**

**PV 14/06/2022 – 29 Bruce Street Cooks Hill - DA2021/00281 -  
Dwelling house**

**ITEM-1            Attachment B:    Processing Chronology**

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**PROCESSING CHRONOLOGY**

**DA2021/00281 – 29 Bruce Street Cooks Hill**

10 March 2021	-	Application lodged.
11 March 2021	-	Internal referral commenced: Heritage (1 <sup>st</sup> referral).
23 March 2021 – 12 April 2021	-	Application notified in accordance with City of Newcastle's (CN) Community Participation Plan (CPP). 46 submissions (including two submissions of support) received in response.
17 May 2021	-	Internal referral received: Heritage (1 <sup>st</sup> referral).
27 May 2021	-	Request for additional information issued: BASIX, heritage, landscaping, solar, access, view sharing, vegetation management, response to CCP.
31 August 2021	-	Additional information received from applicant.
31 August 2021	-	Internal referral commenced: Heritage (2 <sup>nd</sup> referral).
8 September 2021 – 22 September 2021	-	Application renotified in accordance with CN's CPP. 25 submissions (including 6 submissions that emanated from 3 households) received in response.
16 December 2021	-	Internal referral received: Heritage (2 <sup>nd</sup> referral).
16 December 2021	-	Request for additional information issued: heritage, solar access, response to CCP.
31 March 2022	-	Additional information received from applicant.
31 March 2022	-	Internal referral commenced: Heritage (3 <sup>rd</sup> referral).
13 April 2022	-	1 submission resolved during assessment. 24 unresolved submissions remain with this application.
20 May 2022	-	Additional information received from applicant (current amended plans).
24 May 2022	-	Internal referral received: Heritage (3 <sup>rd</sup> referral).
27 May 2022	-	Application called up to DAC by Councillor Duncan and Councillor Clausen.
14 June 2022	-	Public Voice Committee meeting.

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